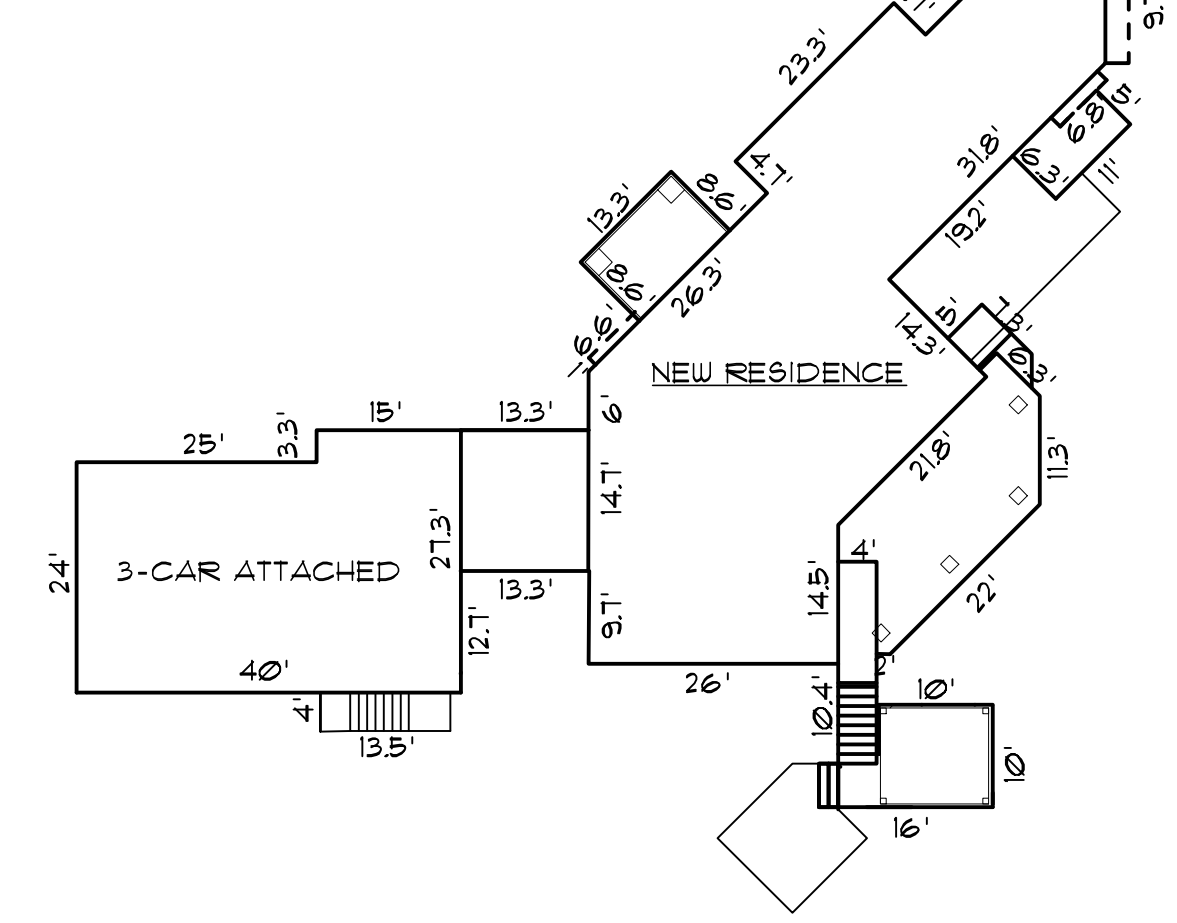


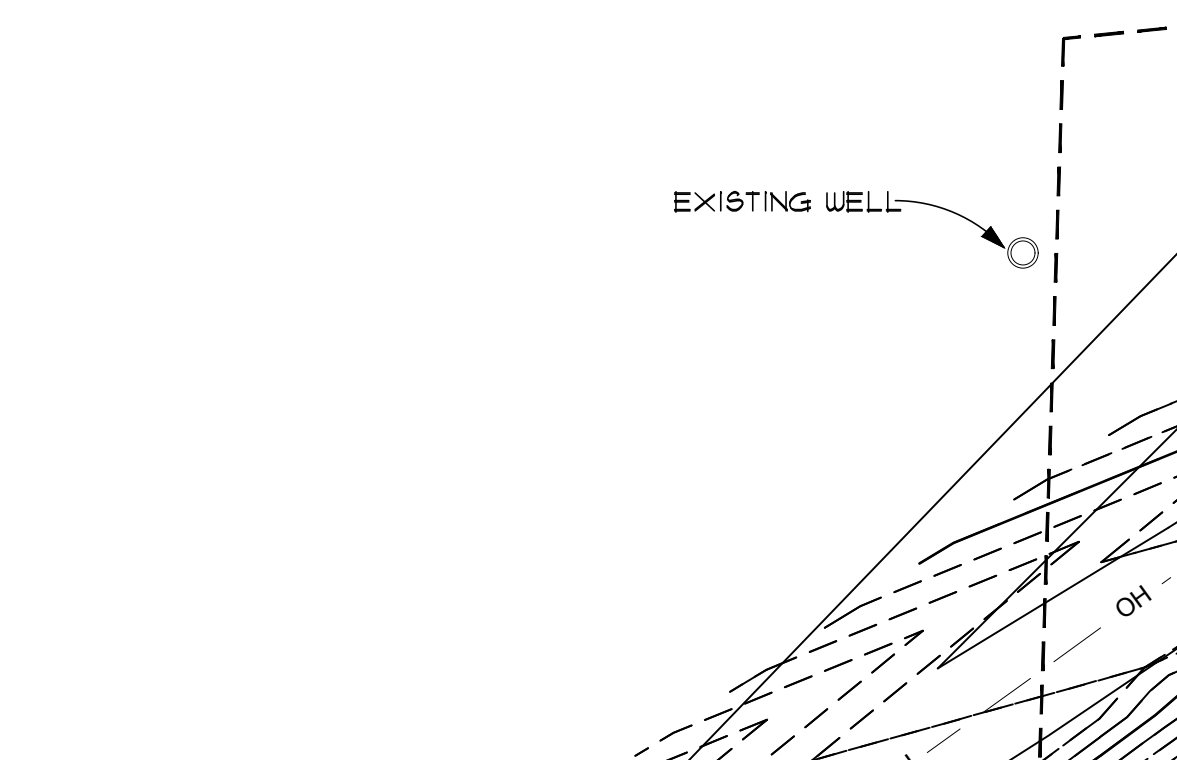
Condition of Approval:
Applicant/Homeowner is responsible for all geological hazards and mitigations of those hazards.

VICINITY MAP
NO SCALE

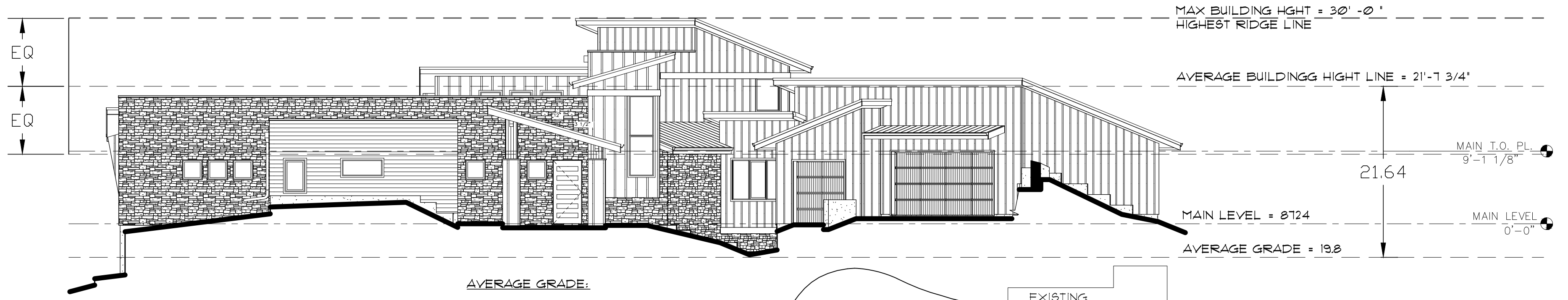


Approved
By: Kylie Bagley
Date: 10/28/2024
El Paso County Planning & Community Development

HOUSE FOOTPRINT
NO SCALE



HOUSE ELEVATION
NO SCALE



AVERAGE GRADE:

27'x1 =	27
26'x1 =	26
25'x2 =	50
24'x6 =	144
23'x1 =	23
18'x1 =	18
17'x1 =	17
16'x1 =	16
15'x1 =	15
12'x2 =	60
396 / 20 =	19.8

MAX BUILDING HGT = 30' - 0"
HIGHEST RIDGE LINE

AVERAGE BUILDING HGT LINE = 21' - 1 3/4'

MAIN T.O. PL. = 9'-1 1/8"

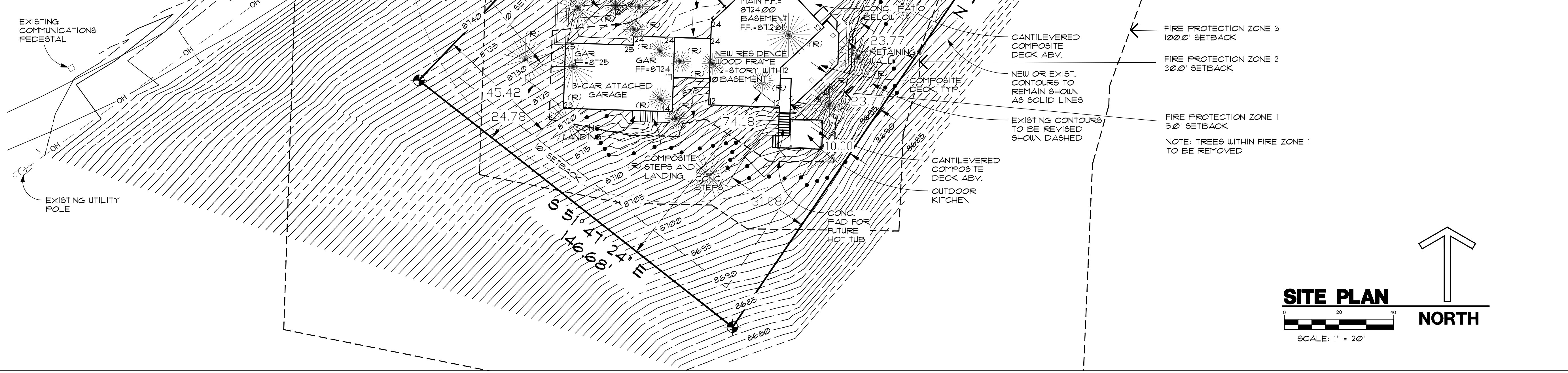
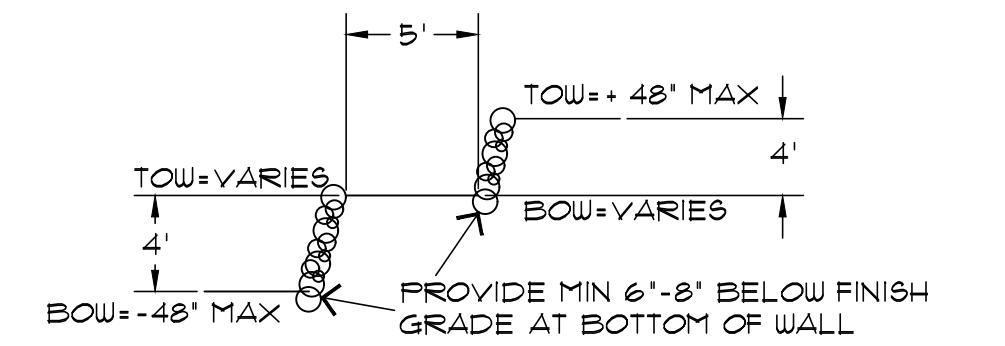
21.64

MAIN LEVEL = 8124

MAIN LEVEL = 0'-0"

AVERAGE GRADE = 19.8

RETAINING WALL SECTION
NO SCALE



SITE PLAN
SCALE: 1" = 20'
NORTH

SITE INFO:
ADDRESS:
6881 EAGLE MOUNTAIN RD
MANITOU SPRINGS, CO 80829
LEGAL:
SITE 6-122, SITE ADDITION TO CRYSTAL PARK SUBDIVISION #2 NW 1/4 OF SEC.18, TOWNSHIP 14.0 RANGE 67.0 F THE W SIXTH P.M., EL PASO COUNTY, COLORADO.
SITE DATA:
LOT SIZE = 30,400 SQFT
BUILDING FOOTPRINT =
HOUSE = 2111 SQFT
GARAGE = 1010 SQFT
COV ENTRY = 104 SQFT
DECK = 446 SQFT
TOTAL = 3,771 SQFT
LOT COVERAGE = 12.3%
ZONING = RUD
TAX SCHEDULE = *
BUILDING HEIGHT = SEE ELEVATIONS

SITE NOTES:

- 1) Topographic information is to be supplied by others. See below for info.
- 2) Dashed lines indicate existing contours. Solid lines indicate proposed contours.
- 3) Contractor to verify easements.
- 4) Contractor to limit cut and fill areas and limit material and vehicle storage to the building areas in order to minimize vegetation and site disturbance.
- 5) Final landscaping to be determined by the Contractor/Owner(s). It shall minimize impact to the site. All landscaping to be completed by the Contractor/Owner(s).
- 6) Use wattles and silt fencing to minimize erosion during construction. And also stabilize area with seeded blankets for erosion control as necessary.
- 7) Earth materials are not to be stockpiled on streets or sidewalks, but on site or staging areas.
- 8) Contractor is required to provide positive drainage away from and around structure in all directions as shown.
- 9) Any boulder retaining walls shown shall be 48" max high and 48"-60" min apart laterally if (2) or more retaining walls exist. Or retaining walls shall be engineered by a licensed CO soils engineer.
- 10) General Contractor, Subcontractors, Suppliers, and Owner(s) shall familiarize themselves & verify all notes, dimensions and information on drawing(s) prior to starting construction. It shall be the responsibility of those parties to report any changes and/or discrepancies to the Designer. Questions regarding these drawings such as: drawing interpretation, dimensions, notes, scale and other similar questions shall be brought to the attention of the Designer immediately, in writing. Failure to do any of the above shall relieve the designer of any errors. Designer shall not be responsible for any changes not noted in writing to this plan.

SITE LEGEND:

- PROPERTY LINES & CORNERS
- EXISTING CONTOURS
- PROPOSED CONTOURS
- PROPOSED BOULDER RETAINING WALL
- EXISTING VEGETATION
- 100 = FINISH GRADE
- NO ROCK OUT CROPPING EXIST AT SITE

PROJECT COLORS:

ROOFING: BARNWOOD
STUCCO COLOR: CRYSTAL BROWN
GARAGE DOOR: PARK GREEN
STONE: OUTDOOR STONE BEGIE

REFERENCE INFO:

TOPO INFO:
ROCKY MOUNTAIN LAND SERVICES
2265 NORTHPARK DRIVE, SUIT 303
COLORADO SPRINGS, CO.
(719) 630-0559

SITE TERMS:

ABBREVIATIONS:
BOW = BOTTOM OF RETAINING WALL
(E) = EXISTING TO REMAIN
LL = LOWER LEVEL
ML = MAIN LEVEL
(N) = NEW CONSTRUCTION
(R) = REMOVE
R.O.W. = RIGHT OF WAY
SB = SETBACK
SQ. FT. OR SF = SQUARE FEET
TOP = TOP OF FOUNDATION
T.O.W. = TOP OF RETAINING WALL
UL = UPPER LEVEL
W = WALKOUT

REVISIONS

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Phone: (719) 487-6635
EMAIL: GORDON@PALACEHOMESINC.COM

THE ROSE RESIDENCE
6881 EAGLE MOUNTAIN RD
MANITOU SPRINGS, CO 80829
COMPUTER FILE # 24-2462

DRAWN BY: EAH
CHECKED BY: DARRS
PLOT 09/25/24 12:09 PM

SITE PLAN
VICINITY MAP
SITE NOTES

Sheet #
SP1
OF 1 Sheets