

REVISIONS



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CONTRACTOR

**PALACE HOMES INC.**  
 1216 W COLORADO AVE #110  
 Colorado Springs, CO 80904  
 Phone: (719) 437-9335  
 EMAIL: GORDON@PALACEHOMESINC.COM

1) ENTIRE PROPERTY IS COVERED IN VEGETATION. VEGETATION CONSISTS OF ASPEN AND FIR TREES OF MISCELLANEOUS CALIFERS RANGING FROM 2' TO 12', NATIVE GRASSES, AND MOUNTAIN MAHOGANY GROUND COVER.

2) REVEGETATION/LANDSCAPE PLAN, ALL DISTURBED AREAS WILL BE REVEGETATED WITH NATIVE GRASSES, INCLUDING AREAS ADJACENT TO FOUNDATION AND SPECIFICALLY OVER LEACH FIELD. TREES AND VEGETATION (EXISTING) TO BE REMOVED FROM WITHIN FOOTPRINT OF HOUSE AND SEPTIC ONLY OR PER WILDFIRE MITIGATION PLAN.

3) PROPOSED RESIDENCE IS NOT WITHIN ANY ACTIVE DRAINAGE.

**THE ROSE RESIDENCE**  
 6881 EAGLE MOUNTAIN RD  
 MANITOU SPRINGS, CO 80829  
 COMPUTER FILE # 24-0462

DRAWN BY: EAH

CHECKED BY: DARR  
 PLOT 09/25/24 12:09 PM

SITE PLAN  
 VICINITY MAP  
 SITE NOTES

Sheet #

**SP1**

OF 1 Sheets

**SITE INFO:**

**ADDRESS:**  
 6881 EAGLE MOUNTAIN RD  
 MANITOU SPRINGS, CO 80829

**LEGAL:**  
 SITE 6-122, SITE ADDITION TO CRYSTAL PARK SUBDIVISION #2 NW 1/4 OF SEC.18, TOWNSHIP 14.0 RANGE 67.0 F THE W SIXTH P.M., EL PASO COUNTY, COLORADO.

**SITE DATA:**  
 LOT SIZE = 30,400 SQFT  
 BUILDING FOOTPRINT =  
 HOUSE = 2111 SQFT  
 GARAGE = 1010 SQFT  
 COV ENTRY = 104 SQFT  
 DECK = 446 SQFT  
 TOTAL = 3,797 SQFT

**LOT COVERAGE = 12.3%**  
**ZONING = RUD**  
**TAX SCHEDULE = \***  
**BUILDING HEIGHT = SEE ELEVATIONS**

**SITE NOTES:**

- Topographic information is to be supplied by others. See below for info.
- Dashed lines indicate existing contours. Solid lines indicate proposed contours.
- Contractor to verify easements.
- Contractor to limit cut and fill areas and limit material and vehicle storage to the building areas in order to minimize vegetation and site disturbance.
- Final landscaping to be determined by the Contractor/Owner(s). It shall minimize impact to the site. All landscaping to be completed by the Contractor/Owner(s).
- Use wattles and silt fencing to minimize erosion during construction. And also stabilize area with seeded blankets for erosion control as necessary.
- Earth materials are not to be stockpiled on streets or sidewalks, but on site or staging areas.
- Contractor is required to provide positive drainage away from and around structure in all directions as shown.
- Any boulder retaining walls shown shall be 48" max high and 48"-60" min apart laterally if (2) or more retaining walls exist. Or retaining walls shall be engineered by a licensed CO soils engineer.
- General Contractor, Subcontractors, Suppliers, and Owner(s) shall familiarize themselves & verify all notes, dimensions and information on drawing(s) prior to starting construction. It shall be the responsibility of those parties to report any changes and/or discrepancies to the Designer. Questions regarding these drawings such as: drawing interpretation, dimensions, notes, scale and other similar questions shall be brought to the attention of the Designer immediately, in writing. Failure to do any of the above shall relieve the designer of any errors. Designer shall not be responsible for any changes not noted in writing to this plan.

**SITE LEGEND:**

- PROPERTY LINES & CORNERS
- EXISTING CONTOURS
- PROPOSED CONTOURS
- PROPOSED BOULDER RETAINING WALL
- EXISTING VEGETATION
- TREE
- 100' = FINISH GRADE
- NO ROCK OUT CROPPING EXIST AT SITE

**PROJECT COLORS:**

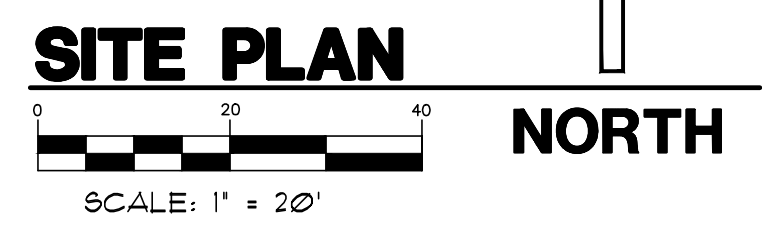
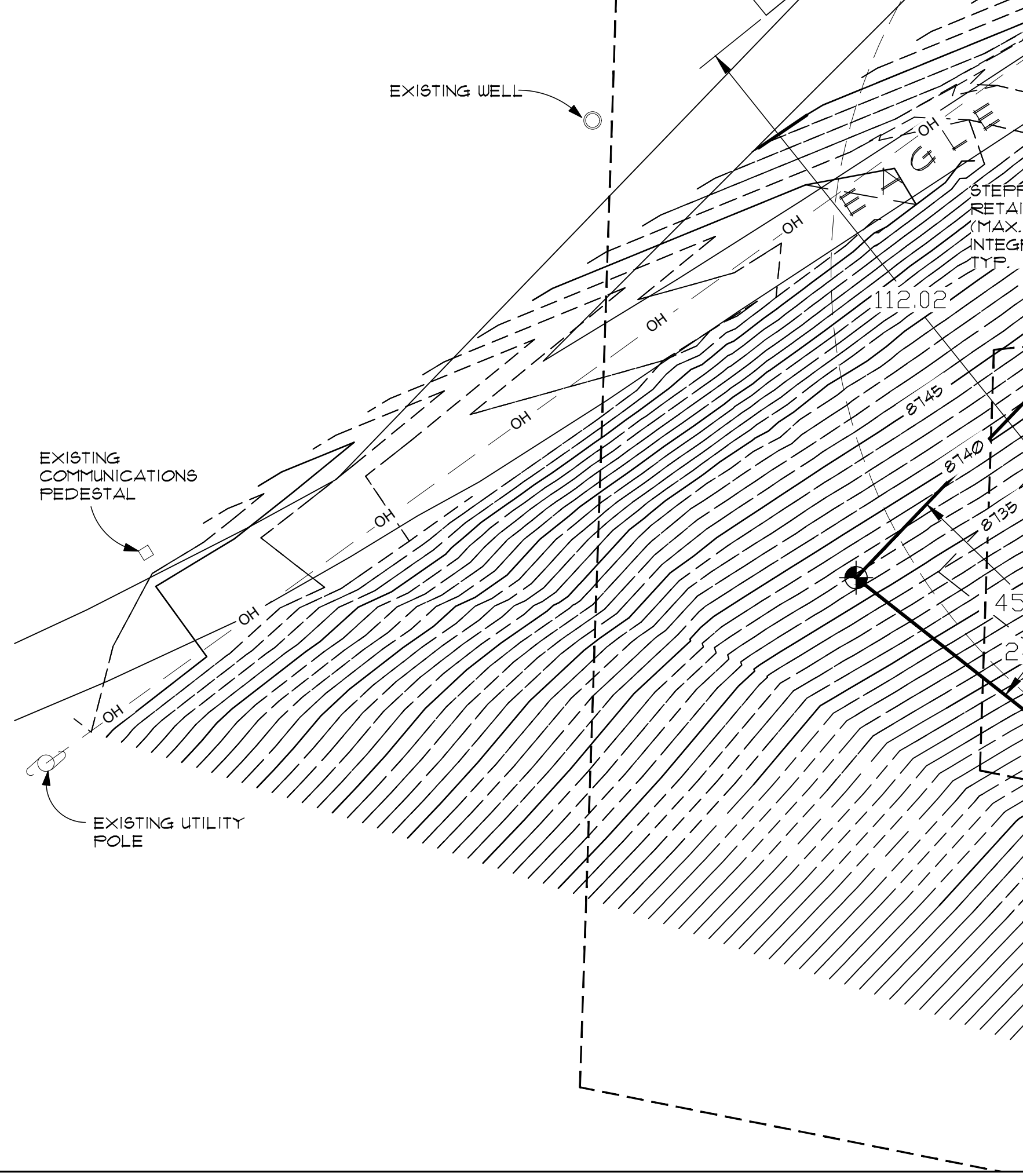
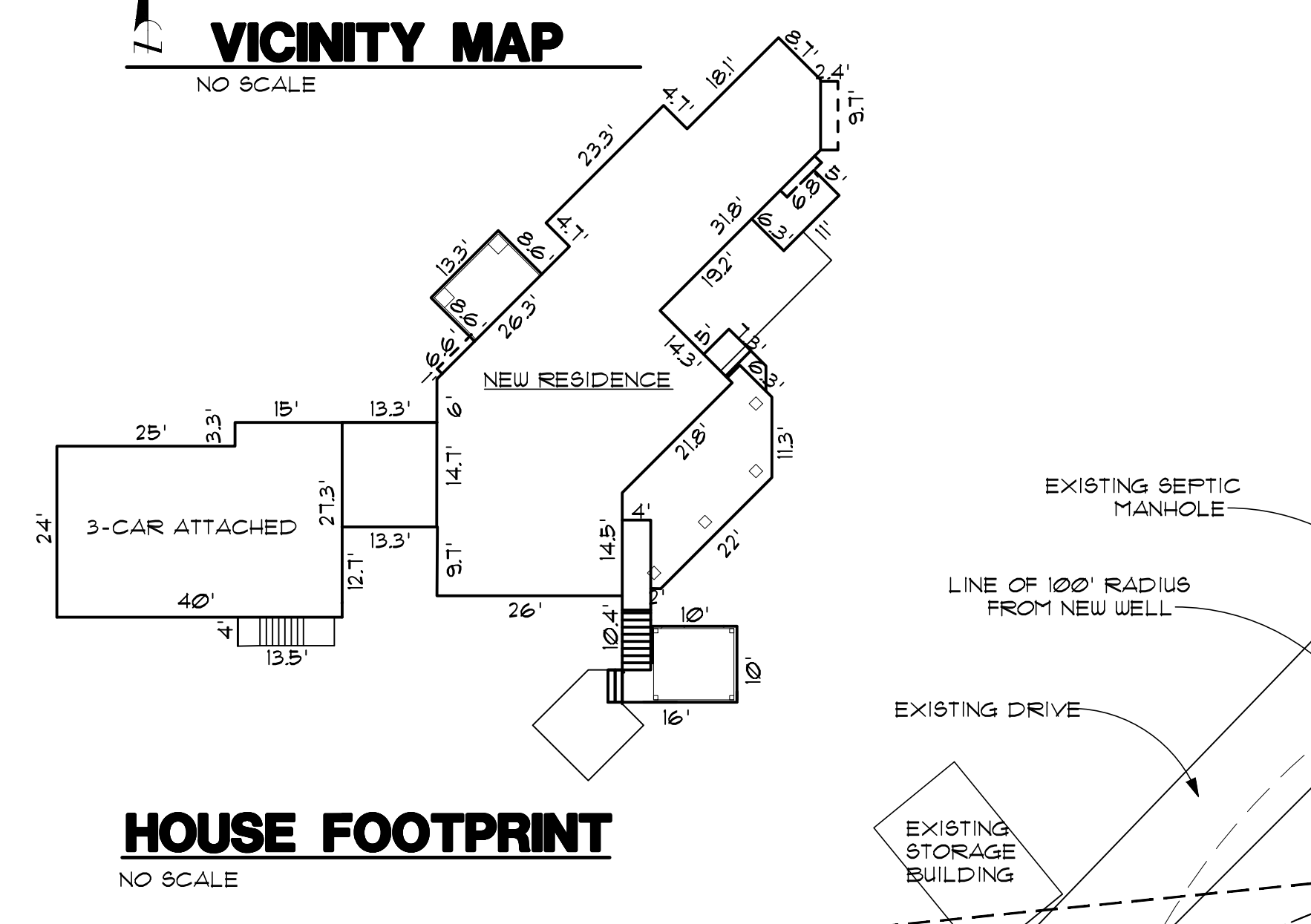
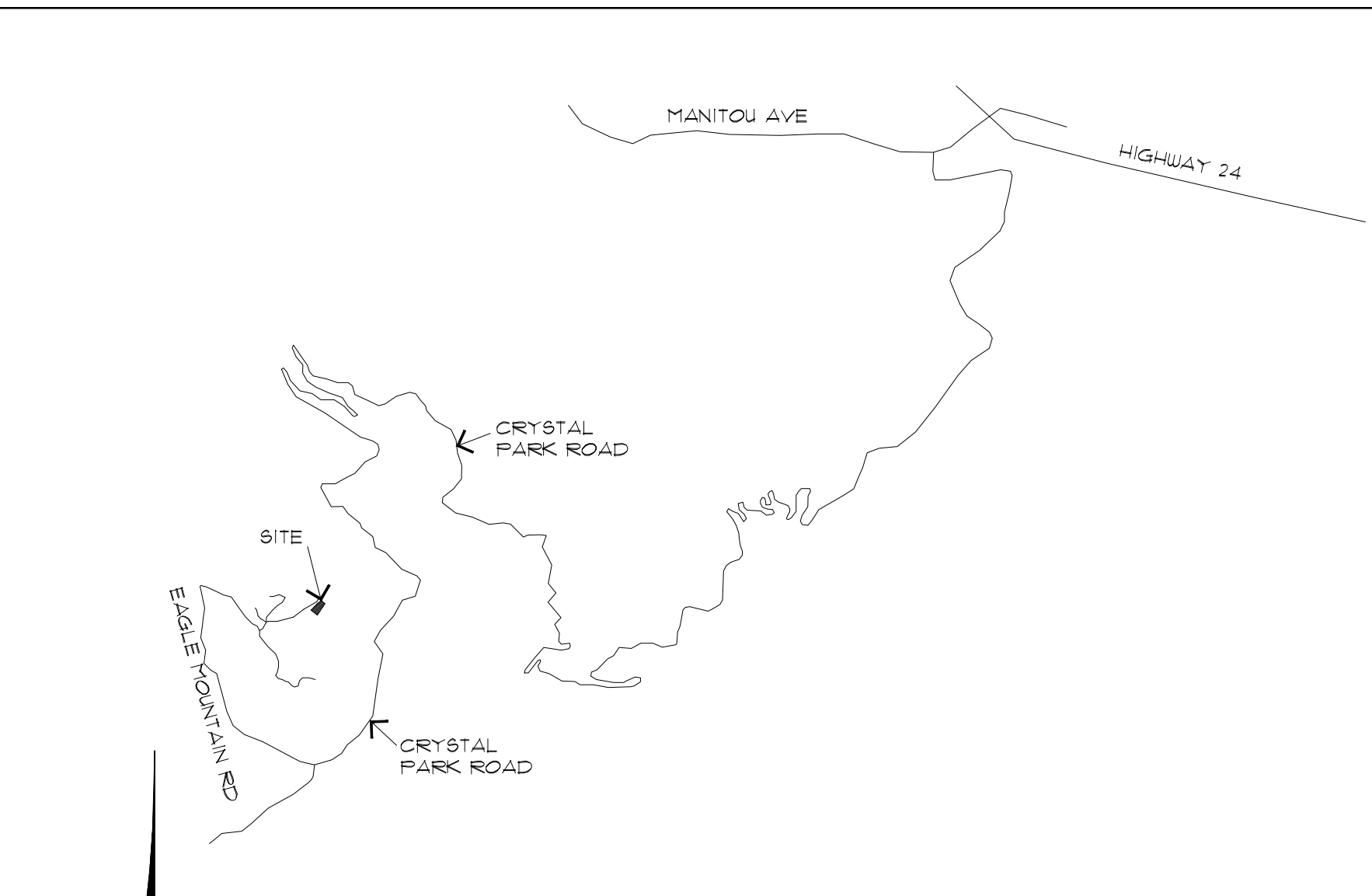
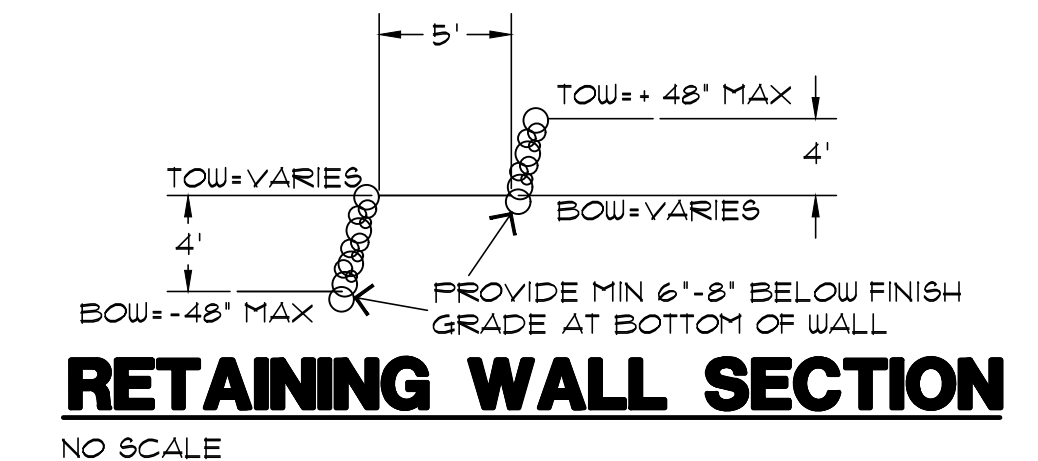
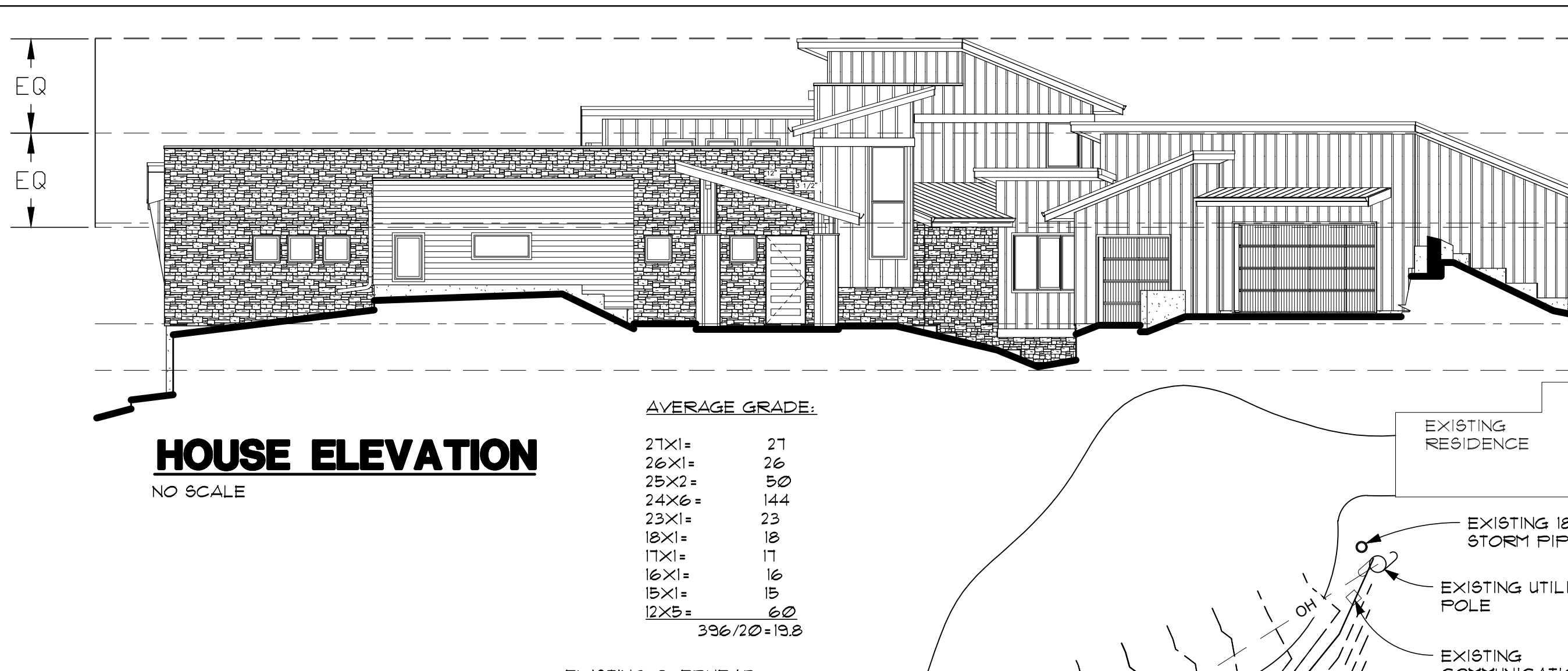
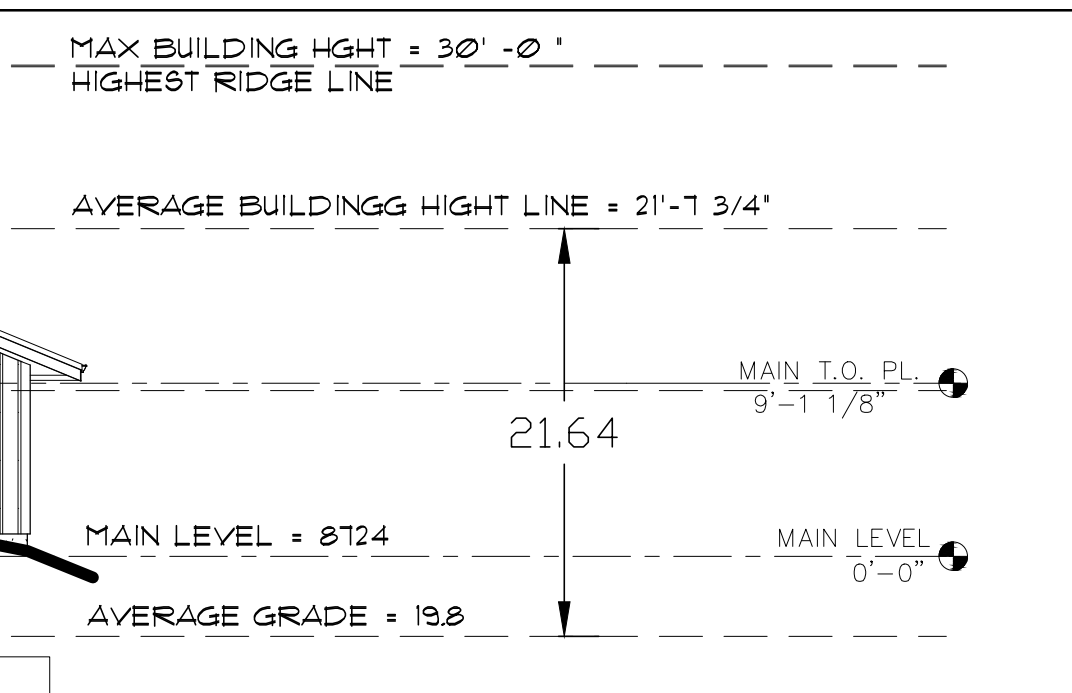
ROOFING: BARNWOOD  
 STUCCO COLOR: CRYSTAL BROWN  
 GARAGE DOOR: PARK GREEN  
 STONE: OUTDOOR STONE BEGIE

**REFERENCE INFO:**

**TOPO INFO:**  
 ROCKY MOUNTAIN LAND SERVICES  
 2265 NORTH PARK DRIVE, SUIT 303  
 COLORADO SPRINGS, CO.  
 (719) 630-0559

**SITE TERMS:**

**ABBREVIATIONS:**  
 BOW = BOTTOM OF RETAINING WALL  
 (E) = EXISTING TO REMAIN  
 LL = LOWER LEVEL  
 ML = MAIN LEVEL  
 (N) = NEW CONSTRUCTION  
 (R) = REMOVE  
 R.O.W. = RIGHT OF WAY  
 SB = SETBACK  
 SQ. FT. OR SF = SQUARE FEET  
 TOP = TOP OF FOUNDATION  
 T.O.W. = TOP OF RETAINING WALL  
 UL = UPPER LEVEL  
 WO = WALKOUT



CONTRACTOR: PALACE HOMES INC. 1216 W COLORADO AVE #110 COLORADO SPRINGS, CO 80904 PHONE: (719) 437-9335 EMAIL: GORDON@PALACEHOMESINC.COM  
 DESIGNER: LGA STUDIOS 201 E. LAS ANIMAS STREET SUITE 113 COLORADO SPRINGS, CO 80903 PHONE: (719) 635-0880 EMAIL: OFFICE@LGAstudios.com WEBSITE: WWW.LGAstudios.com  
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 SHEET # SP1 OF 1 SHEETS