

**PROJECT CONTACTS**

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**TRAFFIC ENGINEER**  
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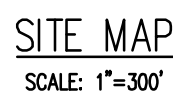
**UTILITY CONTACTS**

**WATER & WASTEWATER**  
WOODMEN HILLS METRO DISTRICT  
8046 EASTONVILLE ROAD  
FALCON, CO 80831  
TEL: (719) 495-2500  
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EMAIL: JERRY@WHMD.ORG

**ELECTRIC**  
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11140 E WOODMEN RD  
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CATHY HANSON-LEE  
EMAIL: CATHY@MVEE.COOP

**NATURAL GAS**  
COLORADO SPRINGS UTILITIES (CSU)  
7710 DURANT DRIVE, P.O. BOX 1103, MAIL CODE 2150  
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**FIRE**  
FALCON FIRE PROTECTION DISTRICT  
7030 OLD MERIDIAN ROAD  
REYTON, CO 80831  
TEL: (719) 495-4050  
EMAIL: FALCON@FIREFALCONFIREPRO.ORG



THESE DETAILED PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECTION AND SUPERVISION. SAID PLANS AND SPECIFICATIONS HAVE BEEN PREPARED ACCORDING TO THE CRITERIA ESTABLISHED BY THE COUNTY FOR DETAILED ROADWAY, DRAINAGE, GRADING AND EROSION CONTROL PLANS AND SPECIFICATIONS, AND SAID PLANS AND SPECIFICATIONS ARE IN CONFORMITY WITH APPLICABLE MASTER DRAINAGE PLANS AND MASTER TRANSPORTATION PLANS. SAID PLANS AND SPECIFICATIONS MEET THE PURPOSES FOR WHICH THE PARTICULAR ROADWAY AND DRAINAGE FACILITIES ARE DESIGNED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS, ERRORS OR OMISSIONS ON MY PART IN PREPARATION OF THESE DETAILED PLANS AND SPECIFICATIONS.

COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS, AND/OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE COUNTY THROUGH THE APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY FOR COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT. FILED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2, AND ENGINEERING CRITERIA MANUAL AS AMENDED.

IN ACCORDANCE WITH EGM SECTION 1.12, THESE CONSTRUCTION DOCUMENTS WILL BE VALID FOR CONSTRUCTION FOR A PERIOD OF 2 YEARS FROM THE DATE SIGNED BY THE EL PASO COUNTY ENGINEER. IF CONSTRUCTION HAS NOT STARTED WITHIN THOSE 2 YEARS, THE PLANS WILL NEED TO BE RESUBMITTED FOR APPROVAL, INCLUDING PAYMENT OF REVIEW FEES AT THE PLANNING AND COMMUNITY DEVELOPMENT DIRECTORS DISCRETION.

SHEET INDEX		
SHEET NUMBER	SHEET TITLE	SHEET DESCRIPTION
1	COVER	C0.0
2	NOTES	C0.1
3	HORIZONTAL CONTROL	C1.0
4	PHASING PLAN	C1.1
5	DEMO PLAN	C1.2
6	ROADWAY PLAN & PROFILE KEY MAP	C2.0
7	HENZLEE PLACE STREET IMPROVEMENT PLAN	C2.1
8	JAYLA TRAIL STREET IMPROVEMENT PLAN	C2.2
9	UNLEY WAY STREET IMPROVEMENT PLAN	C2.3
10	SW NICO IMPROVEMENT PLAN	C2.4
11	NICO WAY STREET IMPROVEMENT PLAN	C2.5
12	ROWENA & SW NICO IMPROVEMENT PLAN	C2.6
13	INTERSECTION DETAILS	C2.7
14	INTERSECTION DETAILS	C2.8
15	SIGNAGE PLAN	C3.1
16	STORM SEWER PLAN & PROFILE	C4.1
17	STORM SEWER PLAN & PROFILE	C4.2

\*SEE FALCON MEADOWS AT BENT GRASS FILING NO. 1, ROADWAY AND STORM SEWER CONSTRUCTION PLANS FOR ALL STREET AND STORM DRAIN IMPROVEMENTS\*

\*SEE FALCON MEADOWS AT BENT GRASS FILING NO. 1, GRADING & EROSION CONTROL PLANS FOR GRADING, EROSION CONTROL, AND POND IMPROVEMENTS\*

ALL BEARINGS ARE GRID BEARINGS OF THE COLORADO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICAN DATUM 1983. THE BEARING OF THE LINE BETWEEN THE SOUTHWEST CORNER OF SECTION 1, T13S, R65W AND THE WEST QUARTER CORNER SECTION 1, T13S, R65W IS N00°13'46"W AND MONUMENTED AS SHOWN:

THE SOUTHWESTERLY CORNER OF LOT 1 WOODMEN HILLS FILING NO. 4. MONUMENTED BY A YELLOW PLASTIC SURVEYORS CAP ON A NO. 4 REBAR LS# 24954 ELEVATION = 6947.67

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE FIELD LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.

2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



# CHALLENGER HOMES

CONSTRUCTION DOCUMENTS  
FALCON MEADOWS AT BENT GRASS FILING NO. 1  
FOR  
CHALLENGER COMMUNITIES, LLC  
  
BENT GRASS MEADOWS DRIVE & MERIDIAN ROAD  
FALCON, CO 80831 - EL PASO COUNTY

[illegible]

Project No:	CLH000018
Drawn By:	CMWJ
Checked By:	RGD
Date:	07/16/2021

COVER

# C0.0

Sheet 1 of 17



GENERAL CONSTRUCTION NOTES

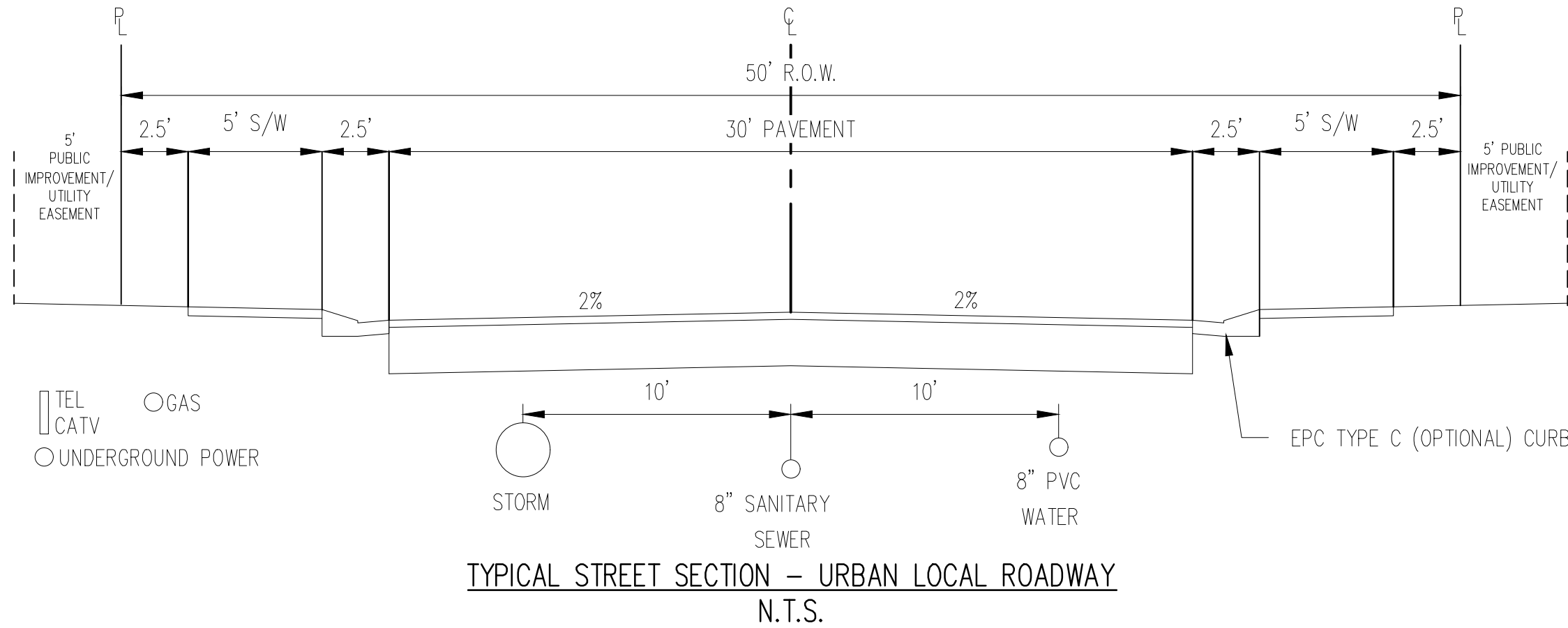
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES ALONG THE ROUTE OF THE WORK. THE OMISSION FROM OR THE INCLUSION OF UTILITY LOCATIONS ON THE PLANS IS NOT TO BE CONSIDERED AS THE NONEXISTENCE OF OR A DEFINITE LOCATION OF EXISTING UNDERGROUND UTILITIES.
- THE CONTRACTOR SHALL TAKE THE NECESSARY PRECAUTIONS TO PROTECT EXISTING UTILITIES FROM DAMAGE DUE TO THIS OPERATION. ANY DAMAGE TO THE UTILITIES WILL BE REPLACED AT THE CONTRACTORS EXPENSE AND ANY SERVICE DISRUPTION WILL BE SETTLED BY THE CONTRACTOR.
- ADDITIONAL EROSION CONTROL STRUCTURES MAY BE REQUIRED AT THE TIME OF CONSTRUCTION.
- ALL BACKFILL, SUB-BASE AND / OR BASE COURSE (CLASS 6) MATERIAL SHALL BE COMPACTED TO THE SOILS ENGINEERS RECOMMENDATIONS, AND APPROVED BY EL PASO COUNTY DEVELOPMENT SERVICES ENGINEERING DIVISION.
- ALL STATIONING IS CENTERLINE UNLESS OTHERWISE INDICATED. ALL ELEVATIONS ARE FLOW LINE UNLESS OTHERWISE INDICATED.
- ALL DISTURBED PAVEMENT EDGES SHALL BE CUT TO NEAT LINES. REPAIR SHALL CONFORM TO THE EPC EDM APPENDIX K – 1.2C.
- ALL INTERSECTION ACCESSES TO BE CONSTRUCTED WITH A 25 FOOT SIGHT VISIBILITY TRIANGLES AND THERE SHALL BE NO OBSTRUCTIONS GREATER THAN 18" IN THIS AREA.
- ALL CULVERT AND STORM PIPES SHALL BE SMOOTH INTERIOR CORRUGATED POLYETHYLENE PIPE (HOPE), OR REINFORCED CONCRETE PIPE (RCP). ALL CULVERTS SHALL BE PLACED COMPLETE WITH FLARED END SECTIONS. ADEQUACY OF MATERIAL THICKNESS FOR ANY CSP INSTALLED SHALL BE VERIFIED BY OWNERS GEOTECHNICAL ENGINEER TO SUPPORT MINIMUM 50 YEAR DESIGN LIFE. CULVERTS MUST CONFORM TO EPC EDM SECTION 3.32 – CULVERTS.
- ASPHALT THICKNESS AND BASE COURSE THICKNESS (COMPACTED FOR ROADS SHALL BE PER DESIGN REPORT BY OWNERS GEOTECHNICAL ENGINEER. OWNERS GEOTECHNICAL ENGINEER TO BE ON SITE AT TIME OF ROAD CONSTRUCTION TO EVALUATE SOIL CONDITIONS AND DETERMINE IF ADDITIONAL MEASURES ARE NECESSARY TO ASSURE STABILITY OF THE NEW ROADS. PAVEMENT DESIGN SHALL BE APPROVED BY EL PASO COUNTY DEVELOPMENT SERVICES ENGINEERING DIVISION PRIOR TO CONSTRUCTION.
- TYPE M RIP-RAP WITH 4" OF TYPE II GRANULAR BEDDING AND MIRAFI 180N OR EQUAL MAY BE SUBSTITUTED WHERE TYPE L RIP-RAP WITH MIRAFI FW 700 OR EQUAL IS SPECIFIED.
- ALL MATERIALS AND INSTALLATION PROCEDURES SHALL BE IN COMPLIANCE WITH ANY AND ALL APPLICABLE EL PASO COUNTY STANDARDS AND WITH WOODMAN HILLS METRO DISTRICT CONSULTING ENGINEER APPROVAL.
- ALL POTABLE WATER MAINS SHALL BE AWWA C900-SDR18 PVC WITH PUSH-ON SINGLE GASKET TYPE JOINTS AND SHALL MEET THE REQUIREMENTS OF ANSI / NSF 61.
- ALL WATER MAIN FITTINGS SHALL BE MADE FROM GRAY-IRON OR DUCTILE IRON AND FURNISHED WITH MECHANICAL JOINT ENDS. ALL FITTINGS SHALL HAVE A PRESSURE RATING OF 250 PSI AND SHALL MEET THE REQUIREMENTS OF ANSI / NSF 61.
- ALL WATER LINE BENDS, TEES, BLOW-OFFS AND PLUGS AT DEAD-END MAINS SHALL BE PROTECTED FROM THRUST BY USING CONCRETE THRUST BLOCKS AND / OR RODDING AND RESTRAINED PIPE PER THE PAINT BRUSH HILLS METRO DISTRICT CONSULTING ENGINEER APPROVAL.
- MAXIMUM DEFLECTION OF 8" OR 12" PVC WATER MAIN JOINTS IS 4 DEGREES. CORRESPONDING MINIMUM CURVE RADIUS IS 286'. ADDITIONAL 11.25' OR 22.5' BENDS MAY BE REQUIRED FOR PROPER ALIGNMENT.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING DETAILED AS-BUILTS OF ALL WATER MAIN, STORM SEWER AND SANITARY. SEWER MAIN INSTALLATIONS, INCLUDING ACCURATE DISTANCES OF MAIN LINES, VALVES, FITTINGS, MANHOLES AND LOCATIONS OF WATER AND SEWER SERVICES.
- SANITARY SEWER PIPE AND FITTINGS: PVC 4" – 8" ASTM D3034, TYPE PSM, SDR 35; PUSH-ON JOINTS AND MOLDED RUBBER GASKETS MAXIMUM HORIZONTAL DEFLECTIONS, AFTER INSTALLATION AND BACK FILLING SHALL NOT EXCEED 3% OF THE PIPE DIAMETER. (MINIMUM CURVE RADIUS IS 100' FOR 8" PVC SANITARY SEWER MAIN)

STANDARD NOTES FOR EPC CONSTRUCTION PLAN

- ALL DRAINAGE AND ROADWAY CONSTRUCTION SHALL MEET THE STANDARDS AND SPECIFICATIONS OF THE CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2, AND THE EL PASO COUNTY ENGINEERING CRITERIA MANUAL.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE NOTIFICATION AND FIELD NOTIFICATION OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, BEFORE BEGINNING CONSTRUCTION. LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CALL 811 TO CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO (UNCC).
- CONTRACTOR SHALL KEEP A COPY OF THESE APPROVED PLANS, THE GRADING AND EROSION CONTROL PLAN, THE STORMWATER MANAGEMENT PLAN (SWMP), THE SOILS AND GEOTECHNICAL REPORT, AND THE APPROPRIATE DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS AT THE JOB SITE AT ALL TIMES, INCLUDING THE FOLLOWING:
  - EL PASO COUNTY ENGINEERING CRITERIA MANUAL (EDM)
  - CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2
  - COLORADO DEPARTMENT OF TRANSPORTATION (CDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION
  - CDOT M & S STANDARDS
- NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL VOLUME 2. ANY DEVIATIONS FROM REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING. ANY MODIFICATIONS NECESSARY TO MEET CRITERIA AFTER-THE-FACT WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO RECTIFY.
- IT IS THE DESIGN ENGINEER'S RESPONSIBILITY TO ACCURATELY SHOW EXISTING CONDITIONS, BOTH ON-SITE AND OFF-SITE, ON THE CONSTRUCTION PLANS. ANY MODIFICATIONS NECESSARY DUE TO CONFLICTS, OMISSIONS, OR CHANGED CONDITIONS WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO RECTIFY.
- CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT (PCD) – INSPECTIONS, PRIOR TO STARTING CONSTRUCTION.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO UNDERSTAND THE REQUIREMENTS OF ALL JURISDICTIONAL AGENCIES AND TO OBTAIN ALL REQUIRED PERMITS, INCLUDING BUT NOT LIMITED TO EL PASO COUNTY EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESQCP), REGIONAL BUILDING FLOODPLAIN DEVELOPMENT PERMIT, U.S. ARMY CORPS OF ENGINEERS-ISSUED 401 AND/OR 404 PERMITS, AND COUNTY AND STATE FUGITIVE DUST PERMITS.
- CONTRACTOR SHALL NOT DEVIATE FROM THE PLANS WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE DESIGN ENGINEER AND PCD. CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY UPON DISCOVERY OF ANY ERRORS OR INCONSISTENCIES.
- ALL STORM DRAIN PIPE SHALL BE CLASS III RCP UNLESS OTHERWISE NOTED AND APPROVED BY PCD.
- CONTRACTOR SHALL COORDINATE GEOTECHNICAL TESTING PER EDM STANDARDS. PAVEMENT DESIGN SHALL BE APPROVED BY EL PASO COUNTY PCD PRIOR TO PLACEMENT OF CURB AND GUTTER AND PAVEMENT.
- ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE AT APPROVED CONSTRUCTION ACCESS POINTS.
- SIGHT VISIBILITY TRIANGLES AS IDENTIFIED IN THE PLANS SHALL BE PROVIDED AT ALL INTERSECTIONS. OBSTRUCTIONS GREATER THAN 18 INCHES ABOVE FLOWLINE ARE NOT ALLOWED WITHIN SIGHT TRIANGLES.
- SIGNING AND STRIPING SHALL COMPLY WITH EL PASO COUNTY DOT AND MUTCD CRITERIA. [IF APPLICABLE, ADDITIONAL SIGNING AND STRIPING NOTES WILL BE PROVIDED.]
- CONTRACTOR SHALL OBTAIN ANY PERMITS REQUIRED BY EL PASO COUNTY DOT, INCLUDING WORK WITHIN THE RIGHT-OF-WAY AND SPECIAL TRANSPORT PERMITS.
- THE LIMITS OF CONSTRUCTION SHALL REMAIN WITHIN THE PROPERTY LINE UNLESS OTHERWISE NOTED. THE OWNER/DEVELOPER SHALL OBTAIN WRITTEN PERMISSION AND EASEMENTS, WHERE REQUIRED, FROM ADJOINING PROPERTY OWNER(S) PRIOR TO ANY OFF-SITE DISTURBANCE, GRADING, OR CONSTRUCTION.

SIGNING AND STRIPING NOTES

- ALL SIGNS AND PAVEMENT MARKINGS SHALL BE IN COMPLIANCE WITH THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- REMOVAL OF EXISTING PAVEMENT MARKINGS SHALL BE ACCOMPLISHED BY A METHOD THAT DOES NOT MATERIALLY DAMAGE THE PAVEMENT. THE PAVEMENT MARKINGS SHALL BE REMOVED TO THE EXTENT THAT THEY WILL NOT BE VISIBLE UNDER DAY OR NIGHT CONDITIONS. AT NO TIME WILL IT BE ACCEPTABLE TO PAINT OVER EXISTING PAVEMENT MARKINGS.
- ANY DEVIATION FROM THE STRIPING AND SIGNING PLAN SHALL BE APPROVED BY EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT.
- ALL SIGNS SHOWN ON THE SIGNING AND STRIPING PLAN SHALL BE NEW SIGNS. EXISTING SIGNS MAY REMAIN OR BE REUSED IF THEY MEET CURRENT EL PASO COUNTY AND MUTCD STANDARDS.
- STREET NAME AND REGULATORY STOP SIGNS SHALL BE ON THE SAME POST AT INTERSECTIONS.
- ALL REMOVED SIGNS SHALL BE DISPOSED OF IN A PROPER MANNER BY THE CONTRACTOR.
- ALL STREET NAME SIGNS SHALL HAVE 'D' SERIES LETTERS, WITH LOCAL ROADWAY SIGNS BEING 4" UPPER-LOWER CASE LETTERING ON 8" BLANK AND NON-LOCAL ROADWAY SIGNS BEING 6" LETTERING, UPPER-LOWER CASE ON 12" BLANK, WITH A WHITE BORDER THAT IS NOT RECESSED. MULTI-LANE ROADWAYS WITH SPEED LIMITS OF 40 MPH OR HIGHER SHALL HAVE 8" UPPER-LOWER CASE LETTERING ON 18" BLANK WITH A WHITE BORDER THAT IS NOT RECESSED. THE WIDTH OF THE NON-RECESSED WHITE BORDERS SHALL MATCH PAGE 255 OF THE 2012 MUTCD "STANDARD HIGHWAY SIGNS"
- ALL TRAFFIC SIGNS SHALL HAVE A MINIMUM HIGH INTENSITY PRISMATIC GRADE SHEETING.
- ALL LOCAL RESIDENTIAL STREET SIGNS SHALL BE MOUNTED ON A 1.75" X 1.75" SQUARE TUBE SIGN POST AND STUB POST BASE. FOR OTHER APPLICATIONS, REFER TO THE CDOT STANDARD S-614-8 REGARDING USE OF THE P2 TUBULAR STEEL POST SLIPBASE DESIGN.
- ALL SIGNS SHALL BE SINGLE SHEET ALUMINUM WITH 0.100" MINIMUM THICKNESS.
- ALL LIMIT LINES/STOP LINES, CROSSWALK LINES, PAVEMENT LEGENDS, AND ARROWS SHALL BE A MINIMUM 125 MIL THICKNESS PREFORMED THERMOPLASTIC PAVEMENT MARKINGS WITH TAPERED LEADING EDGES PER CDOT STANDARD S-627-1. WORD AND SYMBOL MARKINGS SHALL BE THE NARROW TYPE. STOP BARS SHALL BE 24" IN WIDTH. CROSSWALKS LINES SHALL BE 12" WIDE AND 8' LONG PER CDOT S-627-1.
- ALL LONGITUDINAL LINES SHALL BE A MINIMUM 15MIL THICKNESS EPOXY PAINT. ALL NON-LOCAL RESIDENTIAL ROADWAYS SHALL INCLUDE BOTH RIGHT AND LEFT EDGE LINE STRIPING AND ANY ADDITIONAL STRIPING AS REQUIRED BY CDOT S-627-1.
- THE CONTRACTOR SHALL NOTIFY EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT (719) 520-6819 PRIOR TO AND UPON COMPLETION OF SIGNING AND STRIPING.
- THE CONTRACTOR SHALL OBTAIN A WORK IN THE RIGHT OF WAY PERMIT FROM THE EL PASO COUNTY DEPARTMENT OF PUBLIC WORKS (DPW) PRIOR TO ANY SIGNAGE OR STRIPING WORK WITHIN AN EXISTING EL PASO COUNTY ROADWAY.



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Project No:	CLH000018
Drawn By:	CMWJ
Checked By:	RGD
Date:	06/23/2021

NOTES





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CONSTRUCTION DOCUMENTS  
FALCON MEADOWS AT BENT GRASS FILING NO. 1  
FOR  
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BENT GRASS MEADOWS DRIVE & MERDIAN ROAD  
FALCON, CO 80831 - EL PASO COUNTY

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Sheet 3 of 17

**BENCHMARK**  
THE SOUTHWESTERLY CORNER OF LOT 1 WOODMEN HILLS FILING NO. 4, MONUMENTED BY A YELLOW PLASTIC SURVEYOR'S CAP ON A NO. 4 REBAR L# 24954 ELEVATION = 6947.67

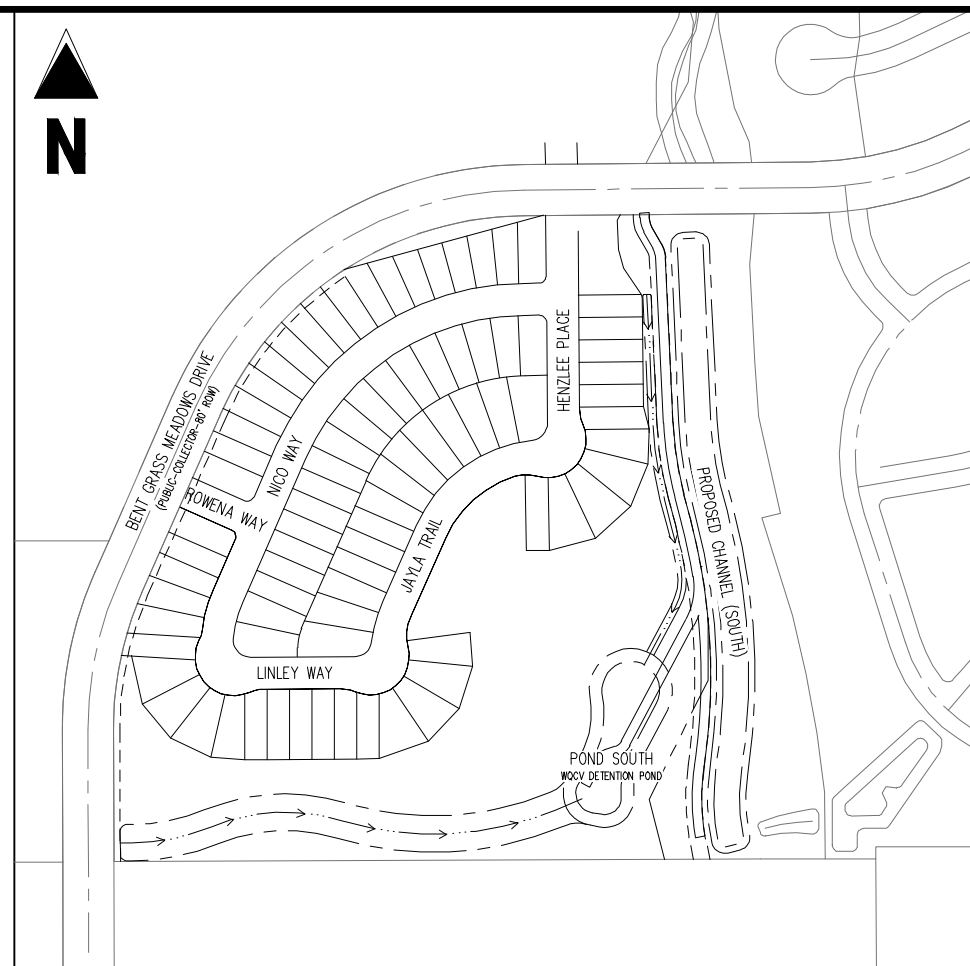
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Know what's **below**  
**Call** before you





SCALE: 1"=300'

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# CHALLENGER HOMES

CONSTRUCTION DOCUMENTS  
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FOR  
CHALLENGER COMMUNITIES, LLC

BENT GRASS MEADOWS DRIVE & MERDIAN ROAD  
FALCON, CO 80831 - EL PASO COUNTY

[illegible]

Project No:	CLH000018
Drawn By:	TPT
Checked By:	RGD
Date:	06/23/2021

## PHASING PLAN

Know what's **below**.  
**Call** before you dig.

ALL BEARINGS ARE GRID BEARINGS OF THE COLORADO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICAN DATUM 1983. THE BEARING OF THE LINE BETWEEN THE SOUTHWEST CORNER OF SECTION 1, T13S, R65W AND THE WEST QUARTER CORNER SECTION 1 T13S, R65W IS N00°13'46"W AND MONUMENTED AS SHOWN:

THE SOUTHWESTERLY CORNER OF LOT 1 WOODMEN HILLS FILING NO. 4, MONUMENTED BY A  
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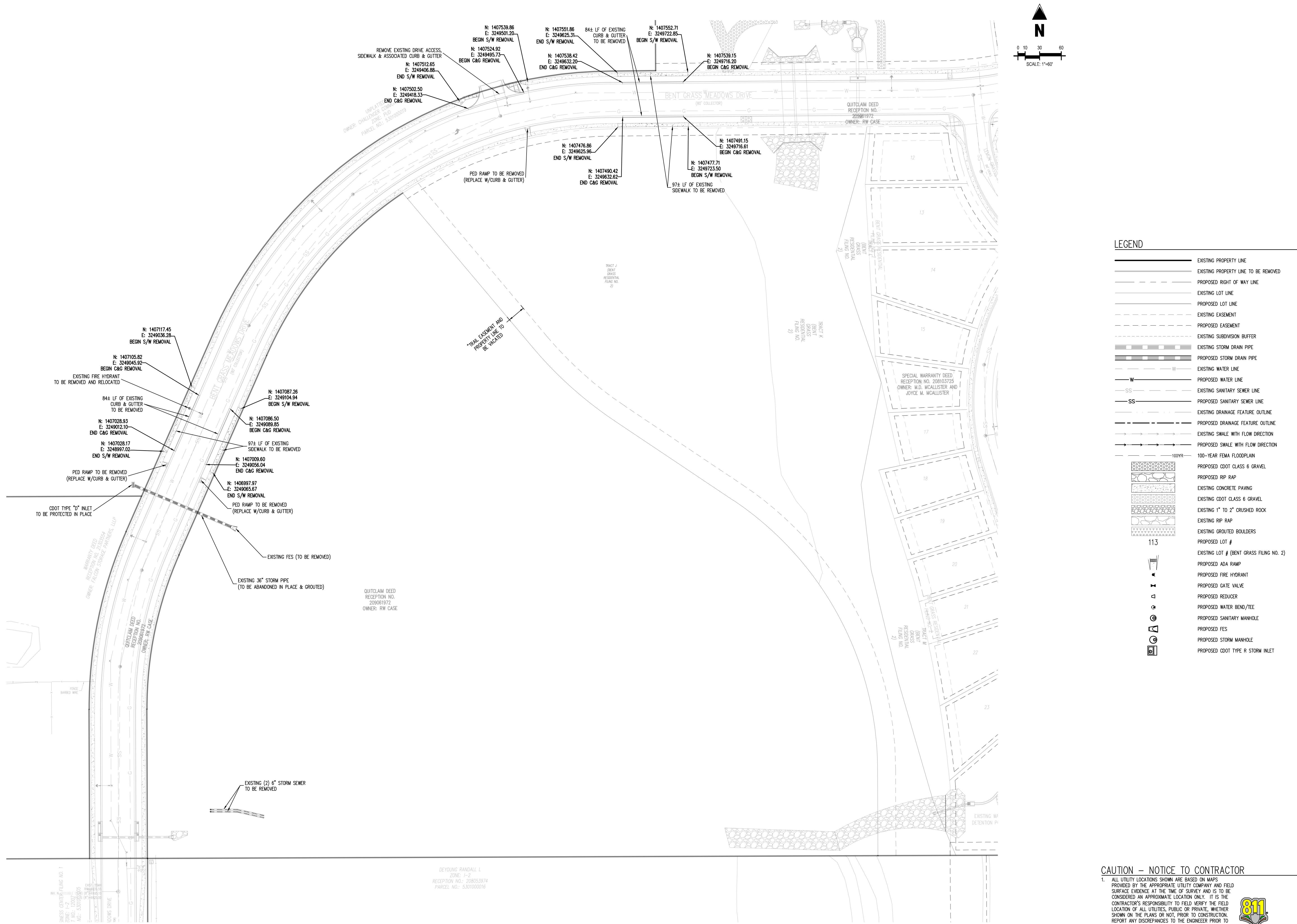
CAUTION - NOTICE TO CONTRACTOR

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Checked By:	RGD
Date:	06/23/2021



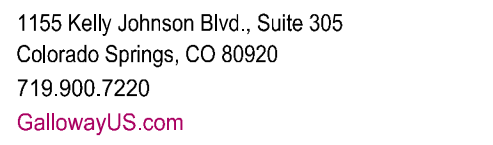
## CAUTION – NOTICE TO CONTRACTOR

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2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POTHOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



Know what's **below**.  
**Call** before you dig.





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ENFORCED AND PROSECUTED.

# CHALLENGER HOMES

CONSTRUCTION DOCUMENTS  
FALCON MEADOWS AT BENT GRASS FILING NO. 1  
FOR  
CHALLENGER COMMUNITIES, LLC  
  
BENT GRASS MEADOWS DRIVE & MERDIAN ROAD  
FALCON, CO 80831 - EL PASO COUNTY

[illegible]

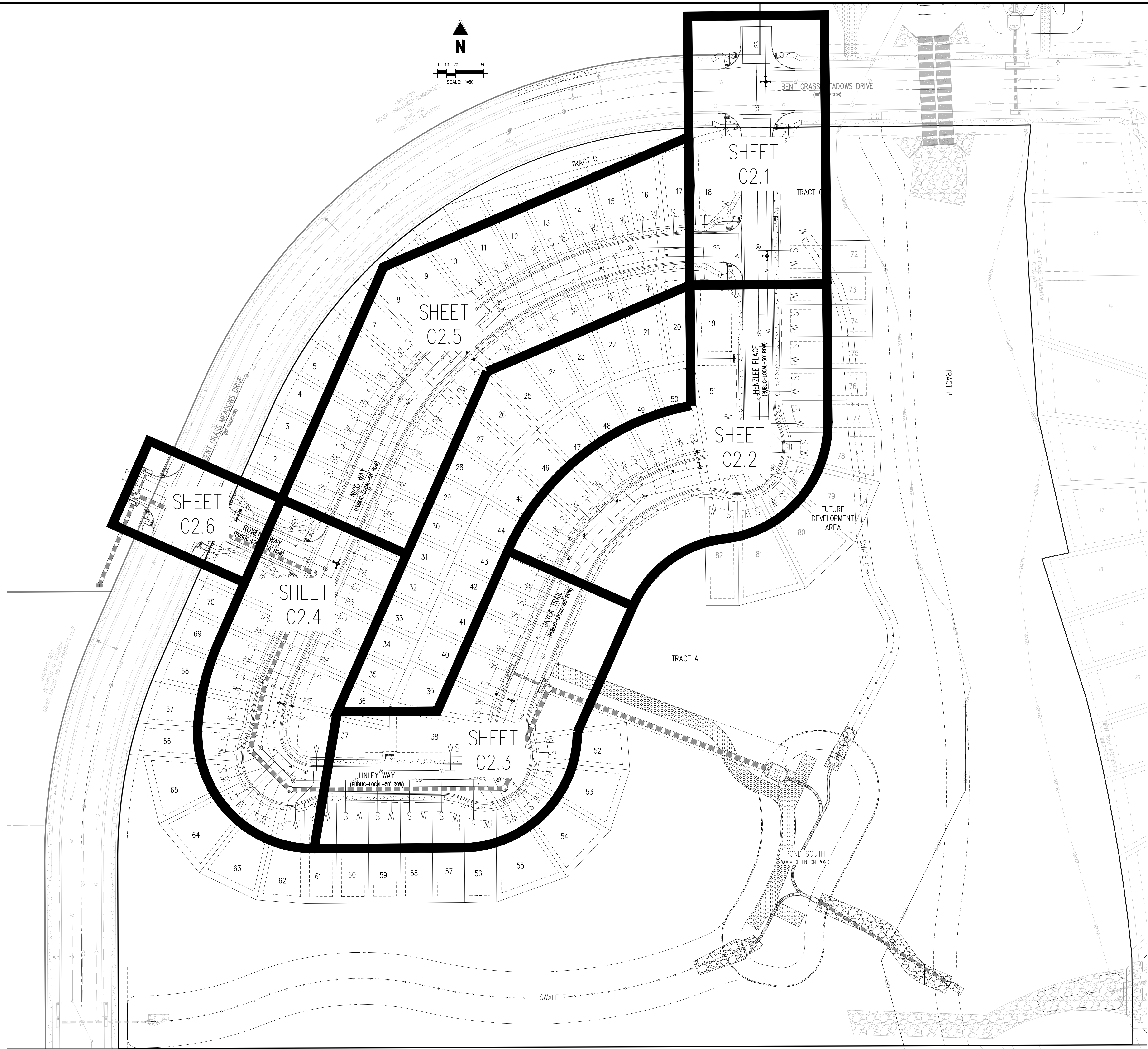
Project No:	CLH000018
Drawn By:	CMWJ
Checked By:	RGD
Date:	06/23/2021

## ROADWAY PLAN & PROFILE

### KEY MAP

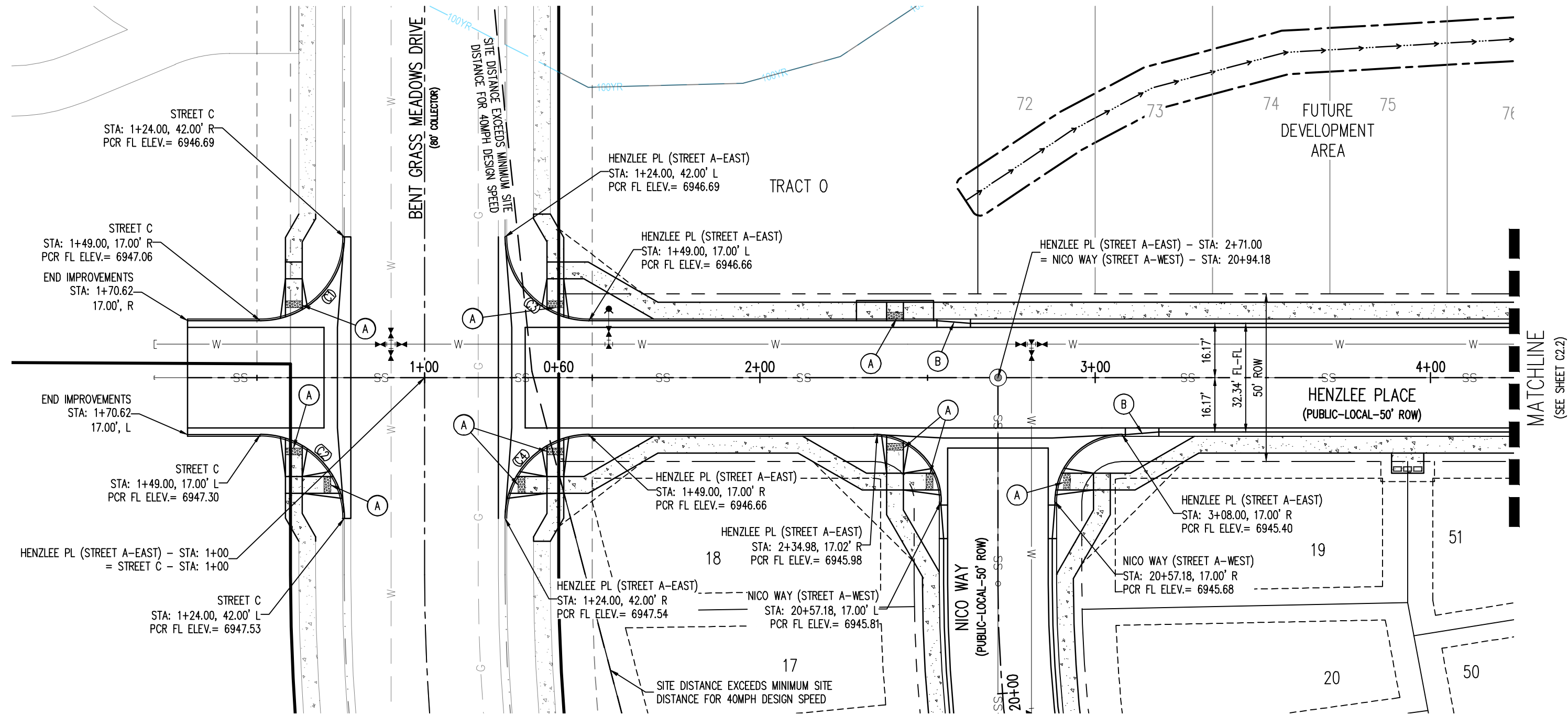
# C2.0

Sheet 6 of 17





\\c01bldg1\server\hcs\GIS\Drawings\2024\11335\11335-001\11335-001.dwg (11335-001.dwg) User: jh11335 Date: 11/22/2024 10:17:45 AM Plot Date: 11/22/2024 10:17:45 AM Plot Scale: 1"=30'



ISABEL PLACE (STREET A-EAST) - PUBLIC 50' R.O.W.  
25 MPH DESIGN SPEED (LOCAL)

PARCEL CURVE SEGMENT TABLE					
CURVE TAG #	DELTA	LENGTH (FT)	RADIUS (FT)	CHORD BEARING	CHORD LENGTH (FT)
C1	90°00'00"	39.27	25.00	N45°29'48"W	35.36
C2	90°00'00"	39.27	25.00	S44°30'12"W	35.36
C3	90°00'00"	38.48	24.50	N44°30'12"E	34.65
C4	90°00'00"	39.27	25.00	S45°29'48"E	35.36

- NOTES
1. ALL STATION CALLOUTS ARE IN RELATION TO THE CENTERLINE OF ROADWAY, THEREFORE STORM SEWER MANHOLE RWS AND INLETS MAY APPEAR TO NOT MEET FINISH GRADE DEPRESSION AT STORM SEWER INLET
  2. STORM SEWER INLET FLOW LINE ELEVATION CALLOUTS TO NOT ACCOUNT FOR FLOW LINE DEPRESSION AT STORM SEWER INLET
  3. ALL SPOT ELEVATIONS ARE TO FLOW LINE UNLESS OTHERWISE NOTED
  4. SEE GRADING PLAN FOR ALL GRADING INFORMATION
  5. ALL STORM SEWER SHALL BE CLASS III RCP
  6. ALL STORM SEWER MANHOLES SHALL BE TYPE 1 UNLESS OTHERWISE NOTED

- CD CURVE TABLE ID
- A PEDESTRIAN RAMP, SEE DETAILS (EPC SD.2-40 & SD.2-41)
- B PROPOSED 10' CURB TRANSITION
- C PROPOSED 5' CURB TRANSITION

- LEGEND
- EXISTING PROPERTY LINE
  - EXISTING PROPERTY LINE TO BE REMOVED
  - PROPOSED RIGHT OF WAY LINE
  - EXISTING LOT LINE
  - PROPOSED LOT LINE
  - EXISTING EASEMENT
  - PROPOSED EASEMENT
  - PROPOSED PIE EASEMENT
  - SIGHT DISTANCE
  - EXISTING SUBDIVISION BUFFER
  - EXISTING STORM DRAIN PIPE
  - PROPOSED STORM DRAIN PIPE
  - EXISTING WATER LINE
  - PROPOSED WATER LINE
  - EXISTING SANITARY SEWER LINE
  - PROPOSED SANITARY SEWER LINE
  - EXISTING DRAINAGE FEATURE OUTLINE
  - PROPOSED DRAINAGE FEATURE OUTLINE
  - EXISTING SWALE WITH FLOW DIRECTION
  - PROPOSED SWALE WITH FLOW DIRECTION
  - 100-YEAR FEMA FLOODPLAIN
  - PROPOSED CDOT CLASS 6 GRAVEL
  - PROPOSED RIP RAP
  - EXISTING CONCRETE PAVING
  - EXISTING CDOT CLASS 6 GRAVEL
  - EXISTING 1" TO 2" CRUSHED ROCK
  - EXISTING RIP RAP
  - EXISTING GROUTED BOULDERS
  - PROPOSED LOT #
  - EXISTING LOT # (BENT GRASS FILING NO. 2)
  - PROPOSED ADA RAMP
  - PROPOSED FIRE HYDRANT
  - PROPOSED GATE VALVE
  - PROPOSED REDUCER
  - PROPOSED WATER BEND/TIE
  - PROPOSED SANITARY MANHOLE
  - PROPOSED FES
  - PROPOSED STORM MANHOLE
  - PROPOSED CDOT TYPE R STORM INLET

CONTRACTOR MUST COORDINATE WORK WITH WOODMEN HILLS METROPOLITAN DISTRICT PRIOR TO BEGINNING WORK AND IS RESPONSIBLE FOR ALL MATERIALS, LABOR, REPAIRS, ETC. TO COMPLETE WORK AND RESTORE AREA TO SAME STATE PRIOR TO STARTING WORK.

LENGTHS OF STORM SEWER ARE THE HORIZONTAL DISTANCES FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE UNLESS OTHERWISE NOTED. THEREFORE LENGTHS SHOWN ARE APPROXIMATE AND COULD VARY DUE TO VERTICAL ALIGNMENT AND STRUCTURE WIDTHS.

MAINTAIN MINIMUM 18" VERTICAL AND 10' HORIZONTAL SEPARATION BETWEEN STORM SEWER AND POTABLE WATER OR WASTEWATER. A 12" VERTICAL CLEARANCE MUST BE MAINTAINED BETWEEN IRRIGATION LINES.

SURVEYOR TO OBTAIN AUTOCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION WORK.

#### BASIS OF BEARINGS

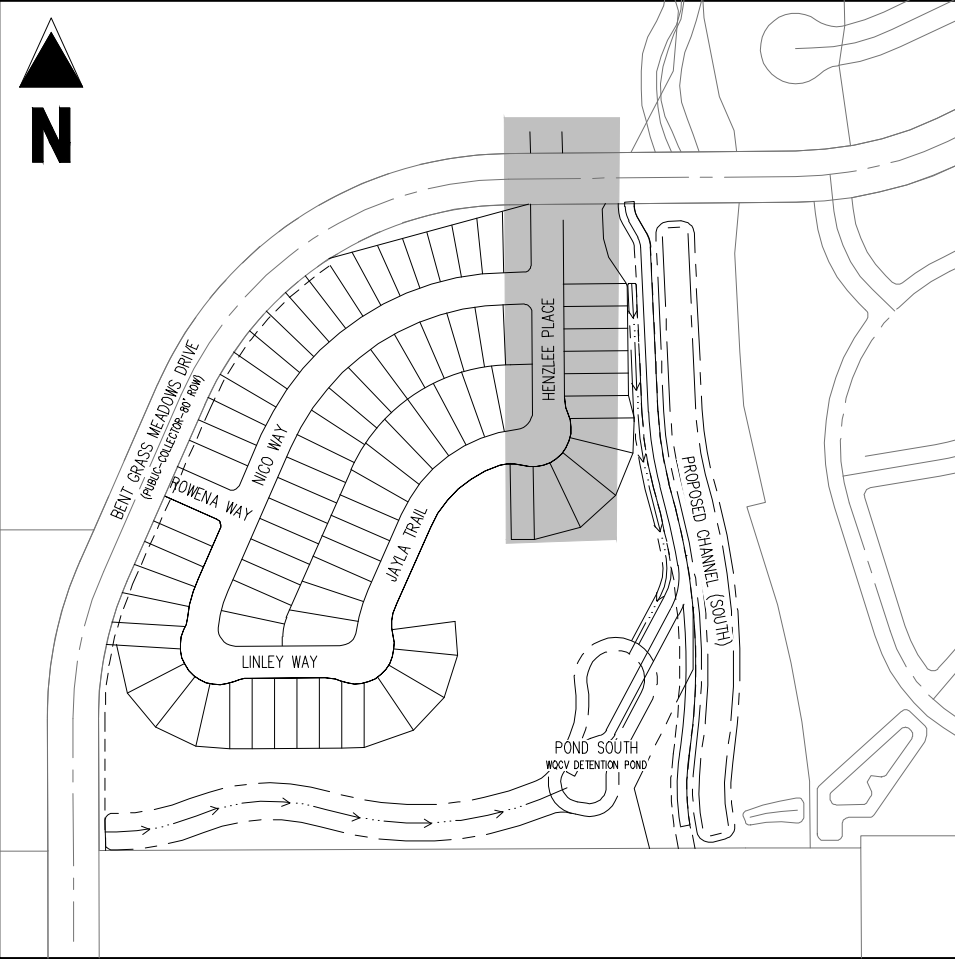
ALL BEARINGS ARE GRID BEARINGS OF THE COLORADO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICAN DATUM 1983. THE BEARING OF THE LINE BETWEEN THE SOUTHWEST CORNER OF SECTION 1, 113S, R65W AND THE WEST QUARTER CORNER SECTION 1, 113S, R65W IS N007°13'46"W AND MONUMENTED AS SHOWN.

#### BENCHMARK

THE SOUTHWEST CORNER OF LOT 1 WOODMEN HILLS FILING NO. 4, MONUMENTED BY A YELLOW PLASTIC SURVEYORS CAP ON A NO. 4 REBAR L5# 24954 ELEVATION = 6947.67

#### CAUTION - NOTICE TO CONTRACTOR

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#### KEY MAP

SCALE: 1"=300'

#### COPYRIGHT

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CHALLENGER  
HOMES

CONSTRUCTION DOCUMENTS  
FALCON MEADOWS AT BENT GRASS FILING NO. 1  
FOR  
CHALLENGER COMMUNITIES, LLC

BENT GRASS MEADOWS DRIVE & MERIDIAN ROAD  
FALCON, CO 80831 - EL PASO COUNTY

#	Date	Issue / Description	Init.
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Project No:	CLH000018
Drawn By:	CMWJ
Checked By:	RGD
Date:	06/23/2021

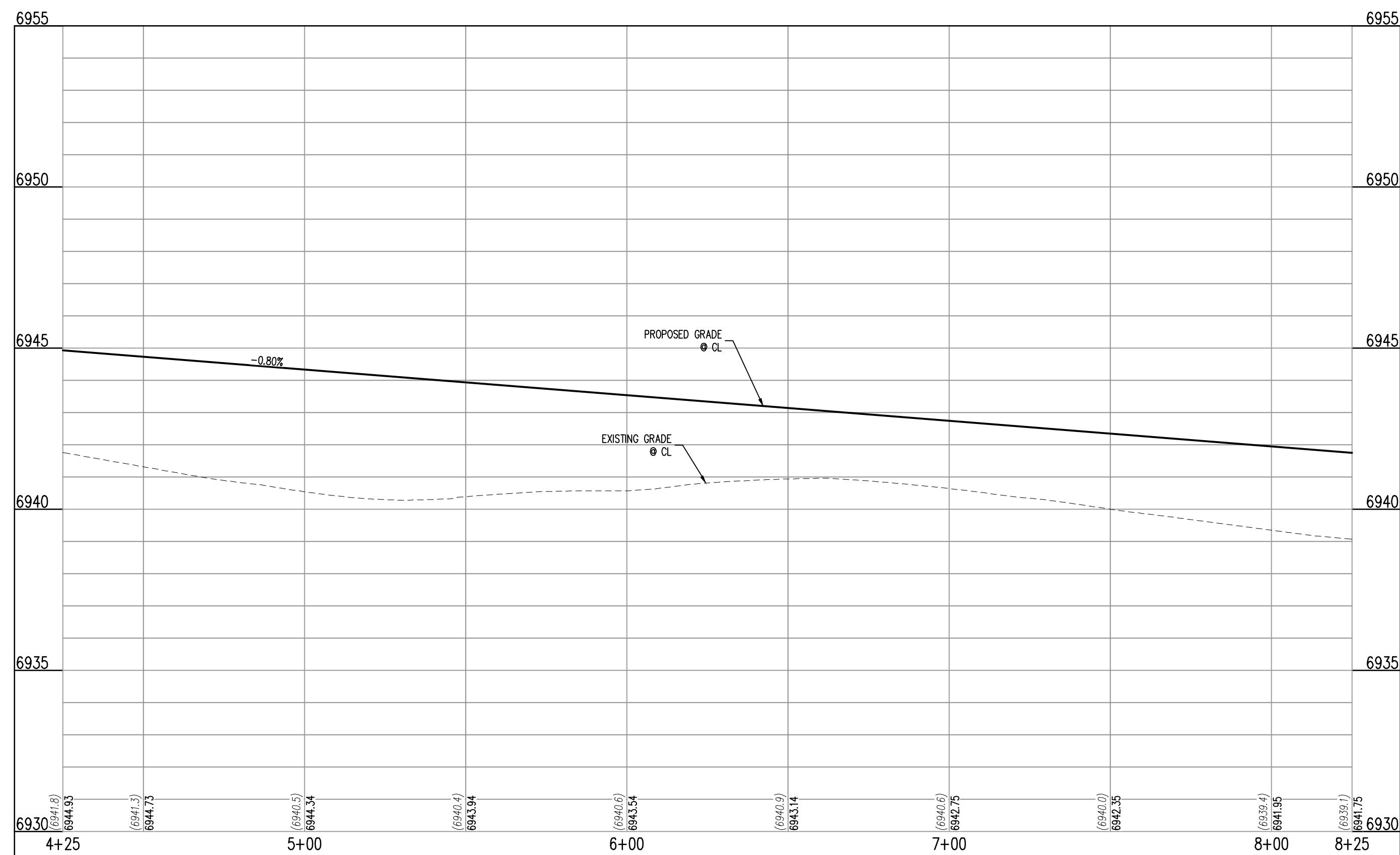
HENZLEE PLACE STREET  
IMPROVEMENT PLAN

C2.1

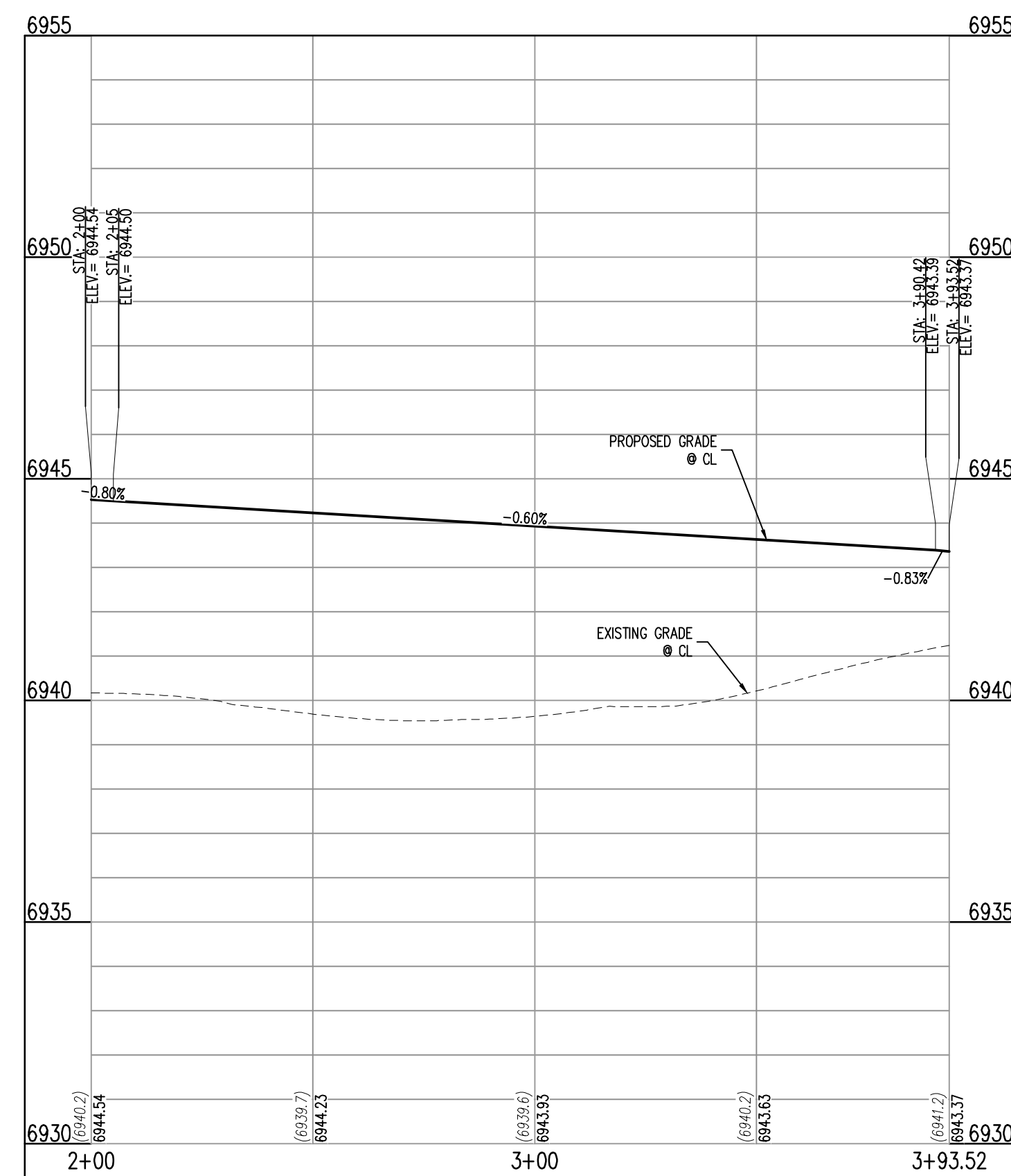
Sheet 7 of 17



HENZLEE PLACE & JAYLA TRAIL (STREET A-EAST) – PUBLIC 50' R.O.W.  
25 MPH DESIGN SPEED (LOCAL)



HENZLEE PL & JAYLA TRL (STREET A-EAST)  
STA: 4+25 - 8+25  
SCALE: H: 1"=30' V: 1"=10'



KNUCKLE 3  
 STA: 2+00 - 3+93.52  
 SCALE: H: 1"=30' V: 1"=10'

## NOTES

1. ALL STATION CALLOUTS ARE IN RELATION TO THE CENTERLINE OF ROADWAY, THEREFORE STORM SEWER MANHOLE RIMS AND INLETS MAY APPEAR TO NOT MEET FINISH GRADE
2. STORM SEWER INLET FLOW LINE ELEVATION CALLOUTS TO NOT ACCOUNT FOR FLOW LINE DEPRESSION AT STORM SEWER INLET
3. ALL SPOT ELEVATIONS ARE TO FLOW LINE UNLESS OTHERWISE NOTED
4. SEE GRADING PLAN FOR ALL GRADING INFORMATION
5. ALL STORM SEWER SHALL BE CLASS III RCP
6. ALL STORM SEWER MANHOLES SHALL BE TYPE 1 UNLESS OTHERWISE NOTED

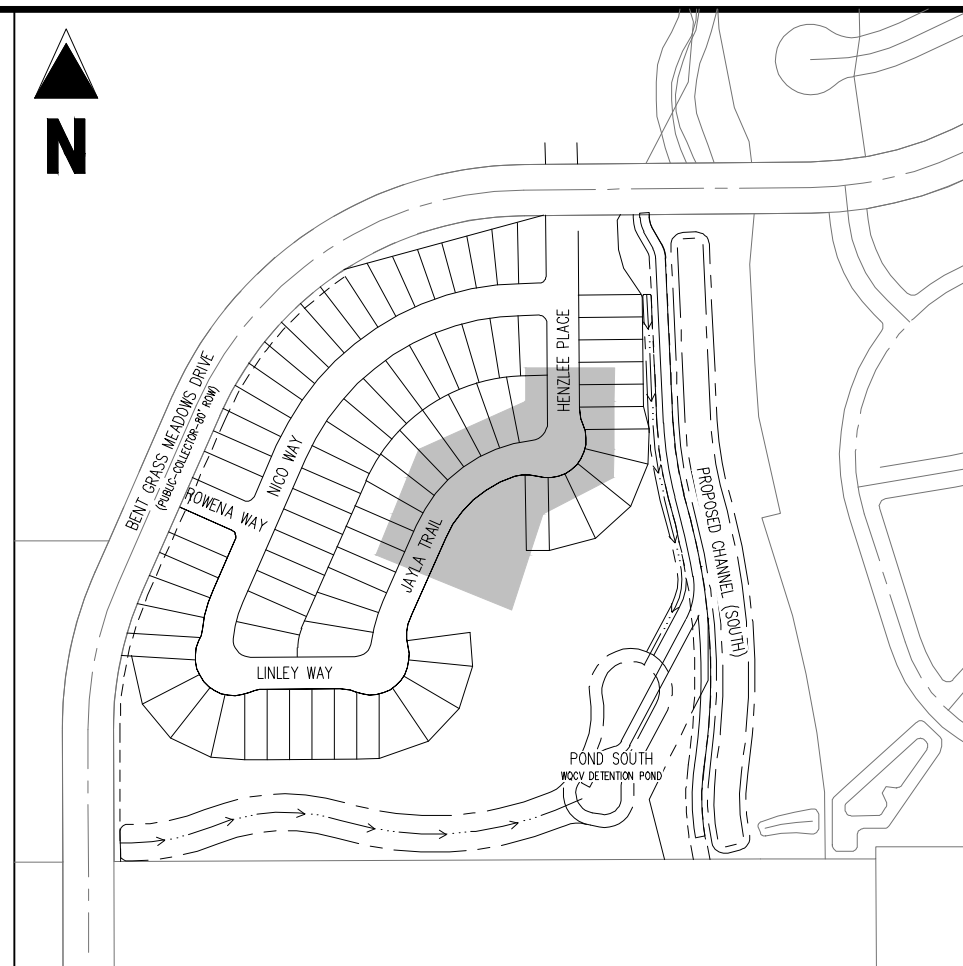
(C1) CURVE TABLE II

(A) PEDESTRIAN RAMP, SEE DETAILS (EPC SD\_2-40 & SD\_2-41)

(B) PROPOSED 10' CURB TRANSITION

(C) PROPOSED 5' CURB TRANSITION

PARCEL CURVE SEGMENT TABLE					
CURVE TAG #	DELTA	LENGTH (FT)	RADIUS (FT)	CHORD BEARING	CHORD LENGTH (FT)
C8	84°10'57"	52.64	35.83	S41°35'40"W	48.03
C5	23°33'23"	28.78	70.00	N12°16'30"W	28.58
C6	130°20'19"	113.74	50.00	N41°06'58"E	90.76
C7	33°32'26"	41.70	70.00	N89°30'25"E	40.41



KEY MAP  
SCALE: 1"=300'

LEGEND

- |  |   |
|--|---|
|  | EXISTING PROPERTY LINE                  |
|  | EXISTING PROPERTY LINE TO BE REMOVED    |
|  | PROPOSED RIGHT OF WAY LINE              |
|  | EXISTING LOT LINE                       |
|  | PROPOSED LOT LINE                       |
|  | EXISTING EASEMENT                       |
|  | PROPOSED EASEMENT                       |
|  | PROPOSED PIE EASEMENT                   |
|  | SIGHT DISTANCE                          |
|  | EXISTING SUBDIVISION BUFFER             |
|  | EXISTING STORM DRAIN PIPE               |
|  | PROPOSED STORM DRAIN PIPE               |
|  | EXISTING WATER LINE                     |
|  | PROPOSED WATER LINE                     |
|  | EXISTING SANITARY SEWER LINE            |
|  | PROPOSED SANITARY SEWER LINE            |
|  | EXISTING DRAINAGE FEATURE OUTLINE       |
|  | PROPOSED DRAINAGE FEATURE OUTLINE       |
|  | EXISTING SWALE WITH FLOW DIRECTION      |
|  | PROPOSED SWALE WITH FLOW DIRECTION      |
|  | 100-YR FEMA FLOODPLAIN                  |
|  | PROPOSED CDOT CLASS 6 GRAVEL            |
|  | PROPOSED RIP RAP                        |
|  | EXISTING CONCRETE PAVING                |
|  | EXISTING CDOT CLASS 6 GRAVEL            |
|  | EXISTING 1" TO 2" CRUSHED ROCK          |
|  | EXISTING RIP RAP                        |
|  | EXISTING GROUTED BOULDERS               |
|  | PROPOSED LOT #                          |
|  | EXISTING LOT # (BENT GRASS PLING NO. 2) |
|  | PROPOSED ADA RAMP                       |
|  | PROPOSED FIRE HYDRANT                   |
|  | PROPOSED GATE VALVE                     |
|  | PROPOSED REDUCER                        |
|  | PROPOSED WATER BEND/TEE                 |
|  | PROPOSED SANITARY MANHOLE               |
|  | PROPOSED FES                            |
|  | PROPOSED STORM MANHOLE                  |
|  | PROPOSED CDOT TYPE R STORM INLET        |

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## BASIS OF BEARINGS

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## BENCHMARK

THE SOUTHWESTERLY CORNER OF LOT 1 WOODMEN HILLS FILING NO. 4. MONUMENTED BY A  
YELLOW PLASTIC SURVEYORS CAP ON A NO. 4 REBAR LS# 24954 ELEVATION = 6947.67

CAUTION - NOTICE TO CONTRACTOR

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# CHALLENGER HOMES

CONSTRUCTION DOCUMENTS  
FALCON MEADOWS AT BENT GRASS FILING NO. 1

CHALLENGER COMMUNITIES, LLC

BENT GRASS MEADOWS DRIVE & MERDIAN ROAD  
FALCON, CO 80831 - EL PASO COUNTY

[illegible]

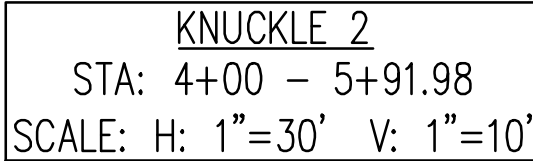
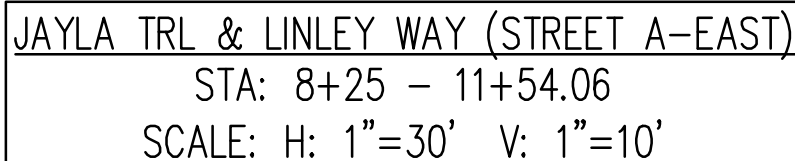
Project No:	CLH000018
Drawn By:	CMWJ
Checked By:	RGD
Date:	06/23/2021

## JAYLA TRAIL STREET IMPROVEMENT PLAN

## C2.2

Sheet 8 of 17

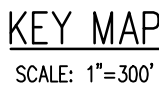




1. ALL STATION CALLOUTS ARE IN RELATION TO THE CENTERLINE OF ROADWAY, THEREFORE STORM SEWER MANHOLE RIMS AND INLETS MAY APPEAR TO NOT MEET FINISH GRADE
2. STORM SEWER INLET FLOW LINE ELEVATION CALLOUTS TO NOT ACCOUNT FOR FLOW LINE DEPRESSION AT STORM SEWER INLET
3. ALL SPOT ELEVATIONS ARE TO FLOW LINE UNLESS OTHERWISE NOTED
4. SEE GRADING PLAN FOR ALL GRADING INFORMATION
5. ALL STORM SEWER SHALL BE CLASS III RCP
6. ALL STORM SEWER MANHOLES SHALL BE TYPE 1 UNLESS OTHERWISE NOTED

- (C1) CURVE TABLE ID
- (A) PEDESTRIAN RAMP, SEE DETAILS (EPC SD\_2-40 & SD\_2-41)
- (B) PROPOSED 10' CURB TRANSITION
- (C) PROPOSED 5' CURB TRANSITION

CURVE TABLE					
CURVE TAG #	DELTA	LENGTH (FT)	RADIUS (FT)	CHORD BEARING	CHORD LENGTH (FT)
C9	33°33'26"	41.00	70.00	N17°25'43"E	40.41
C10	128°34'32"	112.20	50.00	N48°56'15"E	90.10
C11	23°33'23"	28.78	70.00	S78°53'10"E	28.58



	EXISTING PROPERTY LINE
	EXISTING PROPERTY LINE TO BE REMOVED
	PROPOSED RIGHT OF WAY LINE
	EXISTING LOT LINE
	PROPOSED LOT LINE
	EXISTING EASEMENT
	PROPOSED EASEMENT
	PROPOSED PIE EASEMENT
	SIGHT DISTANCE
	EXISTING SUBDIVISION BUFFER
	EXISTING STORM DRAIN PIPE
	PROPOSED STORM DRAIN PIPE
	EXISTING WATER LINE
	PROPOSED WATER LINE
	EXISTING SANITARY SEWER LINE
	PROPOSED SANITARY SEWER LINE
	EXISTING DRAINAGE FEATURE OUTLINE
	PROPOSED DRAINAGE FEATURE OUTLINE
	EXISTING SWALE WITH FLOW DIRECTION
	PROPOSED SWALE WITH FLOW DIRECTION
	100-YEAR FEMA FLOODPLAIN
	PROPOSED CDOT CLASS 6 GRAVEL
	PROPOSED RIP RAP
	EXISTING CONCRETE PAVING
	EXISTING CDOT CLASS 6 GRAVEL
	EXISTING 1" TO 2" CRUSHED ROCK
	EXISTING RIP RAP
	EXISTING GROUTED BOULDERS
	PROPOSED LOT #
	EXISTING LOT # (BENT GRASS FILING NO.)
	PROPOSED ADA RAMP
	PROPOSED FIRE HYDRANT
	PROPOSED GATE VALVE
	PROPOSED REDUCER
	PROPOSED WATER BEND/TEE
	PROPOSED SANITARY MAN-HOLE
	PROPOSED FES
	PROPOSED STORM MANHOLE
	PROPOSED CDOT TYPE R STORM INLET

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# CHALLENGER HOMES

CONSTRUCTION DOCUMENTS  
FALCON MEADOWS AT BENT GRASS FILING NO. 1  
FOR  
CHALLENGER COMMUNITIES, LLC

BENT GRASS MEADOWS DRIVE & MERDIAN ROAD  
FALCON, CO 80831 - EL PASO COUNTY

[illegible]

Project No:	CLH000018
Drawn By:	CMWJ
Checked By:	RGD
Date:	06/23/2021

# LINLEY WAY STREET IMPROVEMENT PLAN

## C2.3

Sheet 9 of 17



11/20/2024 10:58:00 AM C:\Users\jgallows\OneDrive\Documents\Projects\2024\SW NICO IMPROVEMENT\SW NICO IMPROVEMENT.dwg User: jgallows Plot Date: 11/20/2024 Plot Time: 10:58:00 AM Plot Path: C:\Users\jgallows\OneDrive\Documents\Projects\2024\SW NICO IMPROVEMENT\SW NICO IMPROVEMENT.dwg

PARCEL CURVE SEGMENT TABLE				
CURVE TAG #	DELTA	LENGTH (FT)	RADIUS (FT)	CHORD BEARING
C12	23°33'23"	28.78	70.00	N77°53'26"E
C13	139°09'15"	121.43	50.00	S44°18'38"E
C14	18°08'28"	22.16	70.00	S16°11'46"W

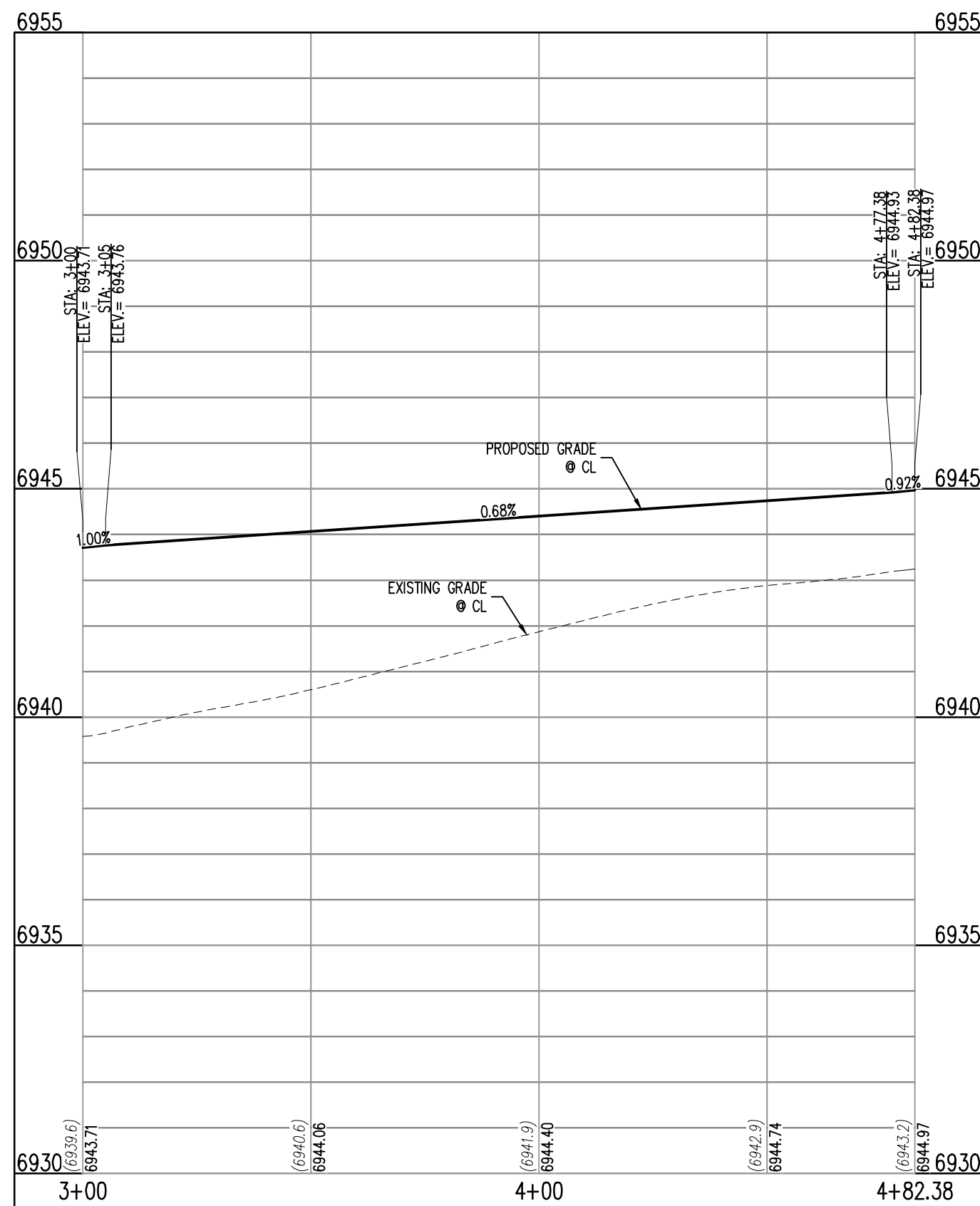
#### NOTES

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3. ALL SPOT ELEVATIONS ARE TO FLOW LINE UNLESS OTHERWISE NOTED.
4. SEE GRADING PLAN FOR ALL GRADING INFORMATION.
5. ALL STORM SEWER SHALL BE GLASS III ROP.
6. ALL STORM SEWER MANHOLES SHALL BE TYPE 1 UNLESS OTHERWISE NOTED.

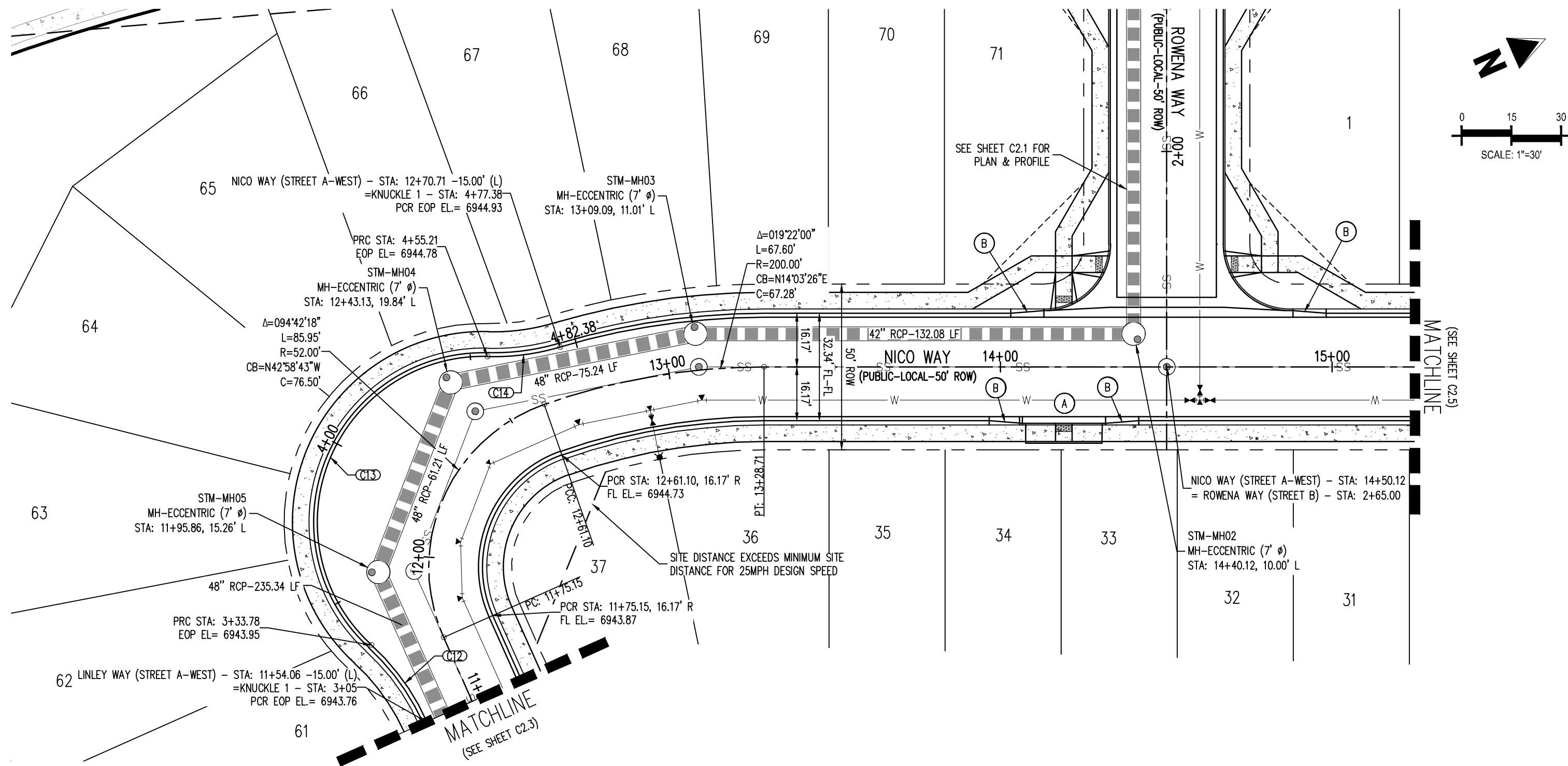
(C1) CURVE TABLE ID

(A) PEDESTRIAN RAMP, SEE DETAILS (EPC SD\_2-40 & SD\_2-41)

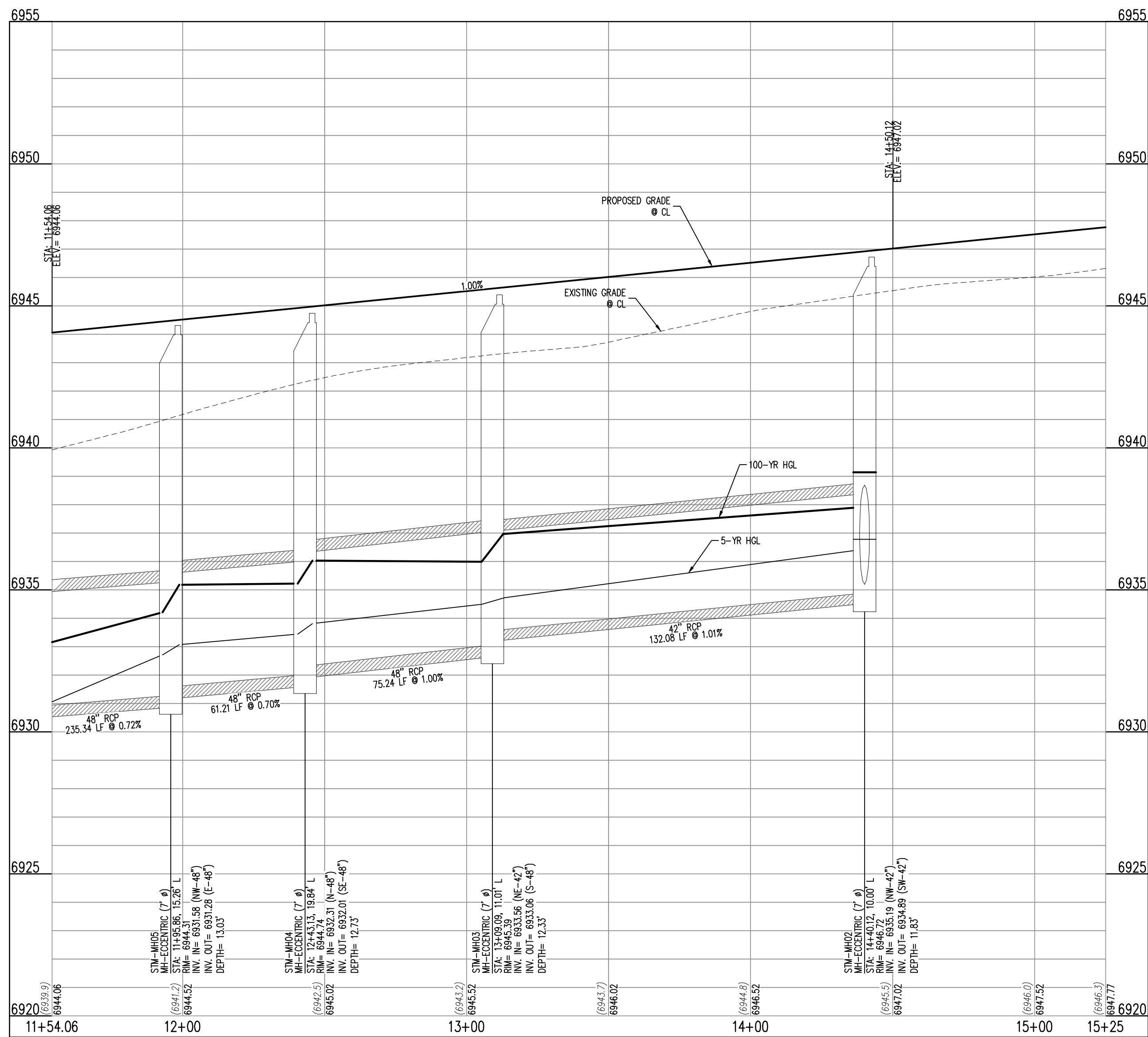
(B) PROPOSED 10' CURB TRANSITION



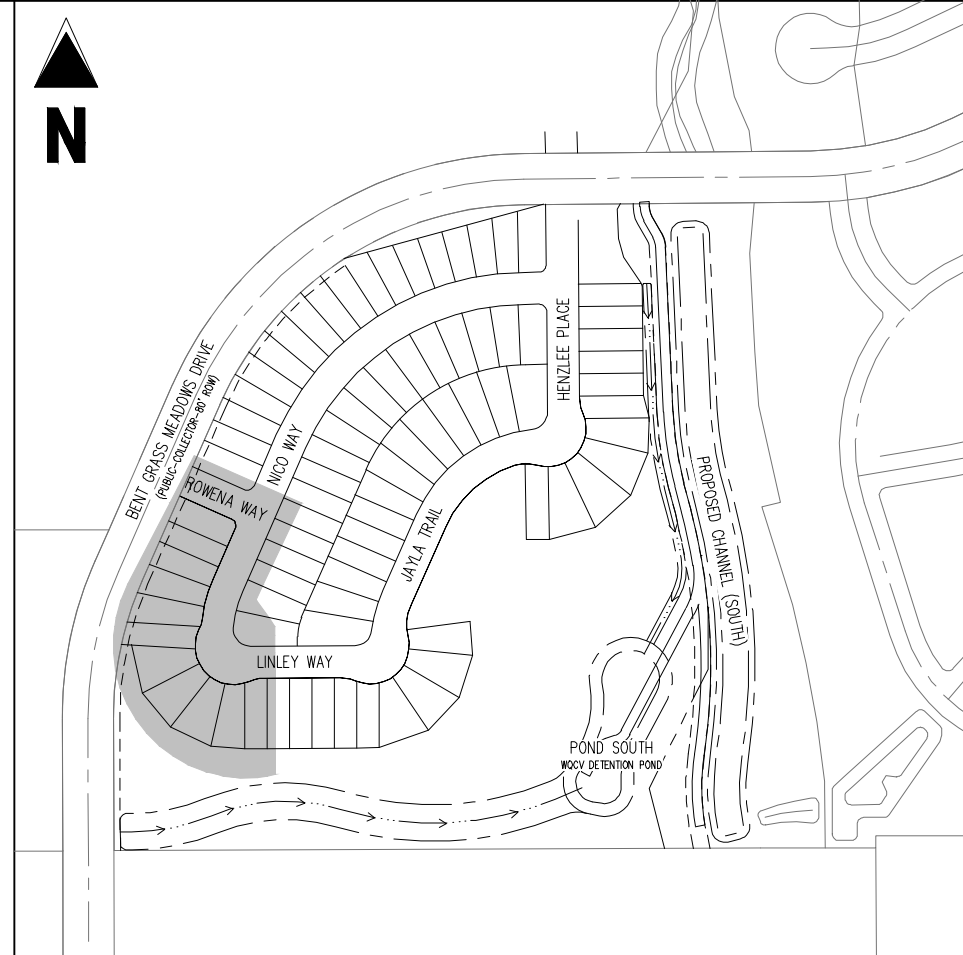
KNUCKLE 1  
STA: 3+00 - 4+82.38  
SCALE: H: 1"=30' V: 1"=10'



LINELY WAY & NICO WAY (STREET A-WEST) - PUBLIC 50' R.O.W.  
25 MPH DESIGN SPEED (LOCAL)



LINELY WAY & NICO WAY (STREET A-WEST)  
STA: 11+54.06 - 15+25  
SCALE: H: 1"=30' V: 1"=10'



#### KEY MAP

SCALE: 1"=300'

#### LEGEND

- EXISTING PROPERTY LINE
- EXISTING PROPERTY LINE TO BE REMOVED
- PROPOSED RIGHT OF WAY LINE
- EXISTING LOT LINE
- PROPOSED LOT LINE
- EXISTING EASEMENT
- PROPOSED EASEMENT
- PROPOSED PIE EASEMENT
- SIGHT DISTANCE
- EXISTING SUBDIVISION BUFFER
- EXISTING STORM DRAIN PIPE
- PROPOSED STORM DRAIN PIPE
- EXISTING WATER LINE
- PROPOSED WATER LINE
- EXISTING SANITARY SEWER LINE
- PROPOSED SANITARY SEWER LINE
- EXISTING DRAINAGE FEATURE OUTLINE
- PROPOSED DRAINAGE FEATURE OUTLINE
- EXISTING SWALE WITH FLOW DIRECTION
- PROPOSED SWALE WITH FLOW DIRECTION
- 100-YEAR FEMA FLOODPLAIN
- PROPOSED CDOT CLASS 6 GRAVEL
- PROPOSED RIP RAP
- EXISTING CONCRETE PAVING
- EXISTING CDOT CLASS 6 GRAVEL
- EXISTING 1" TO 2" CRUSHED ROCK
- EXISTING RIP RAP
- EXISTING GROUTED BOULDERS
- PROPOSED LOT #
- EXISTING LOT # (BENT GRASS FILING NO. 2)
- PROPOSED ADA RAMP
- PROPOSED FIRE HYDRANT
- PROPOSED GATE VALVE
- PROPOSED REDUCER
- PROPOSED WATER BEND/TIE
- PROPOSED SANITARY MANHOLE
- PROPOSED FES
- PROPOSED STORM MANHOLE
- PROPOSED CDOT TYPE R STORM INLET

CONTRACTOR MUST COORDINATE WORK WITH WOODMEN HILLS METROPOLITAN DISTRICT PRIOR TO BEGINNING WORK AND IS RESPONSIBLE FOR ALL MATERIALS, LABOR, REPAIRS, ETC. TO COMPLETE WORK AND RESTORE AREA TO SAME STATE PRIOR TO STARTING WORK.

LENGTHS OF STORM SEWER ARE THE HORIZONTAL DISTANCES FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE UNLESS OTHERWISE NOTED. THEREFORE LENGTHS SHOWN ARE APPROXIMATE AND COULD VARY DUE TO VERTICAL ALIGNMENT AND STRUCTURE WIDTHS.

MAINTAIN MINIMUM 18" VERTICAL AND 10' HORIZONTAL SEPARATION BETWEEN STORM SEWER AND POTABLE WATER OR WASTEWATER. A 12" VERTICAL CLEARANCE MUST BE MAINTAINED BETWEEN IRRIGATION LINES.

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#### BASIS OF BEARINGS

ALL BEARINGS ARE GRID BEARINGS OF THE COLORADO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICAN DATUM 1983. THE BEARING OF THE LINE BETWEEN THE SOUTHWEST CORNER OF SECTION 1, T13S, R65W AND THE WEST QUARTER CORNER SECTION 1, T13S, R65W IS N007°13'46"W AND MONUMENTED AS SHOWN.

#### BENCHMARK

THE SOUTHWEST CORNER OF LOT 1 WOODMEN HILLS FILING NO. 4, MONUMENTED BY A YELLOW PLASTIC SURVEYORS CAP ON A NO. 4 REBAR L5# 24554 ELEVATION = 6947.67

#### CAUTION - NOTICE TO CONTRACTOR

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CHALLENGER  
HOMES

CONSTRUCTION DOCUMENTS  
FALCON MEADOWS AT BENT GRASS FILING NO. 1  
FOR  
CHALLENGER COMMUNITIES, LLC

BENT GRASS MEADOWS DRIVE & MERIDIAN ROAD  
FALCON, CO 80831 - EL PASO COUNTY

#	Date	Issue / Description	Init.
1			
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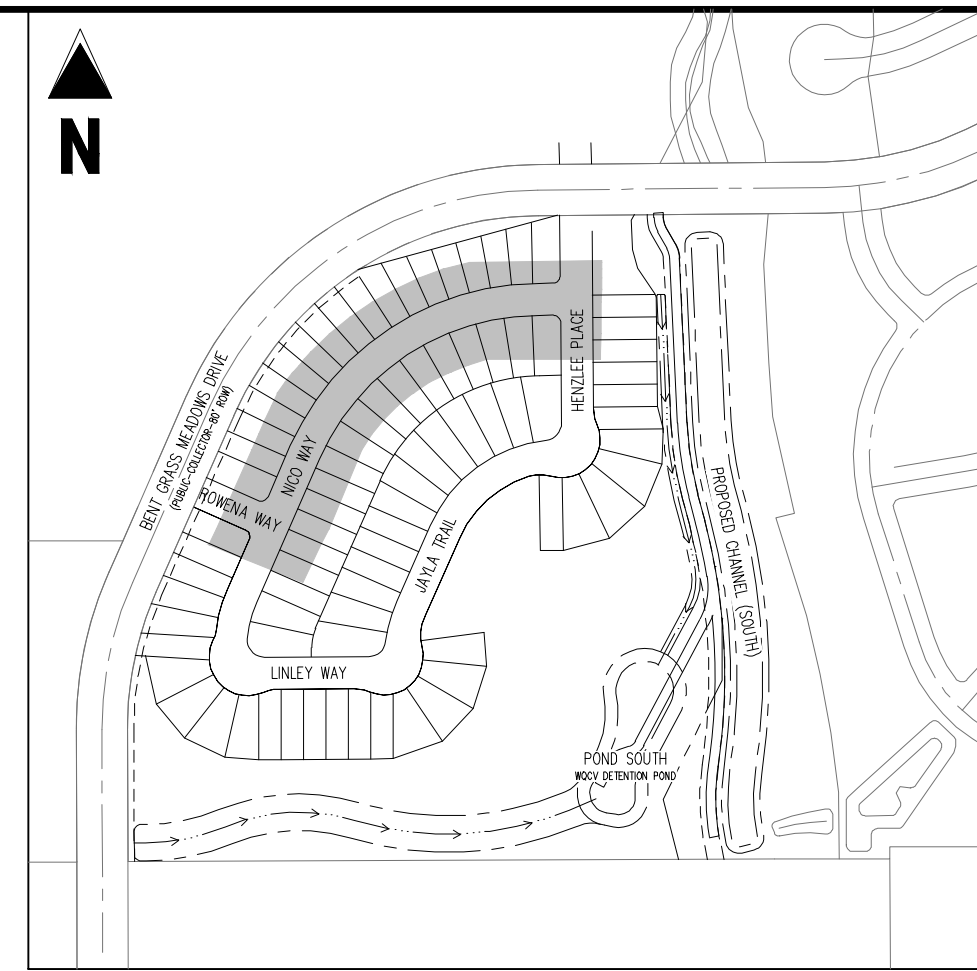
Project No:	CLH000018
Drawn By:	CMWJ
Checked By:	RGD
Date:	06/23/2021

SW NICO IMPROVEMENT  
PLAN

C2.4

Sheet 10 of 17





KEY MAP  
SCALE: 1"=300'

### LEGEND

- |     |  |
|-----|--|
|     | EXISTING PROPERTY LINE                 |
|     | EXISTING PROPERTY LINE TO BE REMOVED   |
|     | PROPOSED RIGHT OF WAY LINE             |
|     | EXISTING LOT LINE                      |
|     | PROPOSED LOT LINE                      |
|     | EXISTING EASEMENT                      |
|     | PROPOSED EASEMENT                      |
|     | PROPOSED PIE EASEMENT                  |
|     | SIGHT DISTANCE                         |
|     | EXISTING SUBDIVISION BUFFER            |
|     | EXISTING STORM DRAIN PIPE              |
|     | PROPOSED STORM DRAIN PIPE              |
|     | EXISTING WATER LINE                    |
|     | PROPOSED WATER LINE                    |
|     | EXISTING SANITARY SEWER LINE           |
|     | PROPOSED SANITARY SEWER LINE           |
|     | EXISTING DRAINAGE FEATURE OUTLINE      |
|     | PROPOSED DRAINAGE FEATURE OUTLINE      |
|     | EXISTING SWALE WITH FLOW DIRECTION     |
|     | PROPOSED SWALE WITH FLOW DIRECTION     |
|     | 100-YR<br>100-YEAR FEMA FLOODPLAIN     |
|     | PROPOSED CDOT CLASS 6 GRAVEL           |
|     | PROPOSED RIP RAP                       |
|     | EXISTING CONCRETE PAVING               |
|     | EXISTING CDOT CLASS 6 GRAVEL           |
|     | EXISTING 1" TO 2" CRUSHED ROCK         |
|     | EXISTING RIP RAP                       |
|     | EXISTING GROUTED BOULDERS              |
| 113 | EXISTING LOT #                         |
|     | EXISTING LOT # (BENT GRASS FILING NO.) |
|     | PROPOSED ADA RAMP                      |
|     | PROPOSED FIRE HYDRANT                  |
|     | PROPOSED GATE VALVE                    |
|     | PROPOSED REDUCER                       |
|     | PROPOSED WATER BEND/TEE                |
|     | PROPOSED SANITARY MANHOLE              |
|     | PROPOSED FES                           |
|     | PROPOSED STORM MANHOLE                 |
|     | PROPOSED CDOT TYPE R STORM INLET       |

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## BENCHMARK

THE SOUTHWESTERLY CORNER OF LOT 1 WOODMEN HILLS FILING NO. 4. MONUMENTED BY A YELLOW PLASTIC SURVEYORS CAP ON A NO. 4 REBAR LS# 24954 ELEVATION = 6947.67

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1155 Kelly Johnson Blvd., Suite 305  
Colorado Springs, CO 80920  
719.900.7220  
[GallowayUS.com](http://GallowayUS.com)

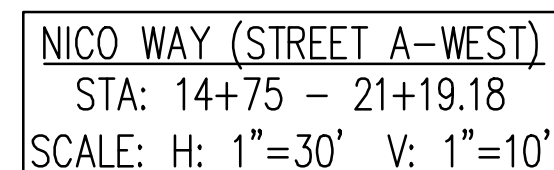
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# CHALLENGER HOMES

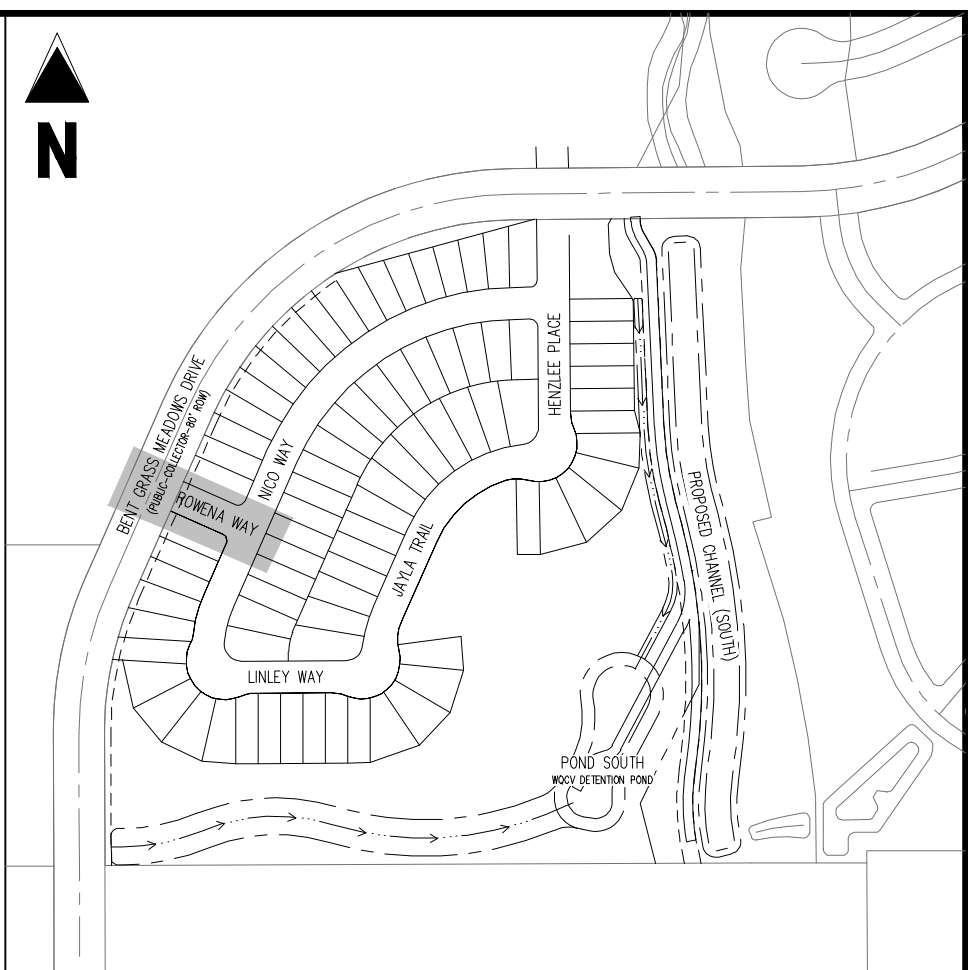
CONSTRUCTION DOCUMENTS  
FALCON MEADOWS AT BENT GRASS FILING NO. 1

FOR  
CHALLENGER COMMUNITIES, LLC

BENT GRASS MEADOWS DRIVE & MERIDIAN ROAD  
FALCON, CO 80831 - EL PASO COUNTY







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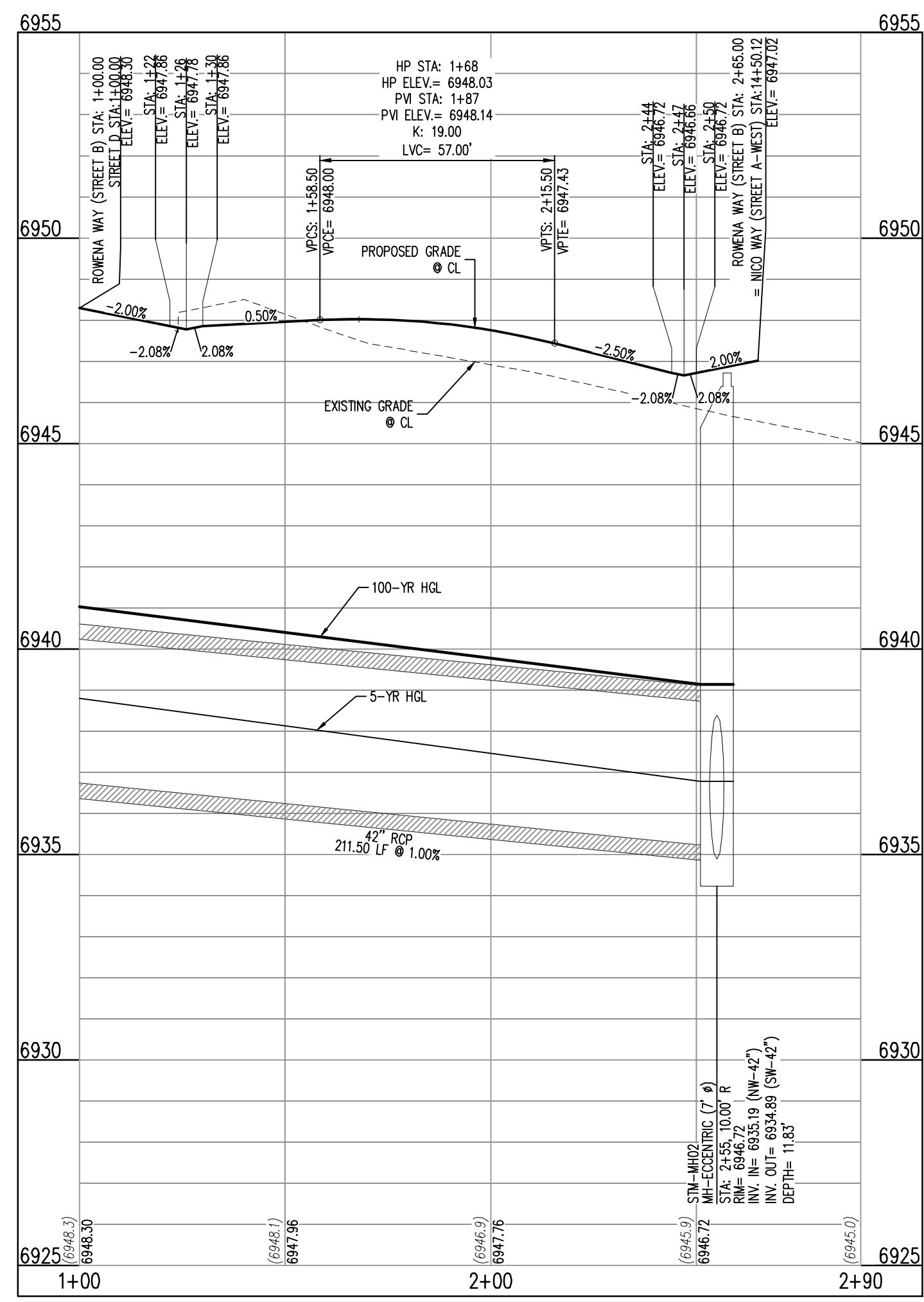
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FOR  
CHALLENGER COMMUNITIES, LLC  
  
BENT GRASS MEADOWS DRIVE & MERIDIAN ROAD  
FALCON, CO 80831 - EL PASO COUNTY

Project No:	CLH000018
Drawn By:	CMWJ
Checked By:	RGD
Date:	06/23/2021

C2.6




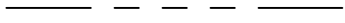

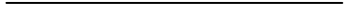









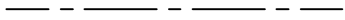




Sheet 12 of 17




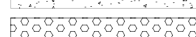



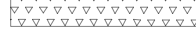
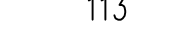
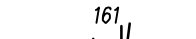








CURVE TABLE					
CURVE TAG #	DELTA	LENGTH (FT)	RADIUS (FT)	CHORD BEARING	CHORD LENGTH (FT)
C17	90°00'00"	39.27	25.00	N68°44'26"E	35.36
C18	90°00'00"	39.27	25.00	S21°15'34"E	35.36
C19	90°00'00"	39.27	25.00	S21°15'34"E	35.36
C20	90°00'00"	39.27	25.00	S68°44'25"W	35.36
C21	90°00'00"	31.42	20.00	N68°44'26"E	28.28
C22	90°00'00"	31.42	20.00	N21°15'34"W	28.28



ROWENA WAY (STREET B)  
STA: 1+00 - 2+90  
SCALE: H: 1"=30' V: 1"=10'

# LEGEND

	EXISTING PROPERTY LINE (PROJECT BOUNDARY)
	EXISTING PROPERTY LINE
	EXISTING RIGHT OF WAY LINE
	PROPOSED RIGHT OF WAY LINE
	EXISTING LOT LINE
	PROPOSED LOT LINE
	EXISTING EASEMENT
	PROPOSED EASEMENT
	SIGHT DISTANCE LINE
	EXISTING STORM DRAIN PIPE
	PROPOSED STORM DRAIN PIPE
	EXISTING WATER LINE
	PROPOSED WATER LINE
	EXISTING SANITARY SEWER LINE
	PROPOSED SANITARY SEWER LINE
	EXISTING DRAINAGE FEATURE OUTLINE
	PROPOSED DRAINAGE FEATURE OUTLINE
	EXISTING SWALE WITH FLOW DIRECTION
	PROPOSED SWALE WITH FLOW DIRECTION
	100-YEAR FEMA FLOODPLAIN

	PROPOSED CDOT CLASS 6 GRAVEL
	PROPOSED RIP RAP
	EXISTING CONCRETE PAVING
	EXISTING CDOT CLASS 6 GRAVEL
	EXISTING 1" TO 2" CRUSHED ROCK
	EXISTING RIP RAP
	EXISTING GROUTED BOULDERS
	PROPOSED LOT #
	EXISTING LOT #
	PROPOSED ADA RAMP
	PROPOSED FIRE HYDRANT
	PROPOSED GATE VALVE
	PROPOSED REDUCER
	PROPOSED WATER BEND/TEE
	PROPOSED SANITARY MANHOLE
	PROPOSED FES
	PROPOSED STORM MANHOLE
	PROPOSED CDOT TYPE R STORM INLET

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Know what's **below**.  
Call before you dig.



	EXISTING PROPERTY LINE
	EXISTING PROPERTY LINE TO BE REMOVED
	PROPOSED RIGHT OF WAY LINE
	EXISTING LOT LINE
	PROPOSED LOT LINE
	EXISTING EASEMENT
	PROPOSED EASEMENT
	EXISTING SUBDIVISION BUFFER
	EXISTING STORM DRAIN PIPE
	PROPOSED STORM DRAIN PIPE
	EXISTING WATER LINE
	PROPOSED WATER LINE
	EXISTING SANITARY SEWER LINE
	PROPOSED SANITARY SEWER LINE
	EXISTING DRAINAGE FEATURE OUTLINE
	PROPOSED DRAINAGE FEATURE OUTLINE
	EXISTING SWALE WITH FLOW DIRECTION
	PROPOSED SWALE WITH FLOW DIRECTION
	100-YEAR FEMA FLOODPLAIN

PROPOSED CDOT CLASS 6 GRAVEL  
PROPOSED RIP RAP  
EXISTING CONCRETE PAVING  
PROPOSED CDOT CLASS 6 GRAVEL  
EXISTING 1" TO 2" CRUSHED ROCK  
EXISTING RIP RAP  
EXISTING GROUDED BOLLIDERS  
PROPOSED LOT #  
EXISTING LOT # (BENT GRASS FILL)  
PROPOSED ADA RAMP  
PROPOSED FIRE HYDRANT  
PROPOSED GATE VALVE  
PROPOSED REDUCER  
PROPOSED WATER BEND/TEE  
PROPOSED SANITARY MANHOLE  
PROPOSED FES  
PROPOSED STORM MANHOLE  
PROPOSED CDOT TYPE R STORM IN

	PROPOSED SPOT ELEVATION
	FLOWLINE
	LIP OF GUTTER
	EDGE OF SIDEWALK
	TOP OF PED RAMP
	BOTTOM OF PED RAMP
	ROADWAY CENTER LINE
	TOP BACK OF CURB
	PROPOSED SLOPE ARROW

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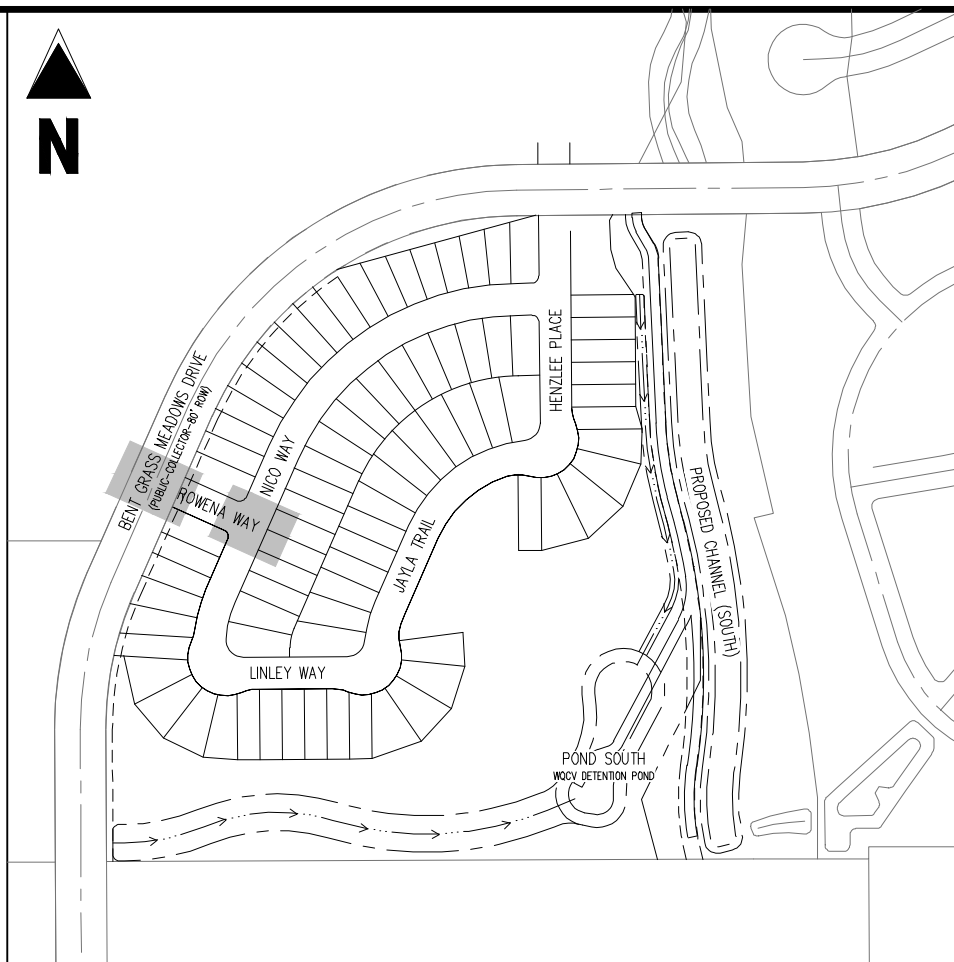
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THE SOUTHWESTERLY CORNER OF LOT 1 WOODMEN HILLS FILING NO. 4, MONUMENTED BY A YELLOW PLASTIC SURVEYORS CAP ON A NO. 4 REBAR L<sub>S</sub># 24954 ELEVATION = 6947.67

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KFY MAP

SCALE: 1"=300'

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# CHALLENGER HOMES

CONSTRUCTION DOCUMENTS  
FALCON MEADOWS AT BENT GRASS FILING NO. 1

CHALLENGER COMMUNITIES, LLC

BENT GRASS MEADOWS DRIVE & MERDIAN ROAD  
FALCON, CO 80831 - EL PASO COUNTY

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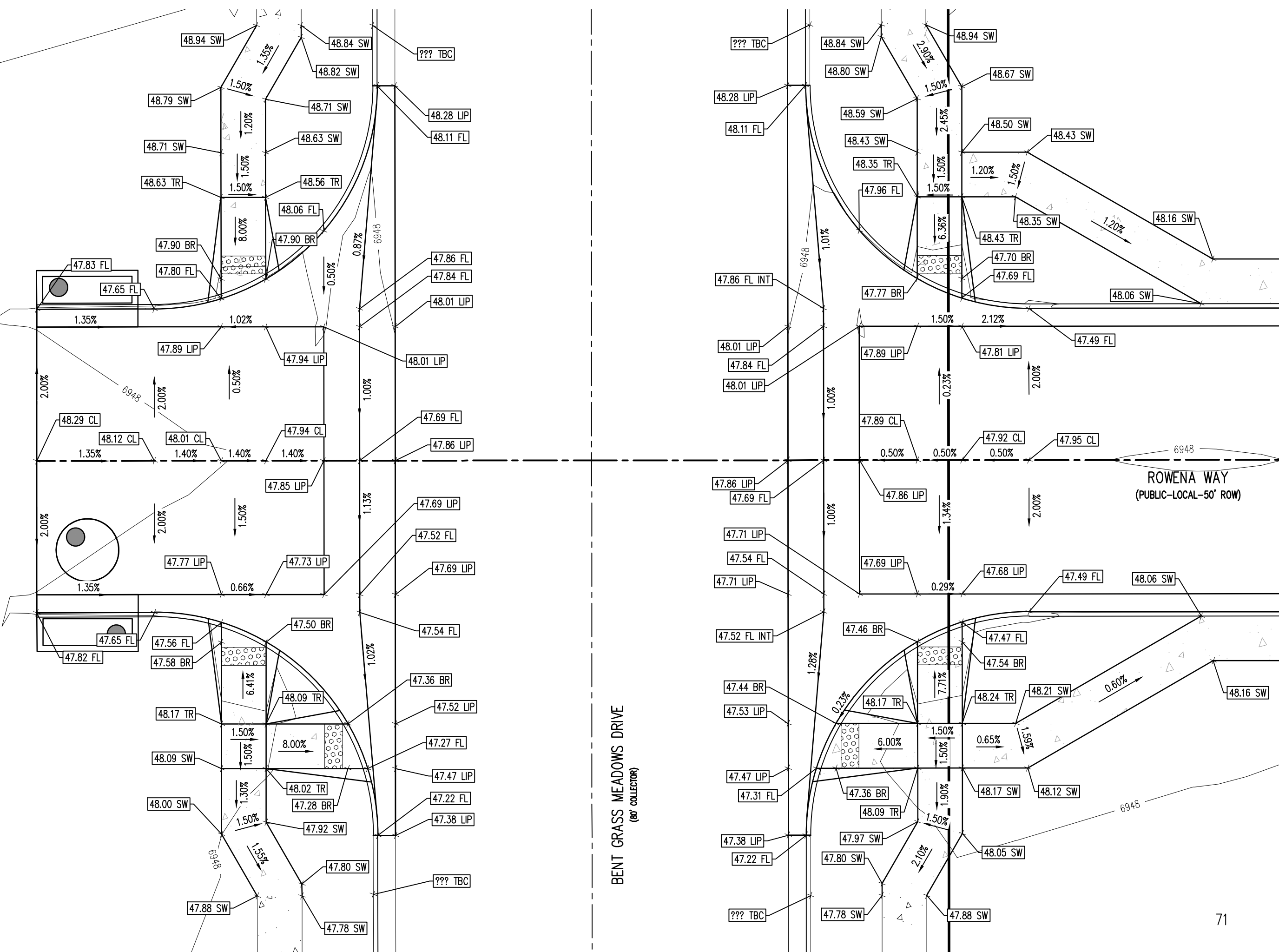
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Drawn By:	TPT
Checked By:	RGD
Date:	07/16/2021

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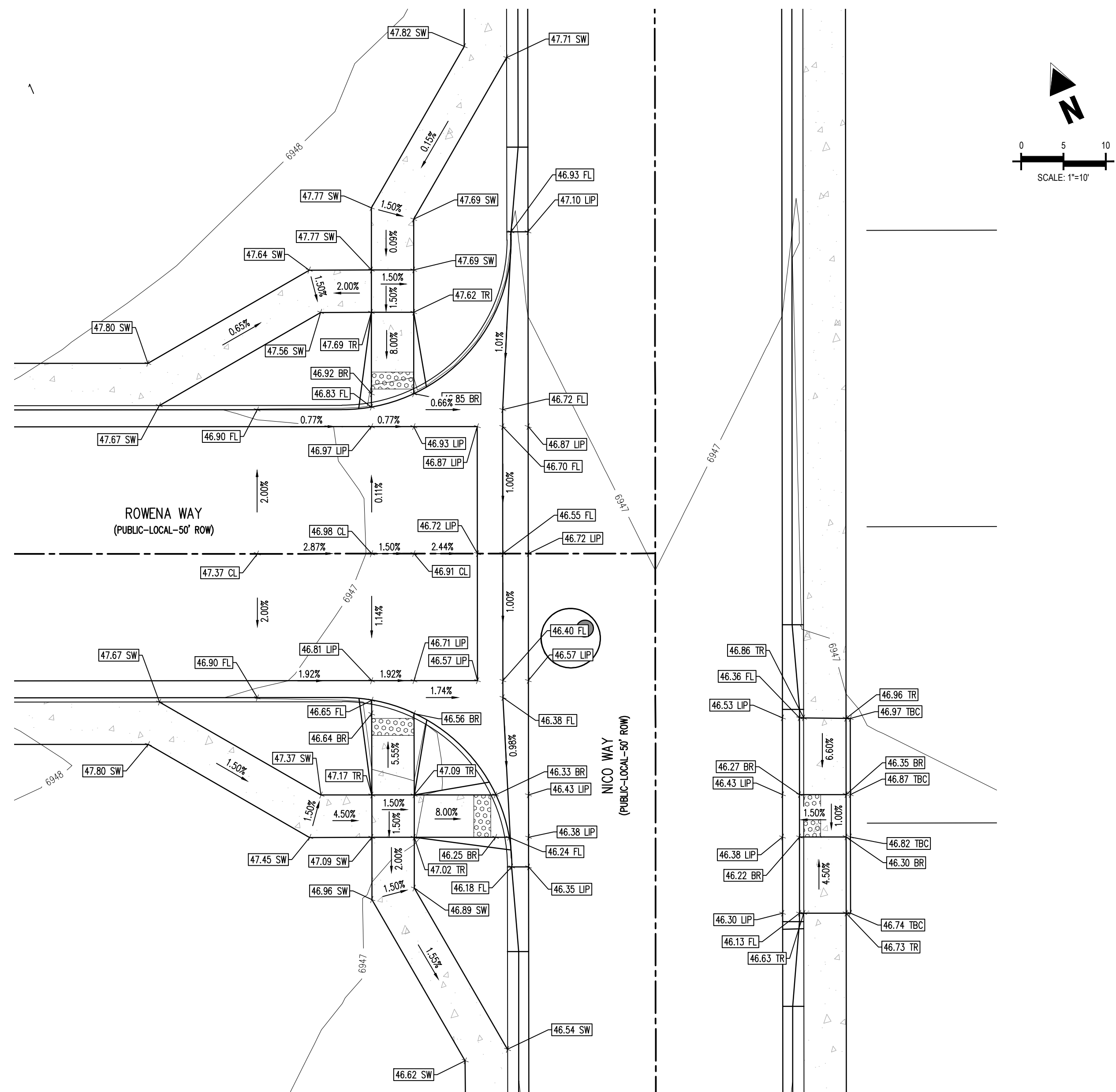
C2.7

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Sheet 13 of 17



BENT GRASS MEADOWS DR. &amp; ROWENA WAY DETAIL GRADING



NICO WAY & ROWENA WAY DETAIL GRADING



	EXISTING PROPERTY LINE
	EXISTING PROPERTY LINE TO BE REMOVED
	PROPOSED RIGHT OF WAY LINE
	EXISTING LOT LINE
	PROPOSED LOT LINE
	EXISTING EASEMENT
	PROPOSED EASEMENT
	EXISTING SUBDIVISION BUFFER
	EXISTING STORM DRAIN PIPE
	PROPOSED STORM DRAIN PIPE
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	PROPOSED WATER LINE
	EXISTING SANITARY SEWER LINE
	PROPOSED SANITARY SEWER LINE
	EXISTING DRAINAGE FEATURE OUTLINE
	PROPOSED DRAINAGE FEATURE OUTLINE
	EXISTING SWALE WITH FLOW DIRECTION
	PROPOSED SWALE WITH FLOW DIRECTION
	100-YEAR FLOODPLAIN



PROPOSED CDOT TYPE R STORM INLET

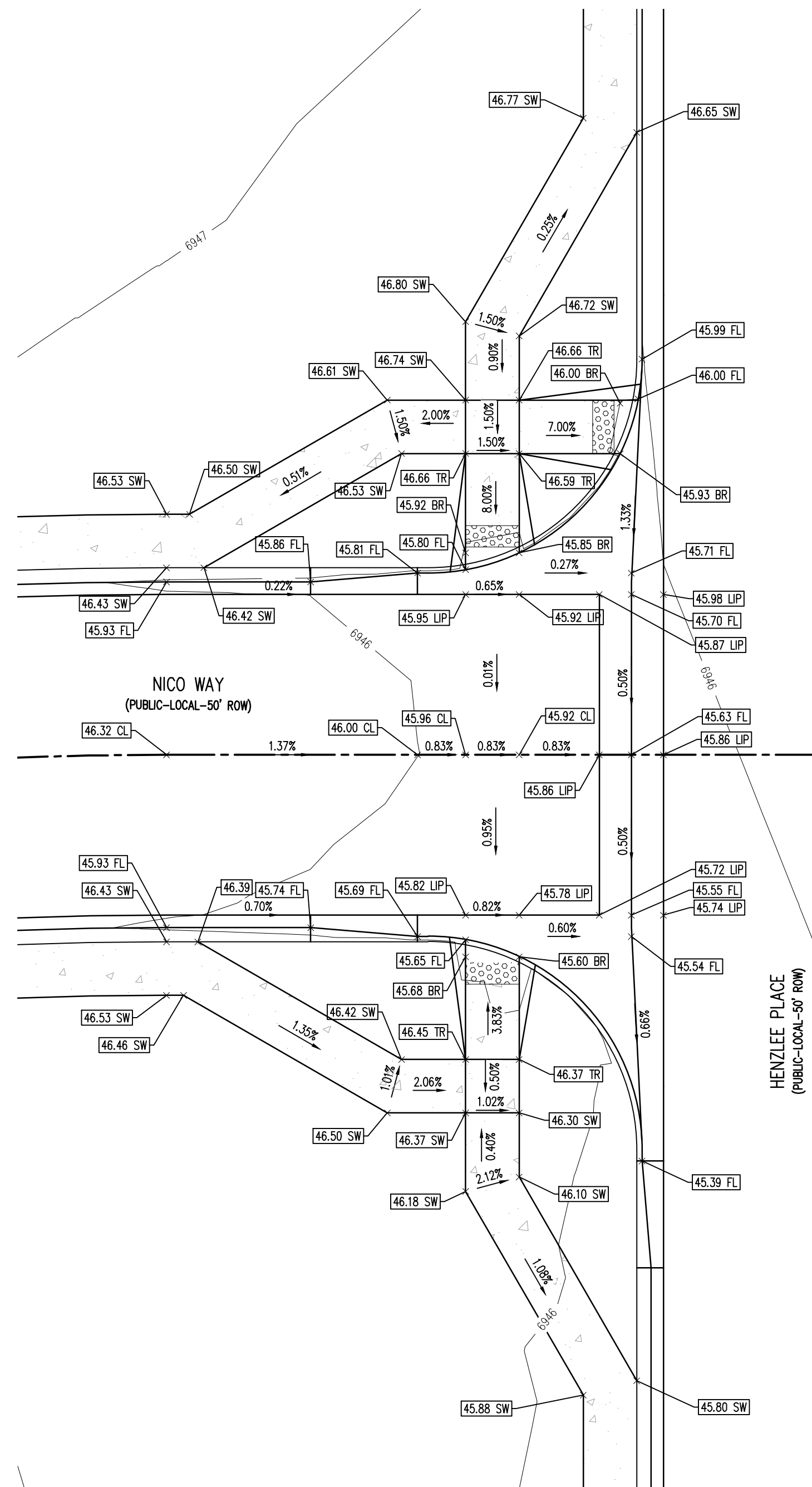
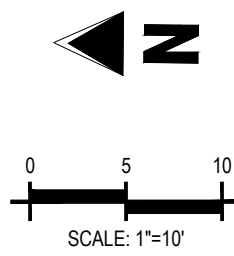
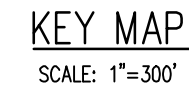
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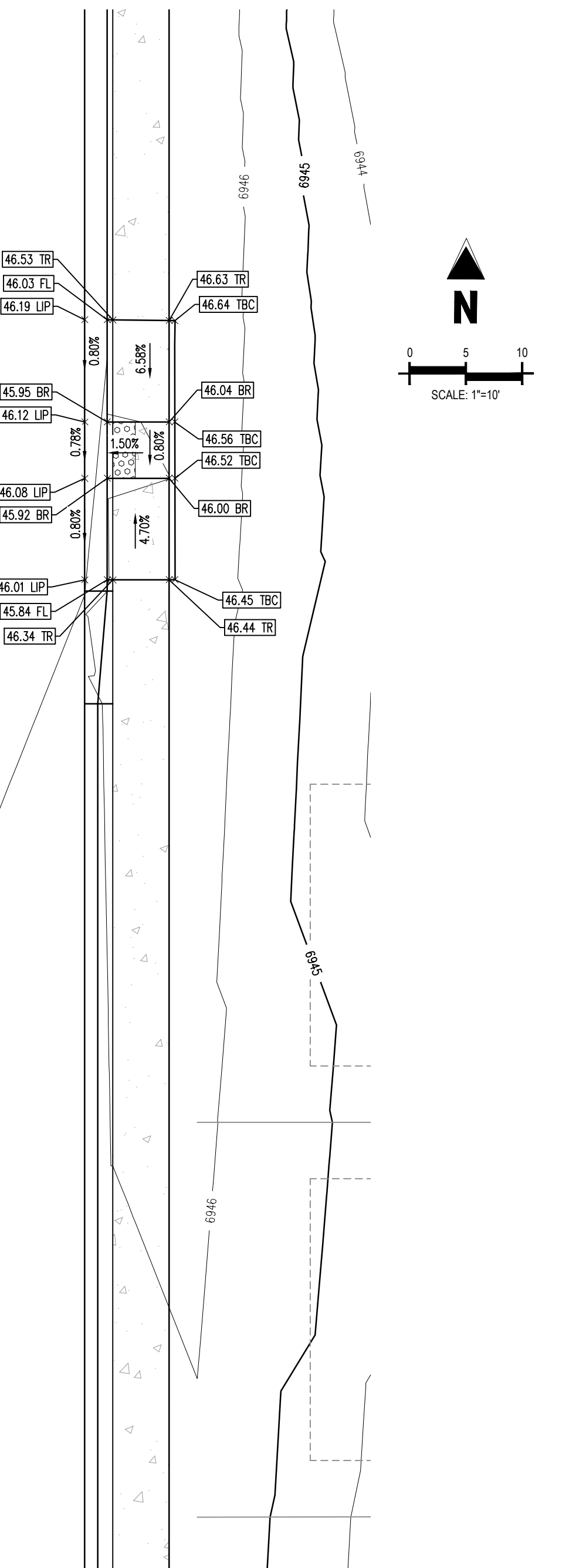
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NICO WAY & HENZLEE PLACE DETAIL GRADING



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FOR  
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BENT GRASS MEADOWS DRIVE & MERDIAN ROAD  
FALCON, CO 80831 - EL PASO COUNTY

[illegible]

Project No:	CLH000018
Drawn By:	TPT
Checked By:	RGD
Date:	07/16/2021

## INTERSECTION DETAILS

## C2.8

Sheet 14 of 17



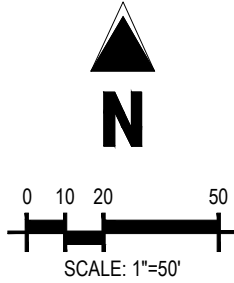
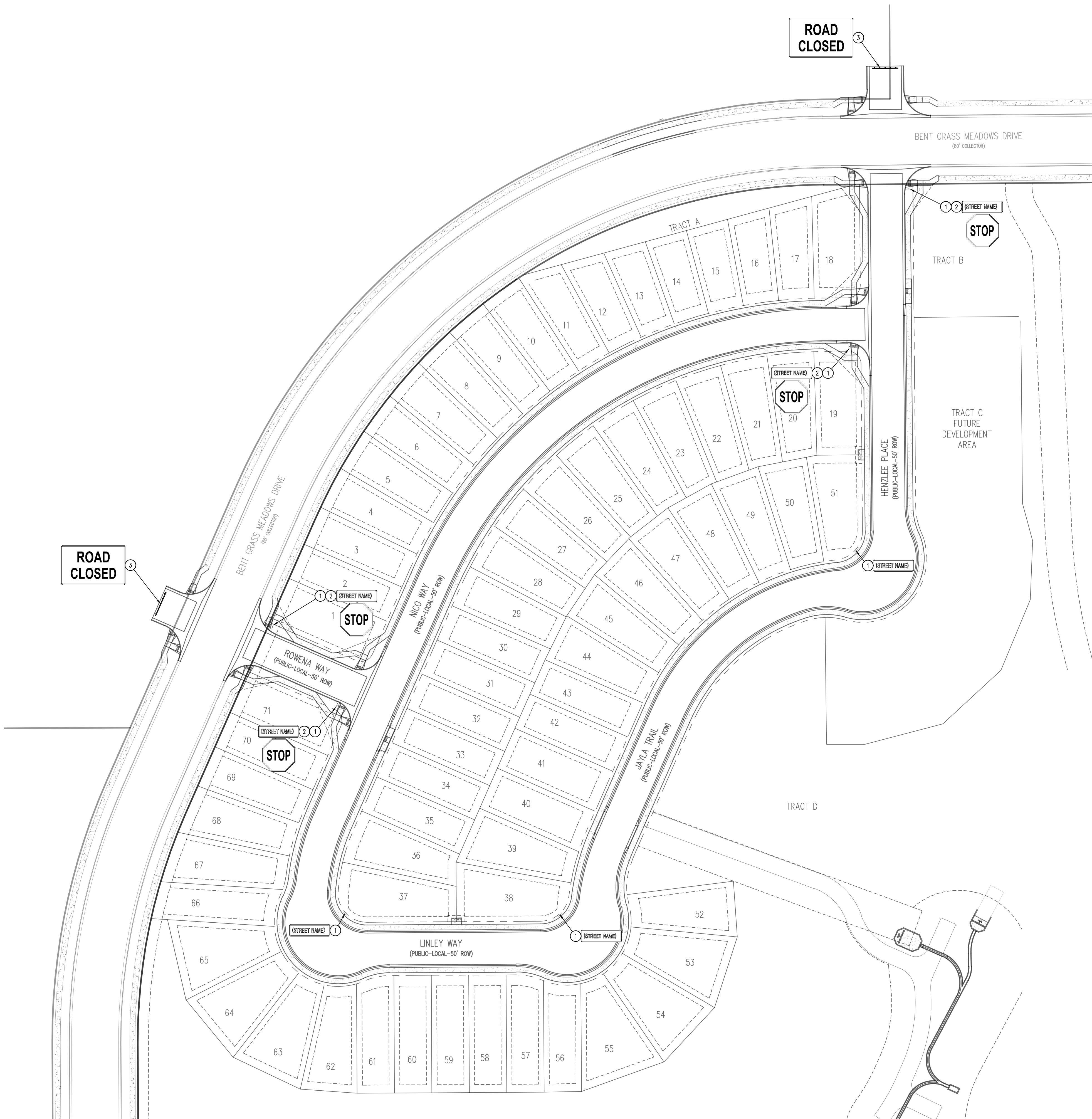
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Project No:	CLH000018
Drawn By:	CMWJ
Checked By:	RGD
Date:	07/16/2021

## SIGNAGE PLAN

# C3.1

Sheet 15 of 17



### LEGEND

EXISTING PROPERTY LINE (PROJECT BOUNDARY)  
EXISTING PROPERTY LINE  
EXISTING RIGHT OF WAY LINE  
PROPOSED RIGHT OF WAY LINE  
EXISTING LOT LINE  
PROPOSED LOT LINE  
PROPOSED EASEMENT  
PROPOSED LOT NUMBER

## SCHEDULE

- ① PROPOSED STOP SIGN, MUTCD SIGN R1-1
- ② PROPOSED STREET NAME SIGN, MUTCD SIGN D3-1
- ③ PROPOSED TYPE III BARRICADE W/ MUTCD R11-2

## BASIS OF BEARINGS

ALL BEARINGS ARE GRID BEARINGS OF THE COLORADO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICAN DATUM 1983. THE BEARING OF THE LINE BETWEEN THE SOUTHWEST CORNER OF SECTION 1, T13S, R65W AND THE WEST QUARTER CORNER SECTION 1, T13S, R65W IS N00°13'46"W AND MONUMENTED AS SHOWN:

## BENCHMARK

THE SOUTHWESTERLY CORNER OF LOT 1 WOODMEN HILLS FILING NO. 4, MONUMENTED BY A YELLOW PLASTIC SURVEYORS CAP ON A NO. 4 REBAR LS# 24954 ELEVATION = 6947.67

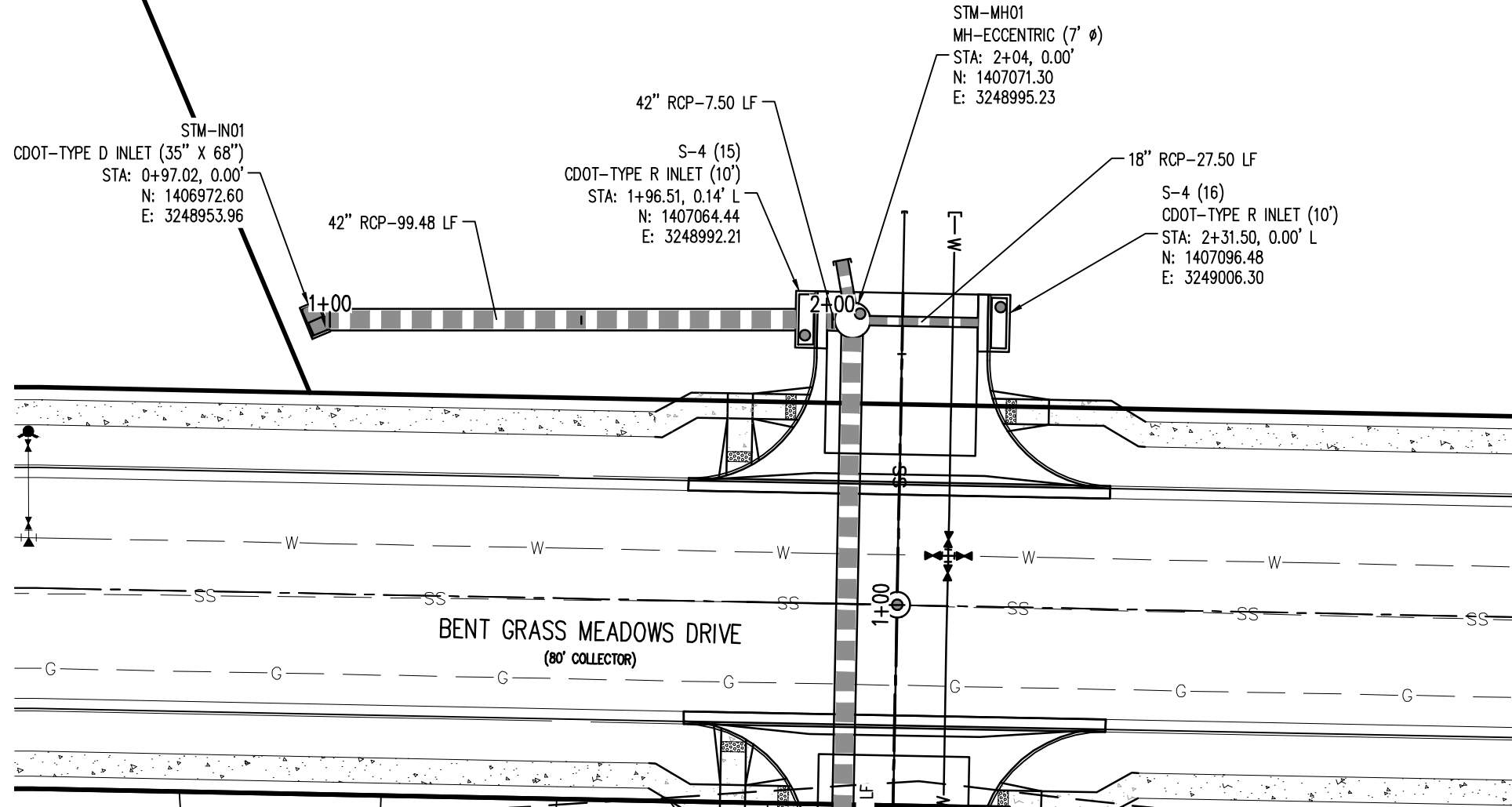
CAUTION - NOTICE TO CONTRACTOR

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2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POINHLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.

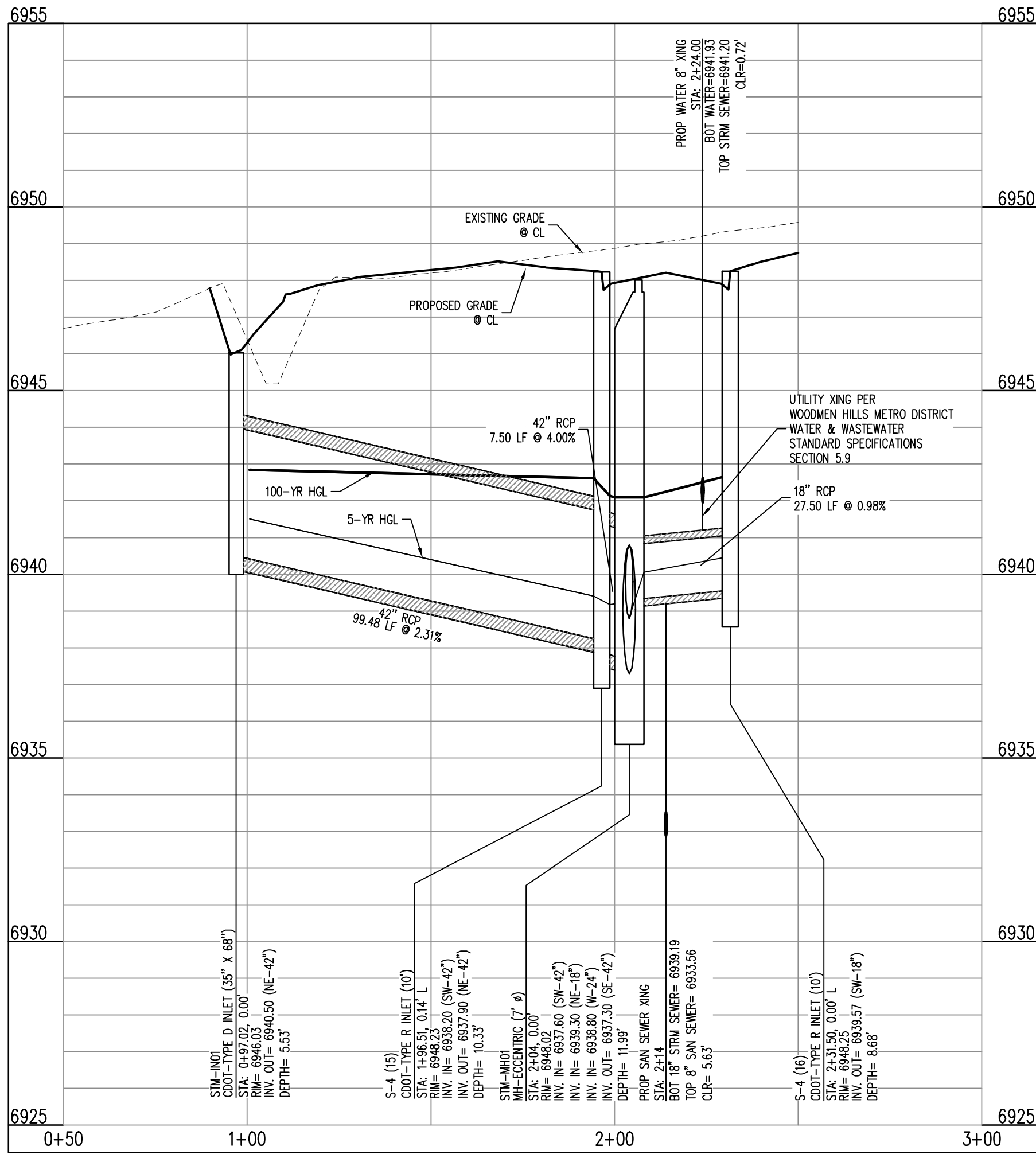


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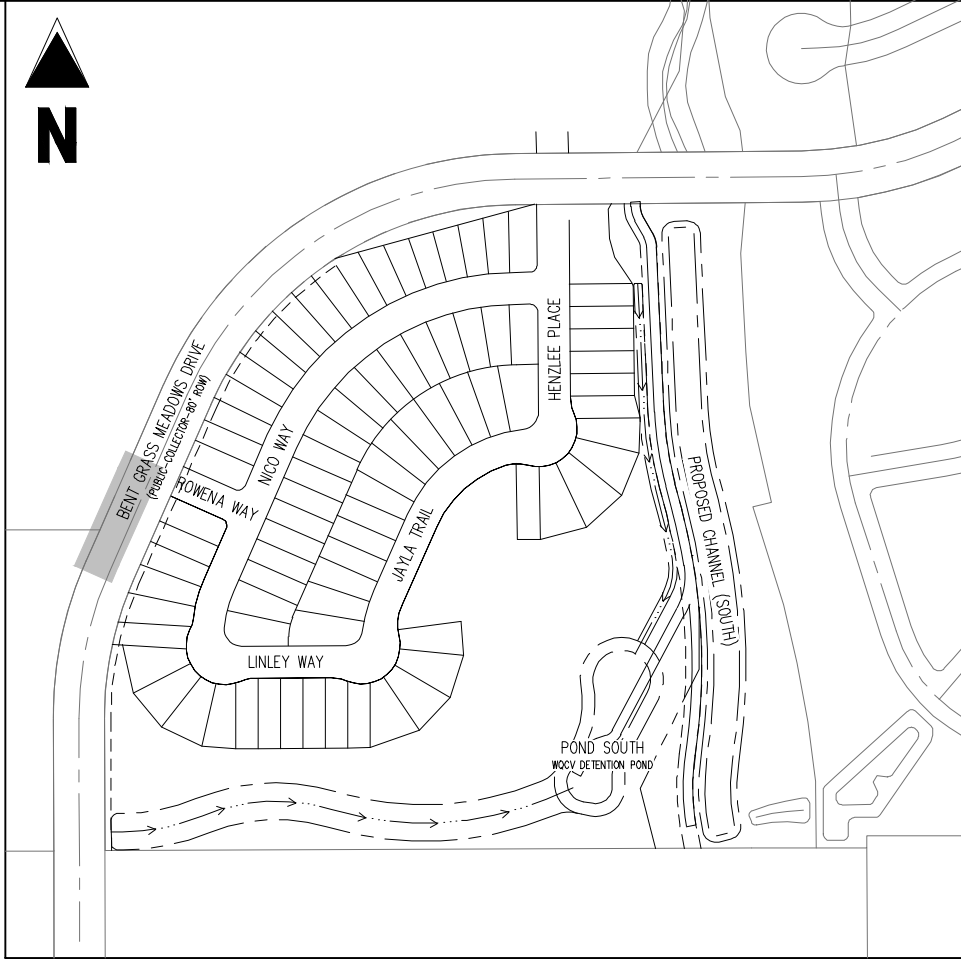
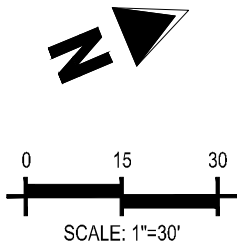




PLAN: STORM SEWER (STM C)  
STA:1+00.00 - 3+00.00



STM C  
STA: 0+50 - 3+00  
SCALE: H: 1"=30' V: 1"=3'



KEY MAP  
SCALE: 1"=300'

LEGEND

- EXISTING PROPERTY LINE
- EXISTING PROPERTY LINE TO BE REMOVED
- PROPOSED RIGHT OF WAY LINE
- EXISTING LOT LINE
- PROPOSED LOT LINE
- EXISTING EASEMENT
- PROPOSED EASEMENT
- EXISTING SUBDIVISION BUFFER
- EXISTING STORM DRAIN PIPE
- PROPOSED STORM DRAIN PIPE
- EXISTING WATER LINE
- PROPOSED WATER LINE
- EXISTING SANITARY SEWER LINE
- PROPOSED SANITARY SEWER LINE
- EXISTING DRAINAGE FEATURE OUTLINE
- PROPOSED DRAINAGE FEATURE OUTLINE
- EXISTING SWALE WITH FLOW DIRECTION
- PROPOSED SWALE WITH FLOW DIRECTION
- 100-YR FEMA FLOODPLAIN
- PROPOSED CDDOT CLASS 6 GRAVEL
- PROPOSED RIP RAP
- EXISTING CONCRETE PAVING
- EXISTING CDDOT CLASS 6 GRAVEL
- EXISTING 1" TO 2" CRUSHED ROCK
- EXISTING RIP RAP
- EXISTING GROUTED BOULDERS
- PROPOSED LOT #
- EXISTING LOT # (BENT GRASS FILING NO. 2)
- PROPOSED ADA RAMP
- PROPOSED FIRE HYDRANT
- PROPOSED GATE VALVE
- PROPOSED REDUCER
- PROPOSED WATER BEND/TIE
- PROPOSED SANITARY MANHOLE
- PROPOSED FES
- PROPOSED STORM MANHOLE
- PROPOSED CDDOT TYPE R STORM INLET

CONTRACTOR MUST COORDINATE WORK WITH WOODMEN HILLS METROPOLITAN DISTRICT PRIOR TO BEGINNING WORK AND IS RESPONSIBLE FOR ALL MATERIALS, LABOR, REPAIRS, ETC. TO COMPLETE WORK AND RESTORE AREA TO SAME STATE PRIOR TO STARTING WORK.

LENGTHS OF STORM SEWER ARE THE HORIZONTAL DISTANCES FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE UNLESS OTHERWISE NOTED. THEREFORE LENGTHS SHOWN ARE APPROXIMATE AND COULD VARY DUE TO VERTICAL ALIGNMENT AND STRUCTURE WIDTHS.

MAINTAIN MINIMUM 18" VERTICAL AND 10' HORIZONTAL SEPARATION BETWEEN STORM SEWER AND POTABLE WATER OR WASTEWATER. A 12" VERTICAL CLEARANCE MUST BE MAINTAINED BETWEEN IRRIGATION LINES.

SURVEYOR TO OBTAIN AUTOCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION WORK.

BASIS OF BEARINGS

ALL BEARINGS ARE GRID BEARINGS OF THE COLORADO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICAN DATUM 1983. THE BEARING OF THE LINE BETWEEN THE SOUTHWEST CORNER OF SECTION 1, 113S, R65W AND THE WEST QUARTER CORNER SECTION 1, 113S, R65W IS N0071346"W AND MONUMENTED AS SHOWN:

BENCHMARK

THE SOUTHWESTERLY CORNER OF LOT 1, WOODMEN HILLS FILING NO. 4, MONUMENTED BY A YELLOW PLASTIC SURVEYORS CAP ON A NO. 4 REBAR L#8 24954 ELEVATION = 6947.67

CAUTION - NOTICE TO CONTRACTOR

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- WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



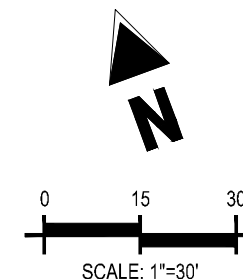
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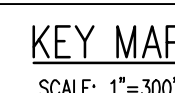
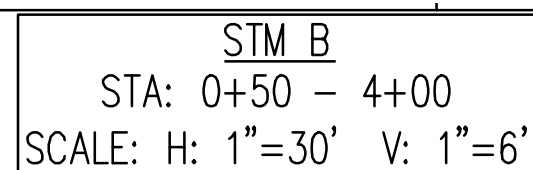
Project No:	CLH000018
Drawn By:	CMWJ
Checked By:	RGD
Date:	06/23/2021

STORM SEWER PLAN & PROFILE





52



	EXISTING PROPERTY LINE
	EXISTING PROPERTY LINE TO BE REMOVED
	PROPOSED RIGHT OF WAY LINE
	EXISTING LOT LINE
	PROPOSED LOT LINE
	EXISTING EASEMENT
	PROPOSED EASEMENT
	EXISTING SUBDIVISION BUFFER
	EXISTING STORM DRAIN PIPE
	PROPOSED STORM DRAIN PIPE
	EXISTING WATER LINE
	PROPOSED WATER LINE
	EXISTING SANITARY SEWER LINE
	PROPOSED SANITARY SEWER LINE
	EXISTING DRAINAGE FEATURE OUTLINE
	PROPOSED DRAINAGE FEATURE OUTLINE
	EXISTING SWALE WITH FLOW DIRECTION
	PROPOSED SWALE WITH FLOW DIRECTION
	100-YR FEMA FLOODPLAIN
	PROPOSED CDOT CLASS 6 GRAVEL
	PROPOSED RIP RAP
	EXISTING CONCRETE PAVING
	EXISTING CDOT CLASS 6 GRAVEL
	EXISTING 1" TO 2" CRUSHED ROCK
	EXISTING RIP RAP
	PROPOSED GROUDED BOULDERS
	PROPOSED LOT #
	EXISTING LOT # (BENT GRASS FILING NO.)
	PROPOSED ADA RAMP
	PROPOSED FIRE HYDRANT
	PROPOSED GATE VALVE
	PROPOSED REDUCER
	PROPOSED WATER BEND/TEE
	PROPOSED SANITARY MANHOLE
	PROPOSED FES
	PROPOSED STORM MANHOLE
	PROPOSED CDOT TYPE R STORM INLET

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THE SOUTHWESTERLY CORNER OF LOT 1 WOODMEN HILLS FILING NO. 4. MONUMENTED BY A YELLOW PLASTIC SURVEYORS CAP ON A NO. 4 REBAR 1S# 24954 ELEVATION = 6947.67

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE FIELD LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.

Know what's **below**.  
**Call** before you dig.

BENT GRASS MEADOWS DRIVE & MERIDIAN ROAD  
FALCON, CO 80831 - EL PASO COUNTY

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STORM SEWER PLAN &  
PROFILE

Sheet 17 of 17

















	EXISTING PROPERTY LINE (PROJECT BOUNDARY)
	EXISTING PROPERTY LINE
	EXISTING RIGHT OF WAY LINE
	PROPOSED RIGHT OF WAY LINE
	EXISTING LOT LINE
	PROPOSED LOT LINE
	EXISTING EASEMENT
	PROPOSED EASEMENT
	EXISTING STORM DRAIN PIPE
	PROPOSED STORM DRAIN PIPE
	EXISTING WATER LINE
	PROPOSED WATER LINE
	EXISTING SANITARY SEWER LINE
	PROPOSED SANITARY SEWER LINE
	EXISTING DRAINAGE FEATURE OUTLINE
	PROPOSED DRAINAGE FEATURE OUTLINE
	EXISTING SWALE WITH FLOW DIRECTION
	PROPOSED SWALE WITH FLOW DIRECTION
	100-YEAR FEMA FLOODPLAIN
	PROPOSED CDOT CLASS 6 GRAVEL
	PROPOSED RIP RAP
	EXISTING CONCRETE PAVING
	EXISTING CDOT CLASS 6 GRAVEL
	EXISTING 1" TO 2" CRUSHED ROCK
	EXISTING RIP RAP
	EXISTING GROUTED BOULDERS
	PROPOSED LOT #
	EXISTING LOT # (BENT GRASS FILING NO. 2)
	PROPOSED ADA RAMP
	PROPOSED FIRE HYDRANT
	PROPOSED GATE VALVE
	PROPOSED REDUCER
	PROPOSED WATER BEND/TEE
	PROPOSED SANITARY MANHOLE
	PROPOSED FES
	PROPOSED STORM MANHOLE
	PROPOSED CDOT TYPE R STORM INLET
	EXISTING FIRE HYDRANT
	EXISTING GATE VALVE
	EXISTING REDUCER
	EXISTING WATER BEND/TEE
	EXISTING SANITARY MANHOLE
	EXISTING FES
	EXISTING STORM MANHOLE
	EXISTING CDOT TYPE R STORM INLET

**BENCHMARK**  
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# CHALLENGER HOMES

WATER & WASTEWATER CONSTRUCTION PLANS  
FALCON MEADOWS AT BENT GRASS FILING NO. 1  
FOR  
CHALLENGER COMMUNITIES, LLC

BENT GRASS MEADOWS DRIVE & MERDIAN ROAD  
FALCON, CO 80831 - EL PASO COUNTY

[illegible]

Project No:	CLH000018
Drawn By:	CMWJ
Checked By:	RGD
Date:	06/23/2021

## HORIZONTAL CONTROL PLAN

# U0.5

Sheet 6 of 21

ALL BEARINGS ARE GRID BEARINGS OF THE COLORADO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICAN DATUM 1983. THE BEARING OF THE LINE BETWEEN THE SOUTHWEST CORNER OF SECTION 1, T13S, R65W AND THE WEST QUARTER CORNER SECTION 1, T13S, R65W IS  $N00^{\circ}13'46''W$  AND MONUMENTED AS SHOWN:

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# CHALLENGER HOMES

FOR  
CHALLENGER COMMUNITIES, LLC

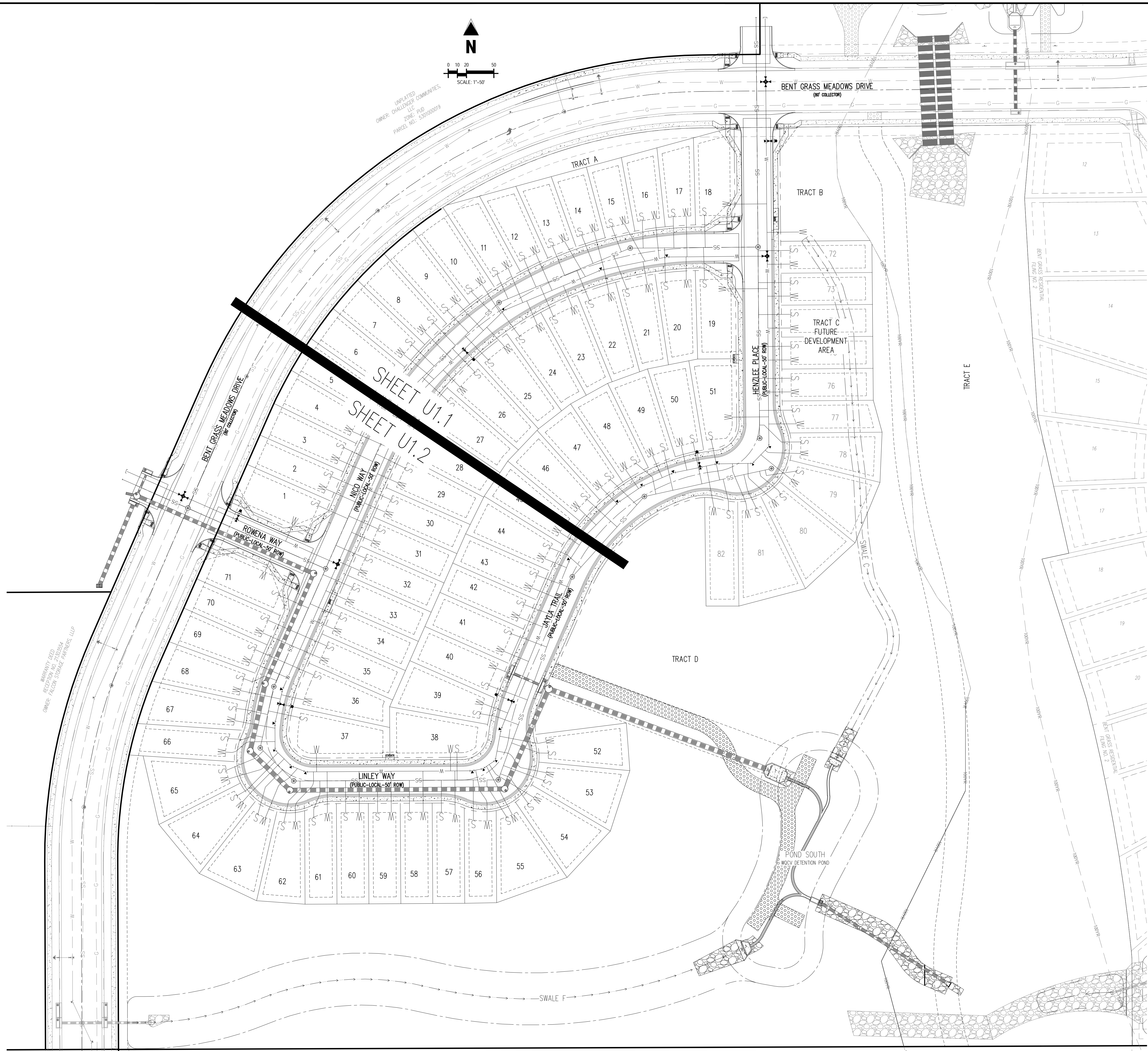
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Project No:	CLH000018
Drawn By:	CMWJ
Checked By:	RGD
Date:	06/23/2021

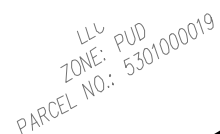
## WATER PLAN KEY MAP

# U1.0

Sheet 7 of 21







	EXISTING PROPERTY LINE (PROJECT BOUNDARY)
	EXISTING PROPERTY LINE
	EXISTING RIGHT OF WAY LINE
	PROPOSED RIGHT OF WAY LINE
	EXISTING LOT LINE
	PROPOSED LOT LINE
	EXISTING EASEMENT
	PROPOSED EASEMENT
	EXISTING STORM DRAIN PIPE
	PROPOSED STORM DRAIN PIPE
	EXISTING WATER LINE
	PROPOSED WATER LINE
	EXISTING SANITARY SEWER LINE
	PROPOSED SANITARY SEWER LINE
	EXISTING DRAINAGE FEATURE OUTLINE
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	EXISTING SWALE WITH FLOW DIRECTION
	PROPOSED SWALE WITH FLOW DIRECTION
	100-YR FEMA FLOODPLAIN
	PROPOSED CDOT CLASS 6 GRAVEL
	PROPOSED RIP RAP
	EXISTING CONCRETE PAVING
	EXISTING CDOT CLASS 6 GRAVEL
	EXISTING 1" TO 2" CRUSHED ROCK
	EXISTING RIP RAP
	EXISTING GROUTED BOULDERS
	PROPOSED LOT #
	EXISTING LOT # (BENT GRASS FILING NO. 2)
	PROPOSED ADA RAMP
	PROPOSED FIRE HYDRANT
	PROPOSED GATE VALVE
	PROPOSED REDUCER
	PROPOSED WATER BEND/TEE
	PROPOSED SANITARY MANHOLE
	PROPOSED FES
	PROPOSED STORM MANHOLE
	PROPOSED CDOT TYPE R STORM INLET

1. ALL WATER MAINS SHALL BE NO CLOSER THAN FIVE FEET (5') TO EDGE OF CONCRETE CURB AND/OR GUTTER.
2. WATER MAINS SHALL BE DESIGNED FOR A MINIMUM OF FIVE FEET SIX INCHES (5'-6") AND A MAXIMUM OF SIX FEET SIX INCHES (6'-6") OF COVER, EXCEPT WHERE ANOTHER UTILITY CAUSES A CONFLICT, IN WHICH CASE THE WATER MAIN SHALL BE LOWERED AS NECESSARY.
3. A VALVE SHALL ALWAYS BE PROVIDED WHERE A MAIN WILL BE EXTENDED IN THE FUTURE TO FACILITATE CONNECTING TO THE EXISTING MAIN WITHOUT DISRUPTING SERVICE. THERE SHALL BE A TWENTY FOOT (20') STUB PAST THE VALVE TO FACILITATE EASE OF CONNECTION.
4. CONTRACTOR TO READ AND BECOME FAMILIAR WITH THE WOODHLEN HILLS METROPOLITAN DISTRICT WATER AND WASTEWATER SYSTEM STANDARD SPECIFICATIONS, CRITERIA MANUAL AND DETAILS PRIOR TO BEGINNING CONSTRUCTION.

ALL BEARINGS ARE GRID BEARINGS OF THE COLORADO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICAN DATUM 1983. THE BEARING OF THE LINE BETWEEN THE SOUTHWEST CORNER OF SECTION 1, T13S, R65W AND THE WEST QUARTER CORNER SECTION 1, T13S, R65W IS N00°13'46"W AND MONUMENTED AS SHOWN:

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# CHALLENGER HOMES

CHALLENGER COMMUNITIES, LLC

BENT GRASS MEADOWS DRIVE & MERIDIAN ROAD  
FALCON, CO 80831 - EL PASO COUNTY

[illegible]

Project No:	CLH000018
Drawn By:	CMWJ
Checked By:	RGD
Date:	06/23/2021

## WATER PLAN

## U1.1



[illegible]

Project No:	CLH000018
Drawn By:	CMWJ
Checked By:	RGD
Date:	06/23/2021

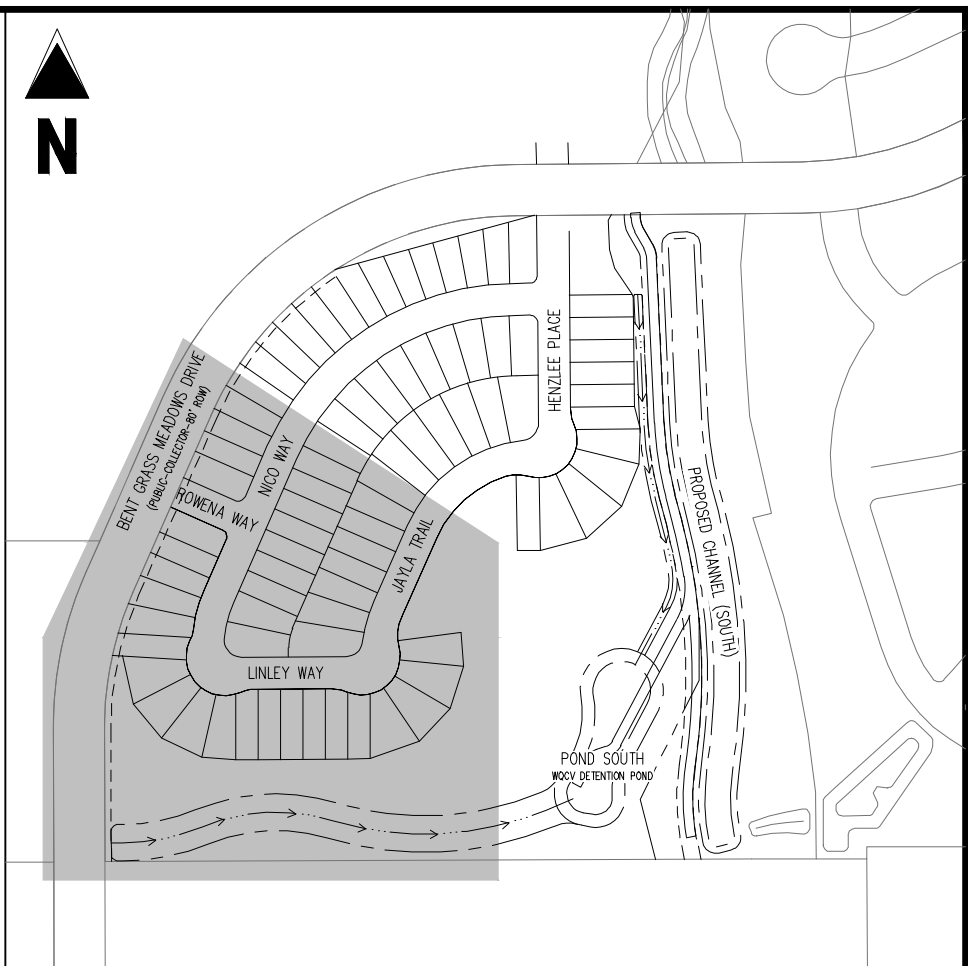
## WATER PLAN



Know what's **below**.  
**Call** before you dig

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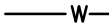


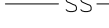



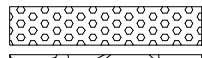

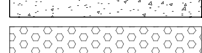
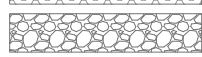

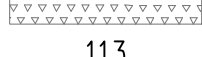
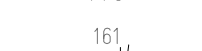









Sheet 9 of 21



## KEY MAP

SCALE: 1"=300'

### LEGEND

- |   |   |
|---|---|
|   | EXISTING PROPERTY LINE (PROJECT BOUNDARY) |
|   | EXISTING PROPERTY LINE                    |
|   | EXISTING RIGHT OF WAY LINE                |
|   | PROPOSED RIGHT OF WAY LINE                |
|   | EXISTING LOT LINE                         |
|   | PROPOSED LOT LINE                         |
|   | EXISTING EASEMENT                         |
|   | PROPOSED EASEMENT                         |
|    | EXISTING STORM DRAIN PIPE                 |
|    | PROPOSED STORM DRAIN PIPE                 |
|    | EXISTING WATER LINE                       |
|    | PROPOSED WATER LINE                       |
|    | EXISTING SANITARY SEWER LINE              |
|    | PROPOSED SANITARY SEWER LINE              |
|    | EXISTING DRAINAGE FEATURE OUTLINE         |
|    | PROPOSED DRAINAGE FEATURE OUTLINE         |
|    | EXISTING SWALE WITH FLOW DIRECTION        |
|    | PROPOSED SWALE WITH FLOW DIRECTION        |
|    | 100-YR FEMA FLOODPLAIN                    |
|    | PROPOSED CDOT CLASS 6 GRAVEL              |
|   | PROPOSED RIP RAP                          |
|  | EXISTING CONCRETE PAVING                  |
|  | EXISTING CDOT CLASS 6 GRAVEL              |
|  | EXISTING 1" TO 2" CRUSHED ROCK            |
|  | EXISTING RIP RAP                          |
|  | EXISTING GROUTED BOULDERS                 |
| 113   | PROPOSED LOT #                            |
| 161   | EXISTING LOT # (BENT GRASS FLING NO. 2)   |
|  | PROPOSED ADA RAMP                         |
|  | PROPOSED FIRE HYDRANT                     |
|  | PROPOSED GATE VALVE                       |
|  | PROPOSED REDUCER                          |
|  | PROPOSED WATER BEND/TEE                   |
|  | PROPOSED SANITARY MANHOLE                 |
|  | PROPOSED FES                              |
|  | PROPOSED STORM MANHOLE                    |
|  | PROPOSED CDOT TYPE R STORM INLET          |

## NOTES

1. ALL WATER MAINS SHALL BE NO CLOSER THAN FIVE FEET (5') TO EDGE OF CONCRETE CUR AND/OR GUTTER.
2. WATER MAINS SHALL BE DESIGNED FOR A MINIMUM OF FIVE FEET SIX INCHES (5'-6") AND A MAXIMUM OF SIX FEET SIX INCHES (6'-6") OF COVER, EXCEPT WHERE ANOTHER UTILITY CAUSES A CONFLICT, IN WHICH CASE THE WATER MAIN SHALL BE LOWMED AS NECESSARY.
3. A VALVE SHALL ALWAYS BE PROVIDED WHERE A MAIN WILL BE EXTENDED IN THE FUTURE TO FACILITATE CONNECTING TO THE EXISTING MAIN WITHOUT DISRUPTING SERVICE. THERE SHALL BE A TWENTY FOOT (20') SUBST PAUSE THE VALVE TO FACILITATE EASE OF CONNECTION.
4. CONTRACTOR TO RETURN AND BECOME FAMILIAR WITH THE WOODMEN HILLS METROPOLITAN DISTRICT WATER AND WASTEWATER SYSTEM STANDARD SPECIFICATIONS CRITERIA MANUAL AND DETAILS PRIOR TO BEGINNING CONSTRUCTION.

## BASIS OF BEARINGS

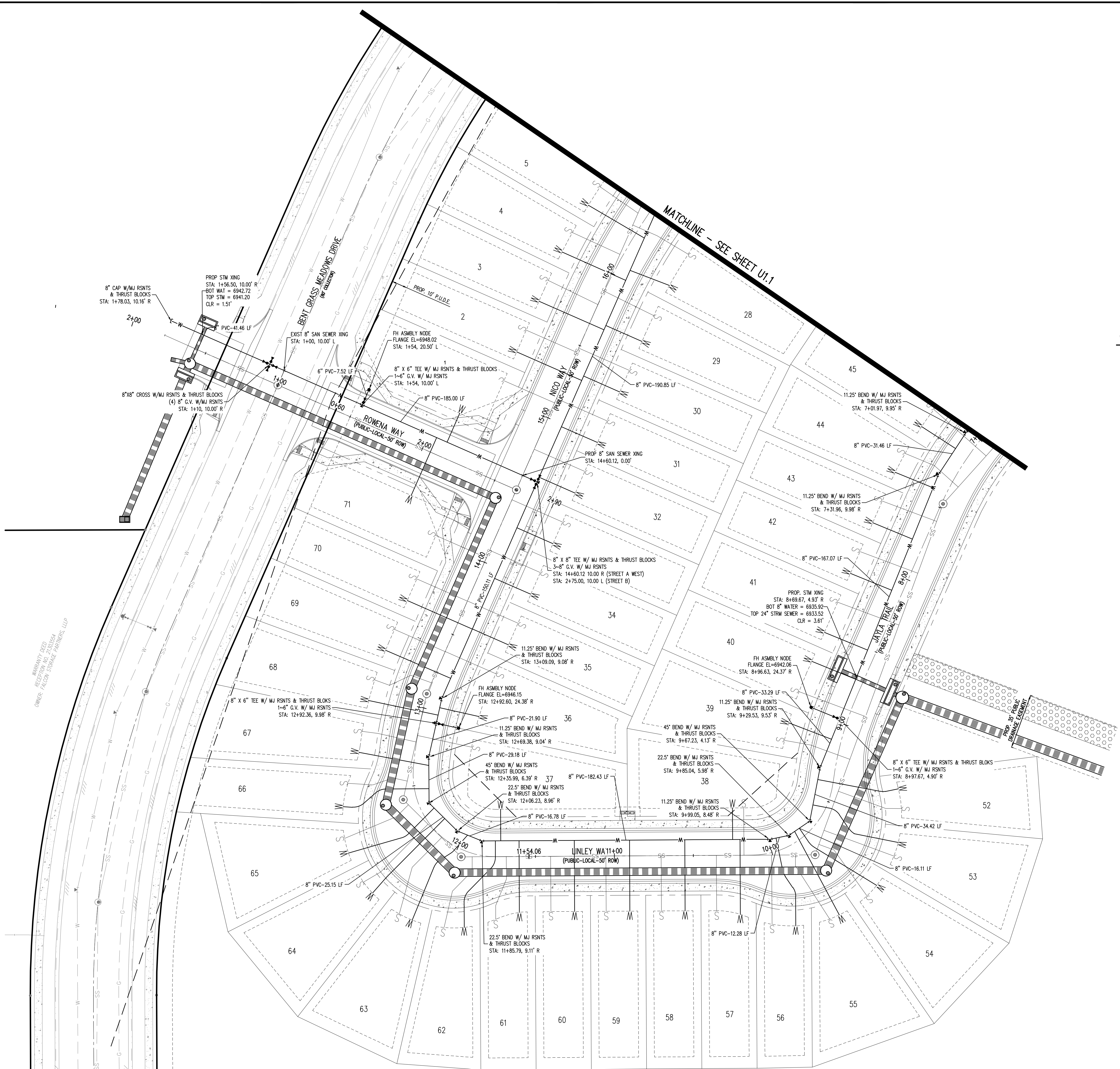
ALL BEARINGS ARE GRID BEARINGS OF THE COLORADO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICAN DATUM 1983. THE BEARING OF THE LINE BETWEEN THE SOUTHWEST CORNER OF SECTION 1, T13S, R65W AND THE WEST QUARTER CORNER SECTION 1, T13S, R65W IS  $N00^{\circ}13'46''W$  AND MONUMENTED AS SHOWN:

## BENCHMARK

THE SOUTHWESTERLY CORNER OF LOT 1 WOODMEN HILLS FILING NO. 4. MONUMENTED BY A YELLOW PLASTIC SURVEYORS CAP ON A NO. 4 REBAR L<sub>S</sub># 24954 ELEVATION = 6947.67

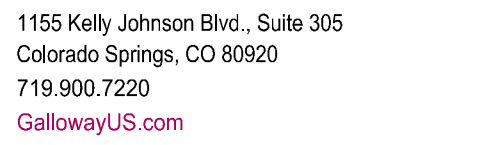
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2. WHEREA A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH OBTAINING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



4) Challenger Horries, Inc/CO, El Paso County-CLHD0018-Bent Grass Filing JCADD3-CDUTIL/CLH18\_W12\_Water Plan doc - Brad Bishop - 7/16/2021





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# CHALLENGER HOMES

WATER & WASTEWATER CONSTRUCTION PLANS  
FALCON MEADOWS AT BENT GRASS FILING NO. 1  
FOR  
CHALLENGER COMMUNITIES, LLC

BENT GRASS MEADOWS DRIVE & MERDIAN ROAD  
FALCON, CO 80831 - EL PASO COUNTY

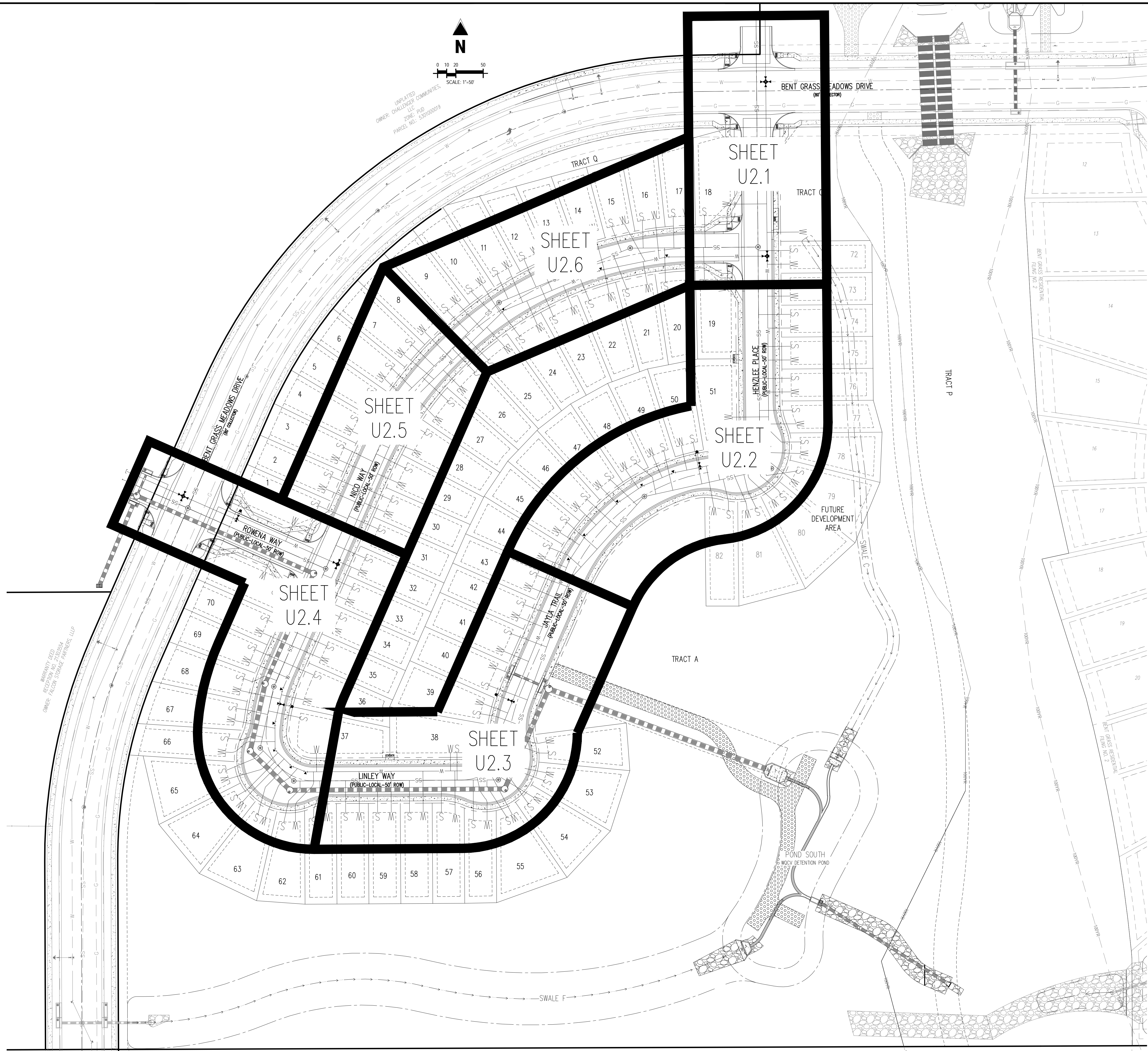
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Drawn By:	CMWJ
Checked By:	RGD
Date:	06/23/2021

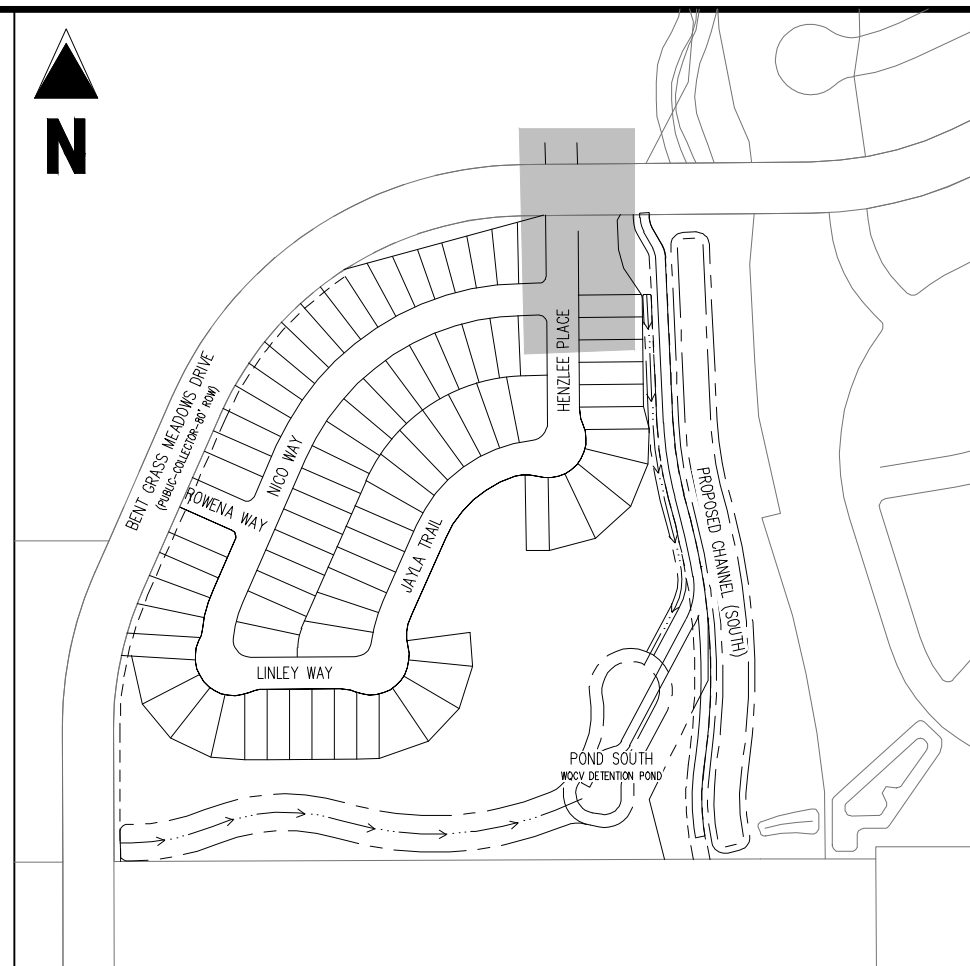
## WASTEWATER PLAN KEY MAP

# U2.0

Sheet 10 of 21







KEY MAP  
SCALE: 1"=300'

### LEGEND

- |  |   |
|--|---|
|  | EXISTING PROPERTY LINE (PROJECT BOUNDARY) |
|  | EXISTING PROPERTY LINE                    |
|  | EXISTING RIGHT OF WAY LINE                |
|  | PROPOSED RIGHT OF WAY LINE                |
|  | EXISTING LOT LINE                         |
|  | PROPOSED LOT LINE                         |
|  | EXISTING EASEMENT                         |
|  | PROPOSED EASEMENT                         |
|  | EXISTING STORM DRAIN PIPE                 |
|  | PROPOSED STORM DRAIN PIPE                 |
|  | EXISTING WATER LINE                       |
|  | PROPOSED WATER LINE                       |
|  | EXISTING SANITARY SEWER LINE              |
|  | PROPOSED SANITARY SEWER LINE              |
|  | EXISTING DRAINAGE FEATURE OUTLINE         |
|  | PROPOSED DRAINAGE FEATURE OUTLINE         |
|  | EXISTING SWALE WITH FLOW DIRECTION        |
|  | PROPOSED SWALE WITH FLOW DIRECTION        |
|  | 100-YEAR FLOODPLAIN                       |
|  | PROPOSED CDOT CLASS 6 GRAVEL              |
|  | PROPOSED RIP RAP                          |
|  | EXISTING CONCRETE PAVING                  |
|  | EXISTING CDOT CLASS 6 GRAVEL              |
|  | EXISTING 1" TO 2" CRUSHED ROCK            |
|  | EXISTING RIP RAP                          |
|  | EXISTING GROUTED BOULDERS                 |
|  | PROPOSED LOT #                            |
|  | PROPOSED LOT # (BENT GRASS FLING NO. 2)   |
|  | PROPOSED ADA RAMP                         |
|  | PROPOSED FIRE HYDRANT                     |
|  | PROPOSED GATE VALVE                       |
|  | PROPOSED REDUCER                          |
|  | PROPOSED WATER BEND/TEE                   |
|  | PROPOSED SANITARY MANHOLE                 |
|  | PROPOSED FES                              |
|  | PROPOSED STORM MANHOLE                    |
|  | PROPOSED CDOT TYPE R STORM INLET          |

## NOTES

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## BENCHMARK

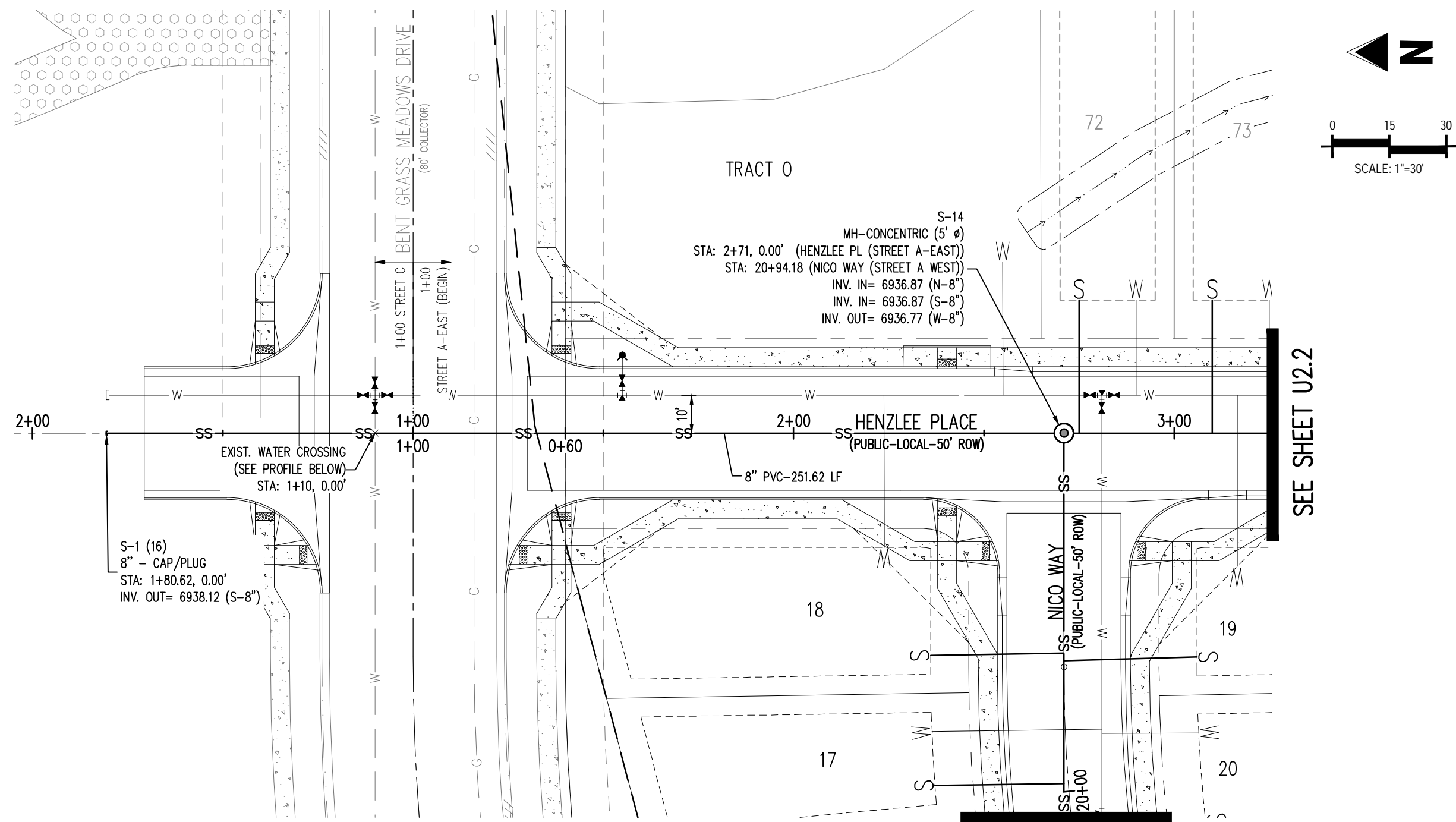
THE SOUTHWESTERLY CORNER OF LOT 1 WOODMEN HILLS FILING NO. 4. MONUMENTED BY A YELLOW PLASTIC SURVEYORS CAP ON A NO. 4 REBAR LS# 24954 ELEVATION = 6947.67

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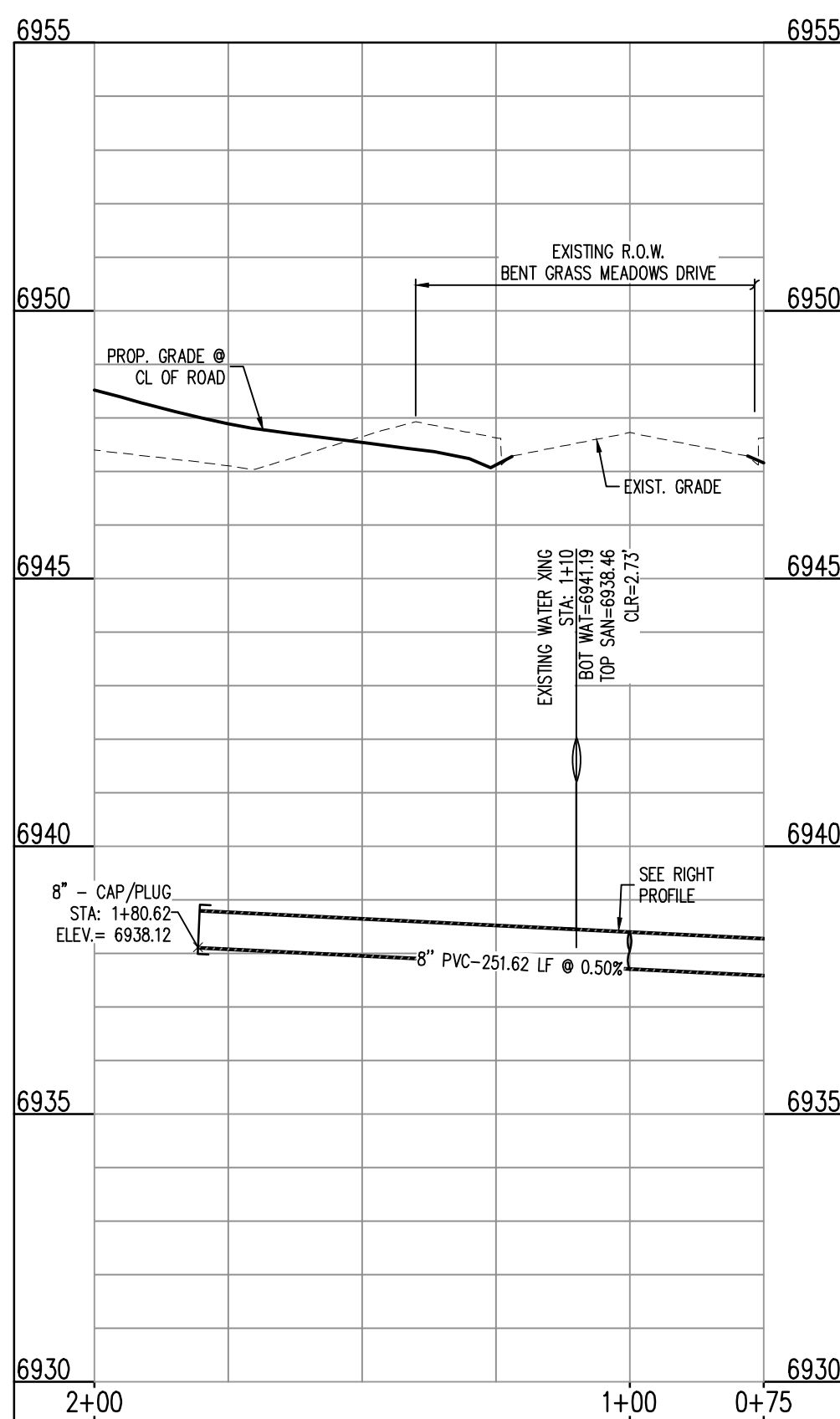


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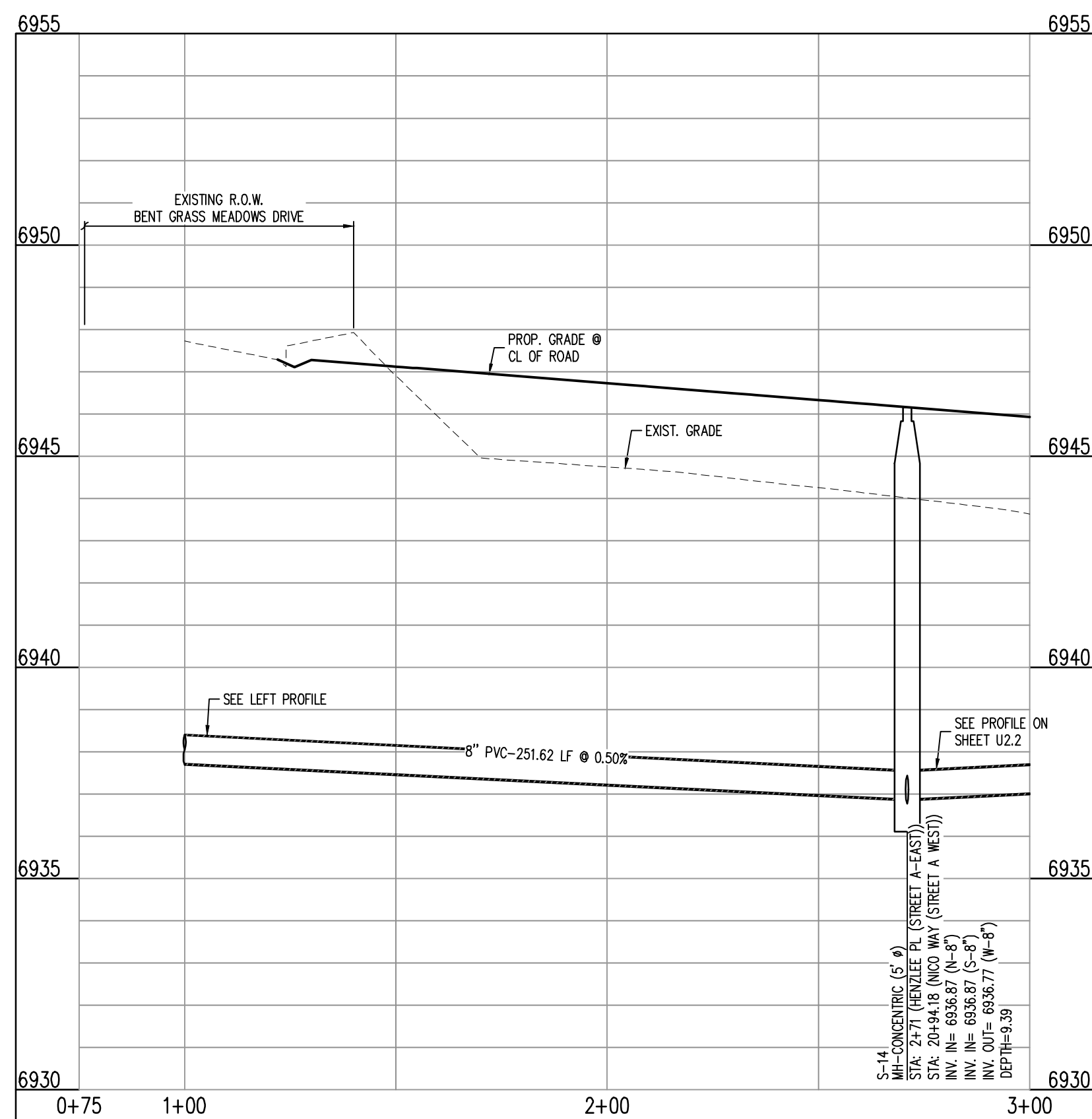


PLAN: 8-INCH SANITARY SEWER (HENZLEE PLACE)  
STA: 1+00.00 - 3+00.00

SEE SHEET U2.6

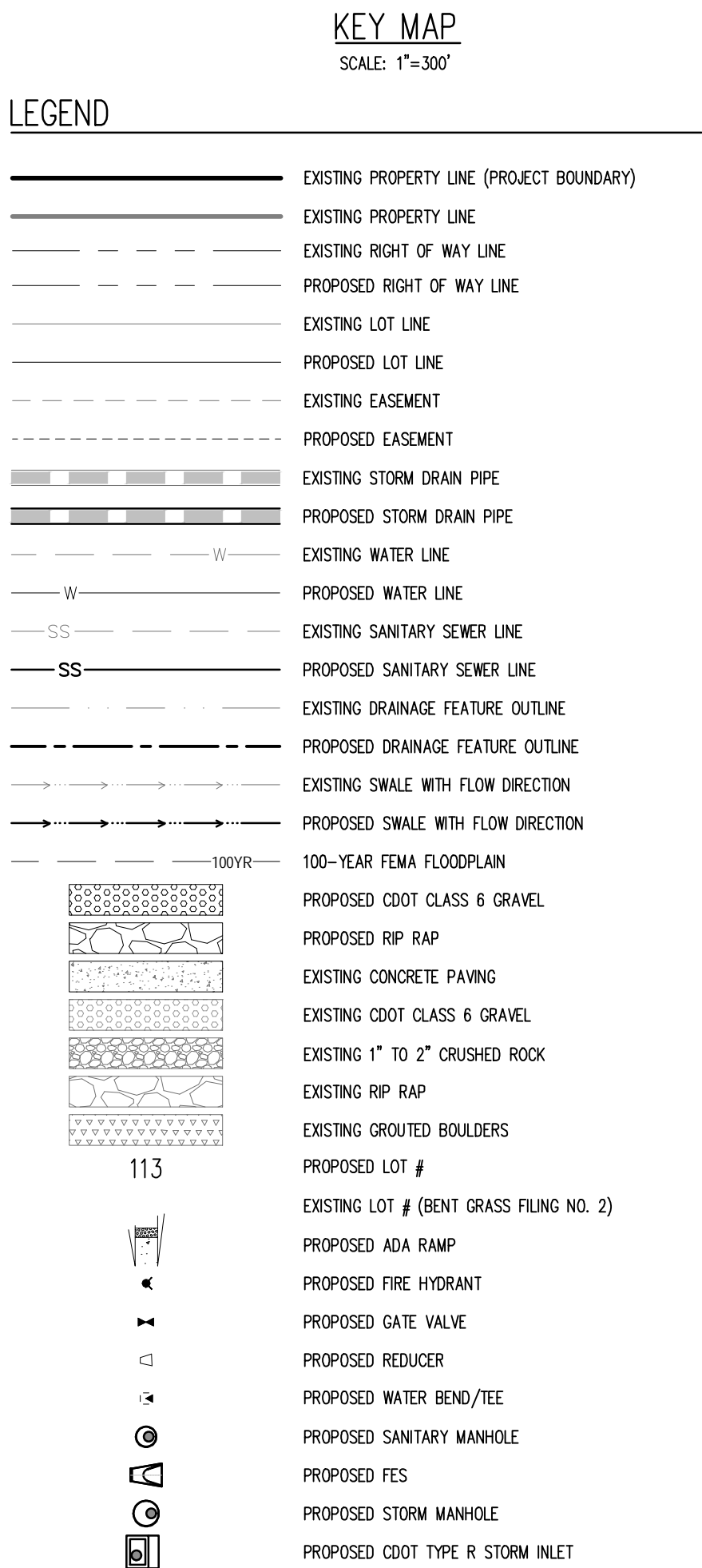
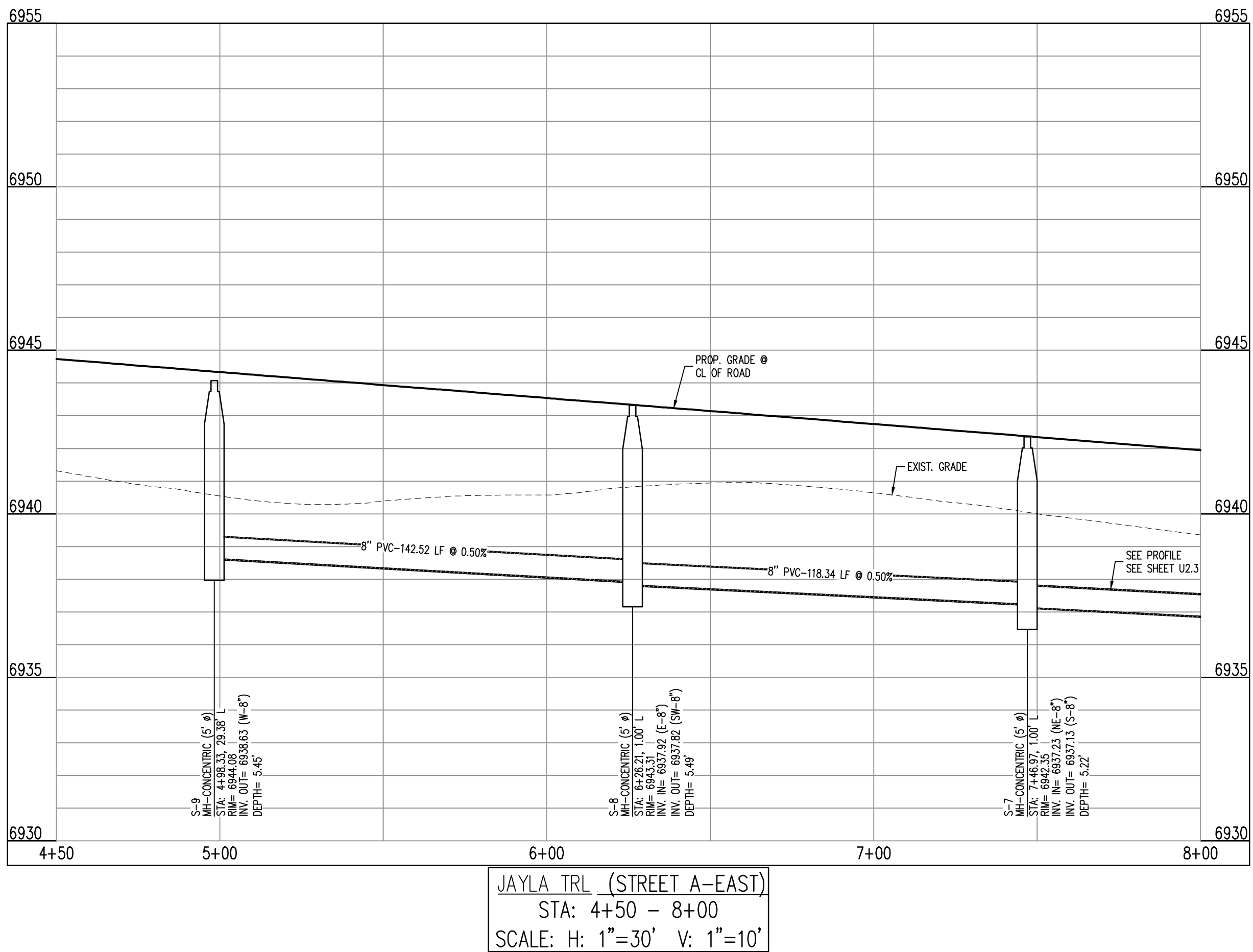
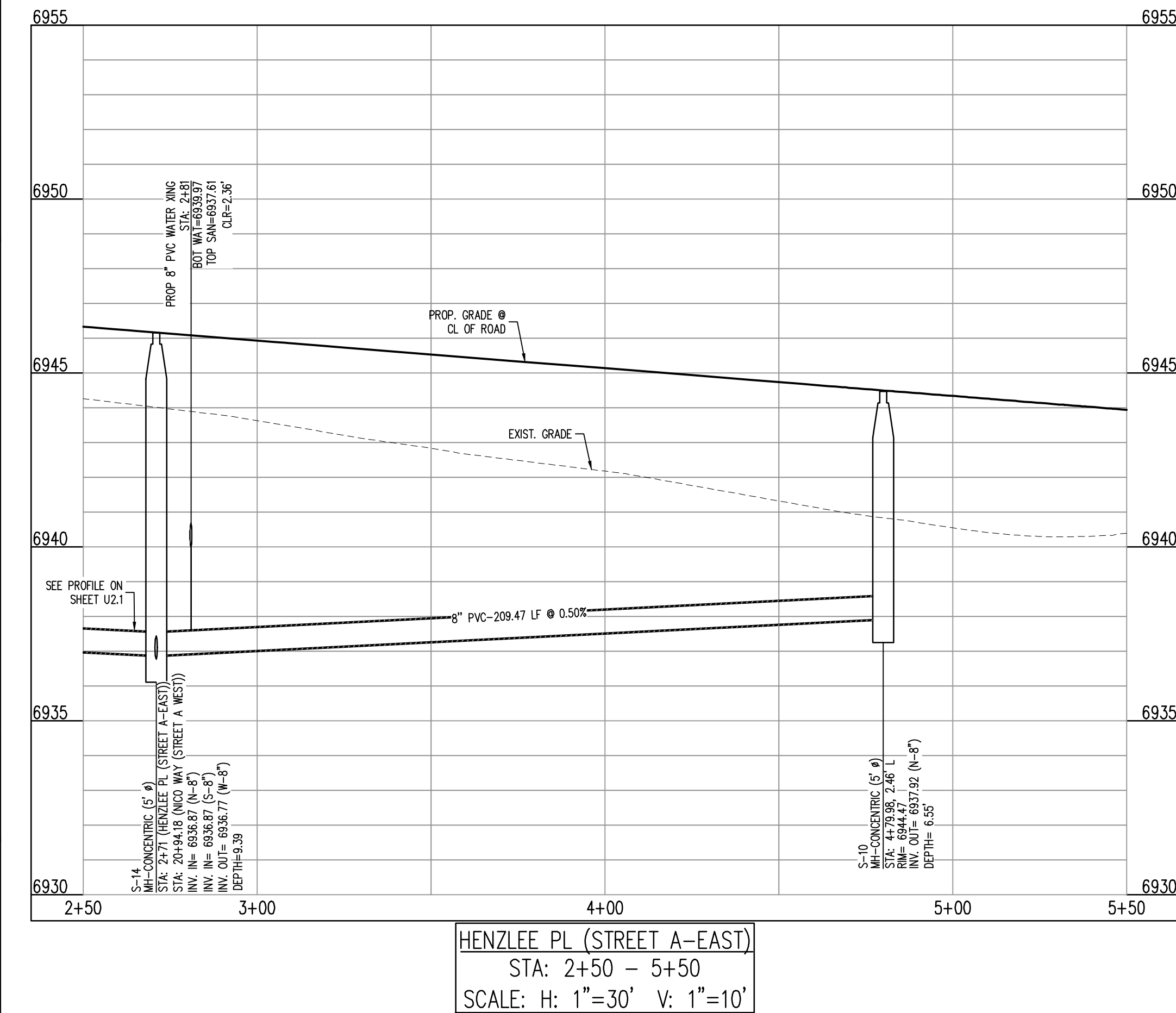


STREET C  
STA: 0+75 - 2+00  
SCALE: H: 1"=30' V: 1"=10'



HENZLEE PL (STREET A-EAST)  
STA: 0+75 - 3+00  
SCALE: H: 1"=30' V: 1"=10'





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# CHALLENGER HOMES

WATER & WASTEWATER CONSTRUCTION PLANS  
FALCON MEADOWS AT BENT GRASS FILING NO. 1  
FOR  
CHALLENGER COMMUNITIES, LLC  
  
BENT GRASS MEADOWS DRIVE & MERIDIAN ROAD  
FALCON, CO 80831 - EL PASO COUNTY

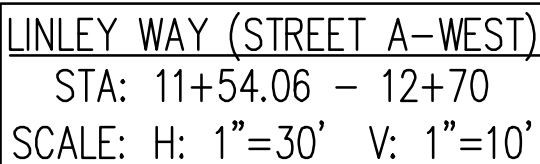
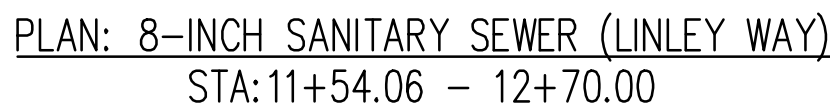
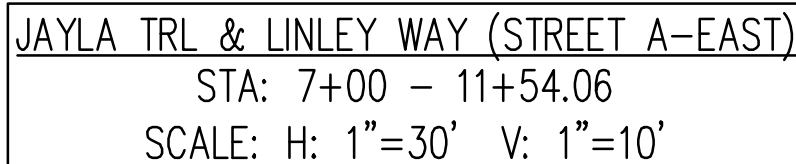
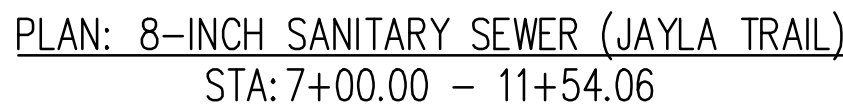
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Project No:	CLH000018
Drawn By:	CMWJ
Checked By:	RGD
Date:	06/23/2021

## WASTEWATER PLAN & PROFILE

Sheet 12 of 21





## NOTES

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FALCON MEADOWS AT BENT GRASS FILING NO. 1

CHALLENGER COMMUNITIES, LLC

BENT GRASS MEADOWS DRIVE & MERIDIAN ROAD  
FALCON, CO 80831 - EL PASO COUNTY

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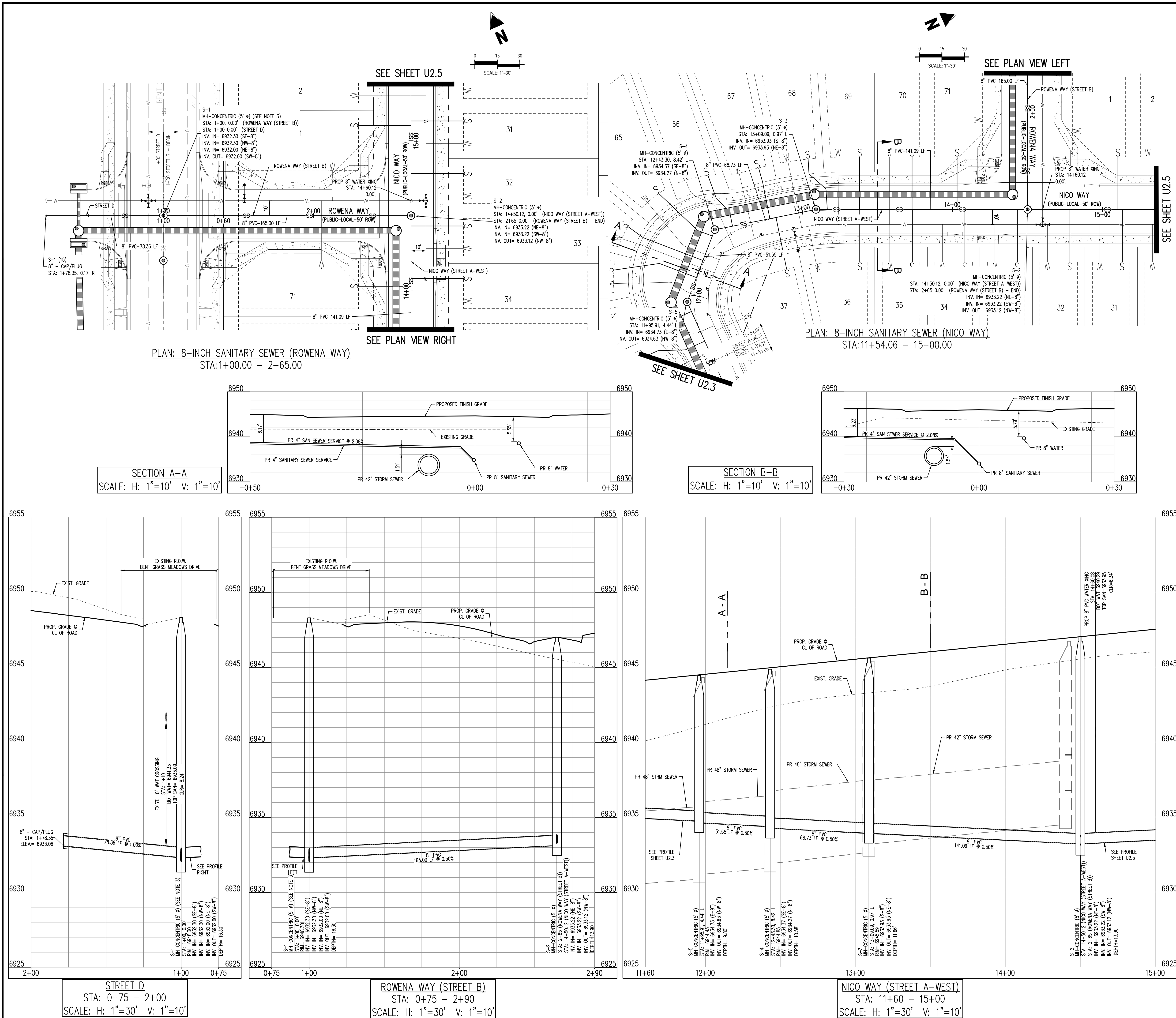
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Checked By:	RGD
Date:	06/23/2021

## WASTEWATER PLAN & PROFILE

## U2.3

Sheet 13 of 21



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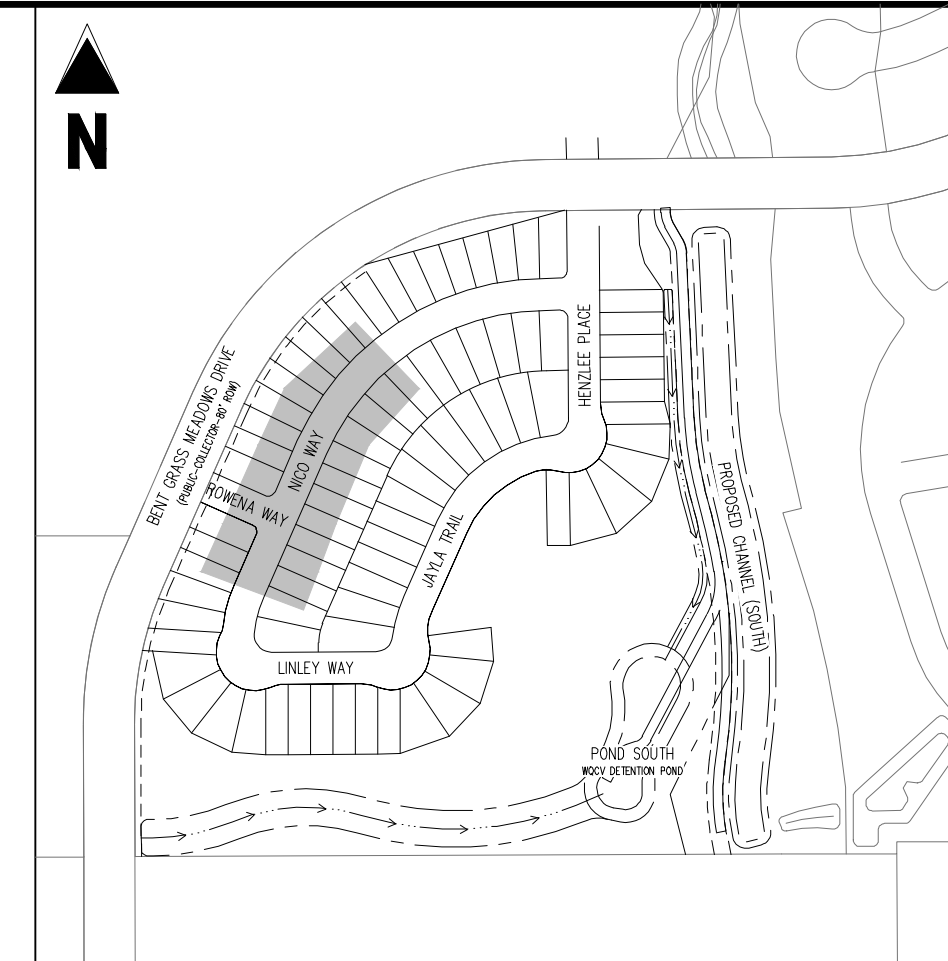
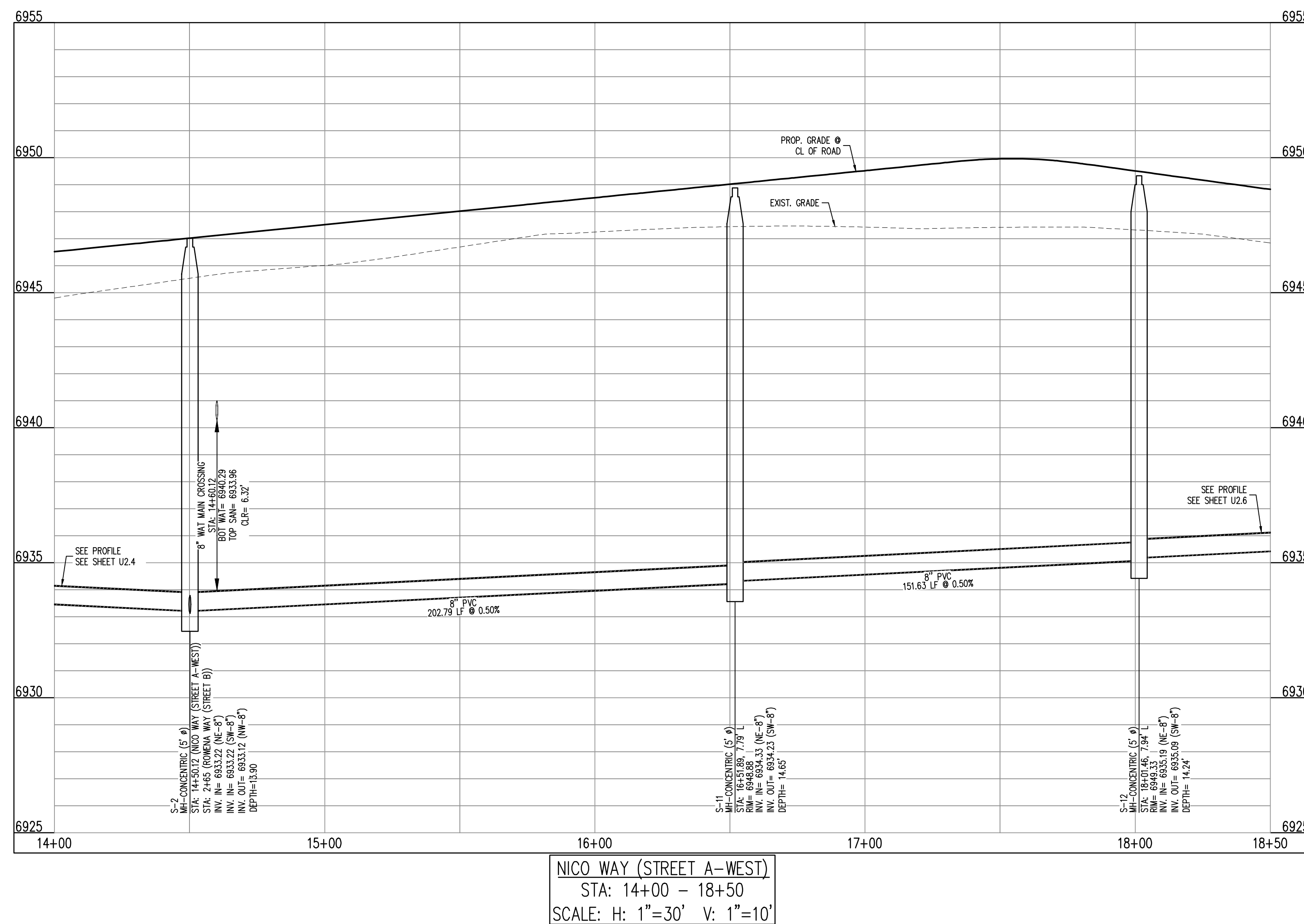
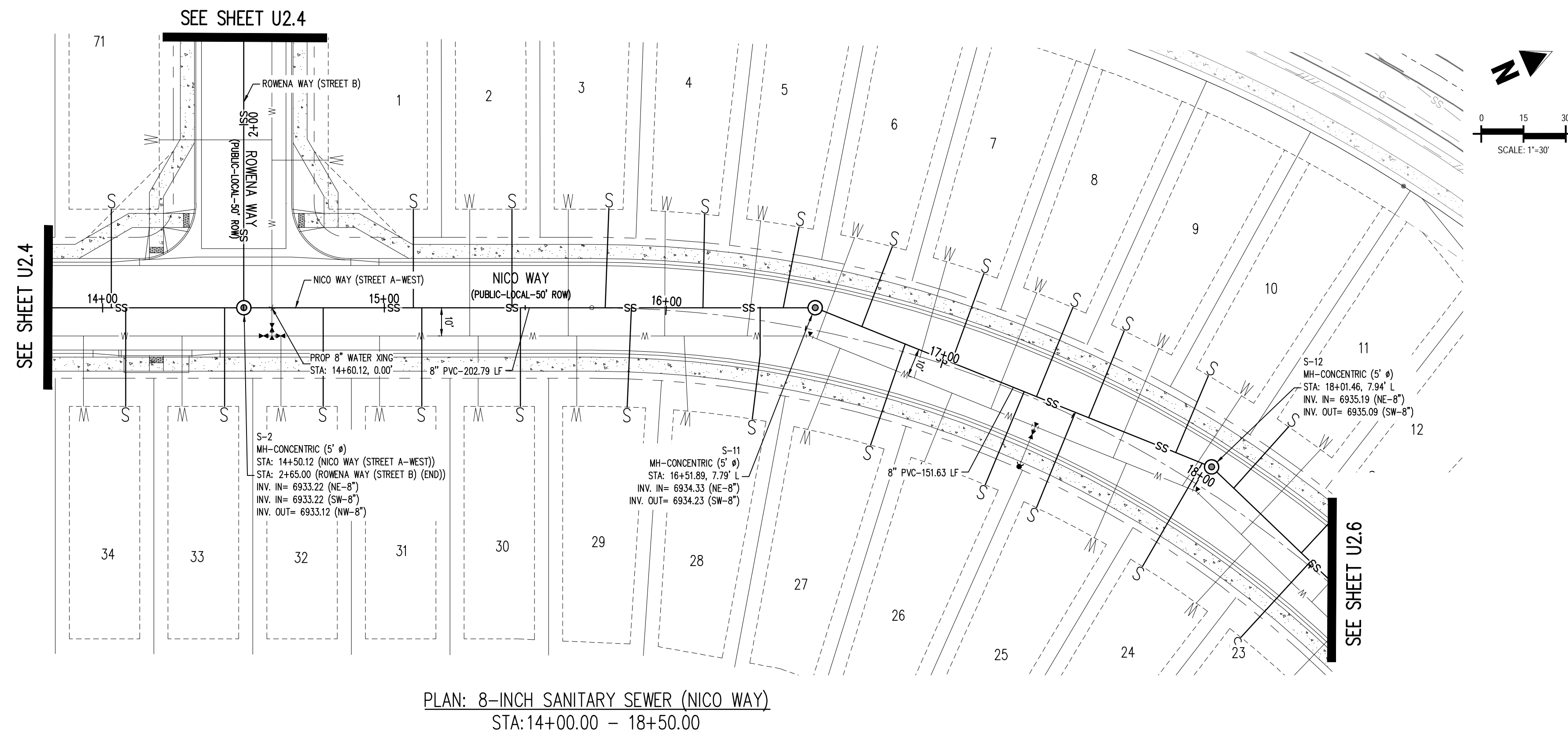
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Checked By:	RGD
Date:	06/23/2021

## WASTEWATER PLAN & PROFILE

## U2.4


















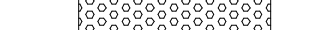
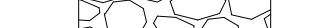
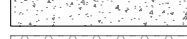

















Sheet 14 of 21





KEY MAP  
SCALE: 1"=300'

LEGEND

- |   |   |
|---|---|
|    | EXISTING PROPERTY LINE (PROJECT BOUNDARY) |
|    | EXISTING PROPERTY LINE                    |
|    | EXISTING RIGHT OF WAY LINE                |
|    | PROPOSED RIGHT OF WAY LINE                |
|    | EXISTING LOT LINE                         |
|    | PROPOSED LOT LINE                         |
|    | EXISTING EASEMENT                         |
|    | PROPOSED EASEMENT                         |
|    | EXISTING STORM DRAIN PIPE                 |
|    | PROPOSED STORM DRAIN PIPE                 |
|    | EXISTING WATER LINE                       |
|    | PROPOSED WATER LINE                       |
|    | EXISTING SANITARY SEWER LINE              |
|    | PROPOSED SANITARY SEWER LINE              |
|    | EXISTING DRAINAGE FEATURE OUTLINE         |
|    | PROPOSED DRAINAGE FEATURE OUTLINE         |
|    | EXISTING SWALE WITH FLOW DIRECTION        |
|    | PROPOSED SWALE WITH FLOW DIRECTION        |
|   | 100-YR FEMA FLOODPLAIN                    |
|  | EXISTING CDOT CLASS 6 GRAVEL              |
|  | PROPOSED RIP RAP                          |
|  | EXISTING CONCRETE PAVING                  |
|  | EXISTING CDOT CLASS 6 GRAVEL              |
|  | EXISTING 1" TO 2" CRUSHED ROCK            |
|  | EXISTING RIP RAP                          |
|  | EXISTING GROUTED BOULDERS                 |
|  | PROPOSED LOT #                            |
|  | EXISTING LOT # (BENT GRASS PLING NO. 2)   |
|  | PROPOSED ADA RAMP                         |
|  | PROPOSED FIRE HYDRANT                     |
|  | PROPOSED GATE VALVE                       |
|  | PROPOSED REDUCER                          |
|  | PROPOSED WATER BEND/TEE                   |
|  | PROPOSED SANITARY MANHOLE                 |
|  | PROPOSED FES                              |
|  | PROPOSED STORM MANHOLE                    |
|  | PROPOSED CDOT TYPE R STORM INLET          |

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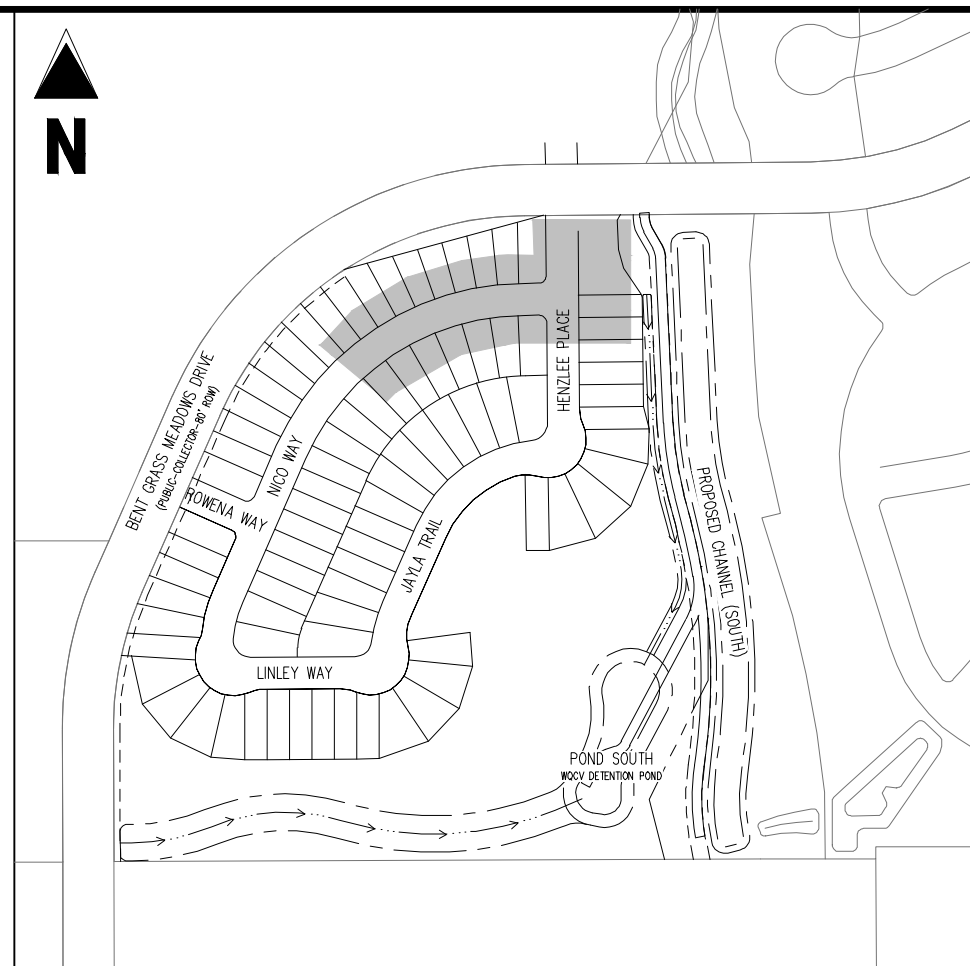
CAUTION - NOTICE TO CONTRACTOR

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE FIELD LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



Know what's **below**.  
**Call** before you dig.





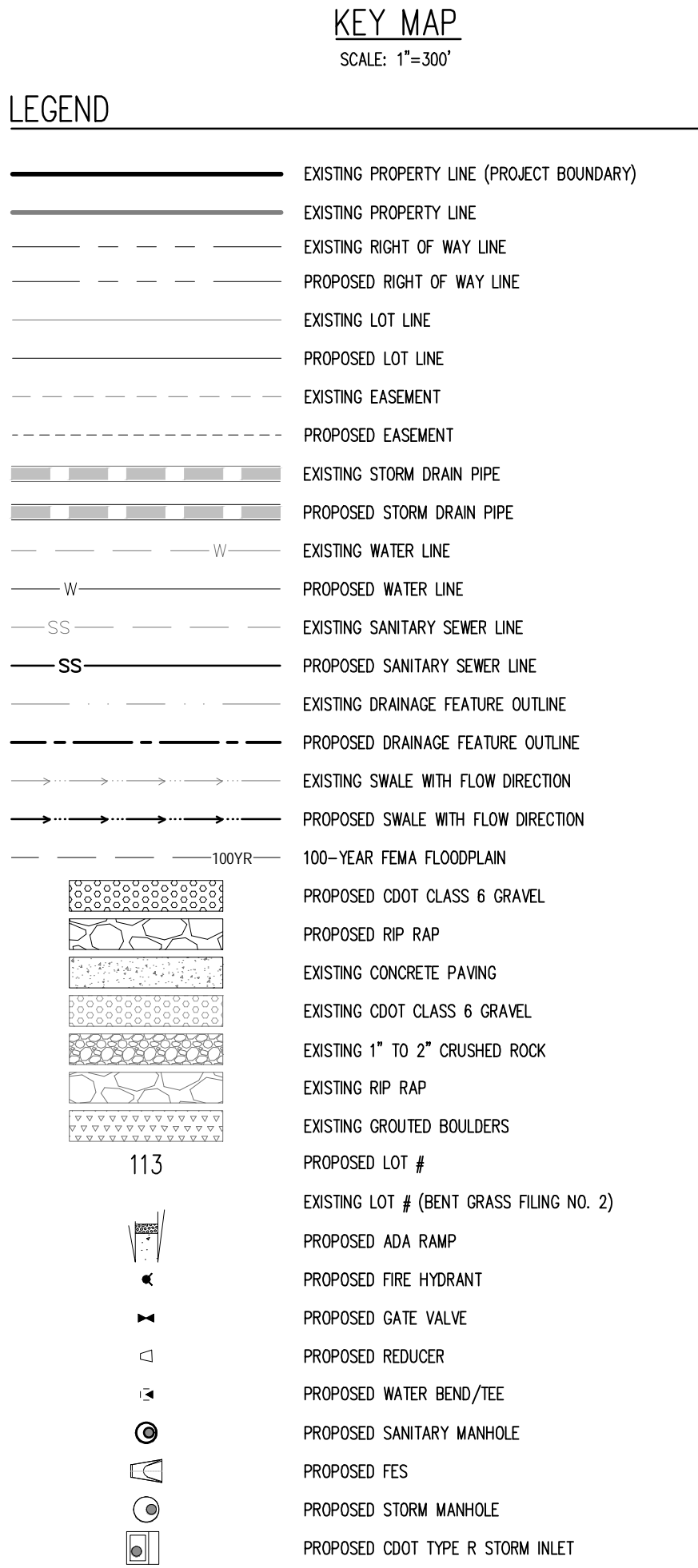
1155 Kelly Johnson Blvd., Suite 305  
Colorado Springs, CO 80920  
719.900.7220  
[GallowayUS.com](http://GallowayUS.com)

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# CHALLENGER HOMES

CHALLENGER COMMUNITIES, LLC

BENT GRASS MEADOWS DRIVE & MERDIAN ROAD  
FALCON, CO 80831 - EL PASO COUNTY



1. ALL STATION CALLOUTS ARE TO THE CENTERLINE OF ROADWAY, THEREFORE MANHOLE RIMS MAY APPEAR TO NOT MEET FINISH GRADE
2. CONTRACTOR TO READ AND BECOME FAMILIAR WITH THE WOODMEN HILLS METROPOLITAN DISTRICT WATER AND WASTEWATER SYSTEM STANDARD SPECIFICATIONS CRITERIA MANUAL AND DETAILS PRIOR TO BEGINNING CONSTRUCTION.

ALL BEARINGS ARE GRID BEARINGS OF THE COLORADO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICAN DATUM 1983. THE BEARING OF THE LINE BETWEEN THE SOUTHWEST CORNER OF SECTION 1, T13S, R65W AND THE WEST QUARTER CORNER SECTION 1, T13S, R65W IS N00°13'46"W AND MONUMENTED AS SHOWN:

THE SOUTHWESTERLY CORNER OF LOT 1 WOODMEN HILLS FILING NO. 4. MONUMENTED BY A  
YELLOW PLASTIC SURVEYORS CAP ON A NO. 4 REBAR LS# 24954 ELEVATION = 6947.67

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Know what's **below**.  
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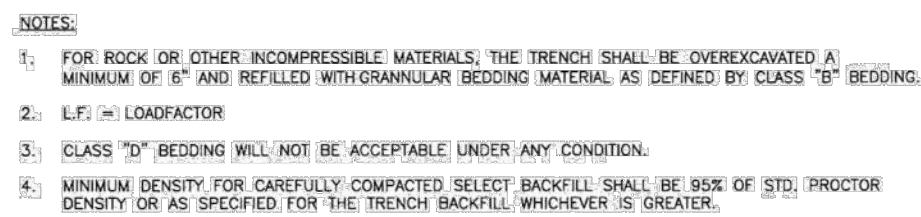




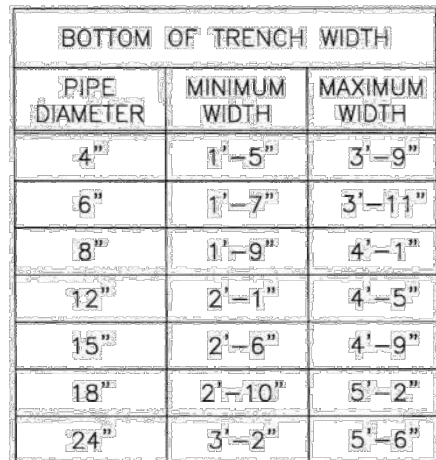








Drawn: GDM	Revised:	 <b>WOODMEN HILLS</b> METROPOLITAN DISTRICT	WATER & WASTEWATER SYSTEM	WW-1
Date: JAN 2011	Revised:		STANDARD SPECIFICATIONS	
Scale: N.T.S.	Revised:			

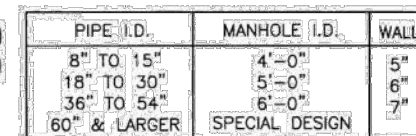


ALL PIPE EMBEDMENT SHALL BE IMPORTED CLASS B BEDDING UNLESS OTHERWISE DIRECTED.

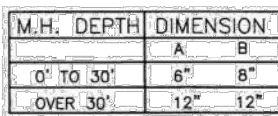
AN OVER EXCAVATED TRENCH SHALL BE REFILLED AND THOROUGHLY COMPACTED UNDER THE DIRECTION OF THE DISTRICT.

UNDER NO CIRCUMSTANCES WILL PIPE BE LAID IN A PROPOSED FILL AREA PRIOR TO IT BEING COMPLETELY FILLED. THE FILL WILL BE PLACED FIRST TO PROPOSED GRADE AND COMPACTED AS REQUIRED. A TRENCH THEN WILL BE EXCAVATED AND THE PIPE INSTALLED IN THE USUAL MANNER.

Drawn: GDM	Revised:	 <b>WOODMEN HILLS</b> METROPOLITAN DISTRICT	WATER & WASTEWATER SYSTEM STANDARD SPECIFICATIONS	<b>WW-2</b>
Date: JAN 2011	Revised:			
Scale: N.T.S.	Revised:			



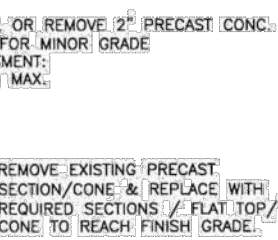
Drawn: DCM	Revised:	 <b>WOODMEN HILLS</b> METROPOLITAN DISTRICT	'WATER & WASTEWATER SYSTEM' STANDARD SPECIFICATIONS	<b>WW-3</b>
Date: JAN 2011	Revised:			
Scale: N.T.S.	Revised:			



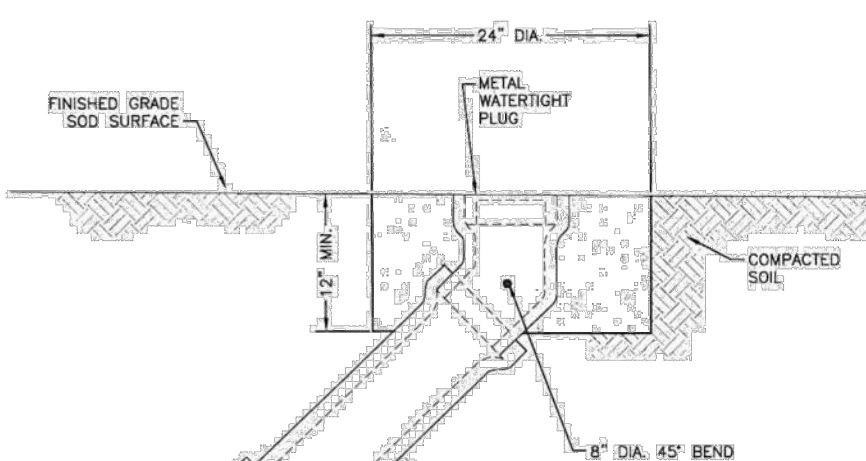
WATERPROOFING REQUIREMENTS

1. APPLY CEMENT GROUT LAYER (¾" TO 1" THICK) TO ALL INTERIOR JOINTS ABOVE FLOW CHANNEL.
2. APPLY COAL TAR EPOXY DAMPROOFING TO ALL EXTERIOR CONCRETE SURFACES.
3. APPLY CEMENT GROUT LAYER (¾" TO 1" THICK) TO ALL EXTERIOR CONCRETE SURFACES, AS DIRECTED BY DISTRICT. APPLY PRIOR TO DAMPROOFING.

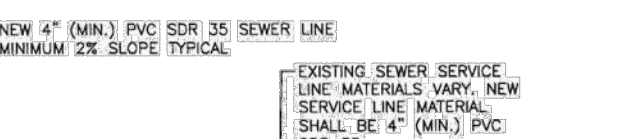
Drawn: QDM	Reviewed:	 <b>WOODMEN HILLS</b> METROPOLITAN DISTRICT	WATER & WASTEWATER SYSTEM STANDARD SPECIFICATIONS	<b>WW-4</b>
Date: JAN 2011	Reviewed:			
Scale: N.T.S.	Reviewed:			



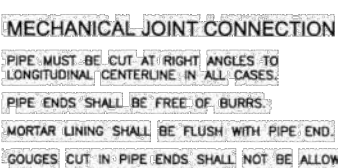
Drawn: GDM	Revised:	 <b>WOODMEN HILLS</b> METROPOLITAN DISTRICT	WATER & WASTEWATER SYSTEM	WW-5
Date: JAN 2015	Revised:		STANDARD SPECIFICATIONS	
Scale: N.T.S.	Revised:			



Drawn: GDM	Revised: 01/11/2011	 <b>WOODMEN HILLS</b> METROPOLITAN DISTRICT	WATER & WASTEWATER SYSTEM	WW-6
Date: JAN. 2011	Revised:		STANDARD SPECIFICATIONS	
Scale: N.T.S.	Revised:			



Drawn: GGM	Revised:	 <b>WOODMEN HILLS</b> METROPOLITAN DISTRICT	<b>WATER &amp; WASTEWATER SYSTEM</b> <b>STANDARD SPECIFICATIONS</b>	<b>WW-7</b>
Date: JAN 2011	Revised:			
Scale: N.T.S.	Revised:			



SLIP JOINT CONNECTION  
PIPE CUT IN STRAIGHT LINE AND BEVELED AT 45°  
ANGLE ON END.

GENERAL NOTES:

1. ALL PIPE CUTTING EQUIPMENT AND PIPE CUTS MUST BE APPROVED BY THE WATER AND SANITATION DISTRICT INSPECTOR.
2. ALL PIPE END TO BE USED IN INSTALLATION SHALL BE DRESSED SMOOTH TO THE SATISFACTION OF THE INSPECTOR PRIOR TO INSTALLATION.
3. AT THE REQUEST OF THE CONTRACTOR MAKING THE INSTALLATION, THE DISTRICT WILL MAKE PIPE CUTS, PROVIDING THE CURRENT FEE FOR CUT IS PAID AND 24-HOUR NOTICE IS GIVEN (THE CURRENT FEE IS SUBJECT TO CHANGE).
4. ALL DIP DELIVERED TO JOB SITE MUST BE NEW MATERIAL.

Drawn: GGM  
 Date: JAN 2011  
 Scale: N.T.S.

Revised:  
 Revised:  
 Revised:

**WOODMEN HILLS**  
 METROPOLITAN DISTRICT

WATER & WASTEWATER SYSTEM  
 STANDARD SPECIFICATIONS

**WW-11**



