

THE COTTAGES AT MESA RIDGE SITE DEVELOPMENT PLAN

A PORTION OF THE NORTHEAST QUARTER OF SECTION 29, THE SOUTHEAST QUARTER
OF SECTION 20, THE SOUTHWEST QUARTER OF SECTION 21, & THE NORTHWEST
QUARTER OF SECTION 28 TOWNSHIP 15 SOUTH, RANGE 65 WEST OF THE 6TH P.M.
COUNTY OF EL PASO, STATE OF COLORADO

GENERAL PROVISIONS:

1. STATEMENT OF INTENT: THE PURPOSE AND INTENT OF THE PUD ZONING DISTRICT IS TO CREATE A COHESIVE WELL PLANNED COMMUNITY THAT WILL ALLOW FOR A MAXIMUM OF 122 DWELLING UNITS, SINGLE FAMILY ATTACHED UNITS FOR RENT ONLY, AN AMENITY CENTER, AND OPEN SPACE.
2. AUTHORITY: THIS PUD IS AUTHORIZED BY CHAPTER 4 OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, ADOPTED PURSUANT TO THE COLORADO PLANNED UNIT DEVELOPMENT ACT OF 1972, AS AMENDED.
3. APPLICABILITY: THE PROVISIONS OF THIS PUD SHALL RUN WITH THE LAND. THE LANDOWNERS, THEIR SUCCESSORS, HEIRS, OR ASSIGNS SHALL BE BOUND BY THE DEVELOPMENT PLAN, AS AMENDED AND APPROVED BY THE PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT DIRECTOR OR BOARD OF COUNTY COMMISSIONERS.
4. ADOPTION: THE ADOPTION OF THIS DEVELOPMENT PLAN SHALL EVIDENCED THE FINDINGS AND DECISIONS OF THE EL PASO COUNTY BOARD OF COUNTY COMMISSIONS THAT THIS DEVELOPMENT PLAN FOR THE COTTAGES AT MESA RIDGE IS IN GENERAL CONFORMITY WITH THE EL PASO COUNTY MASTER PLAN, EL PASO COUNTY POLICY PLAN, AND APPLICABLE SMALL AREA PLAN(S); IS AUTHORIZED UNDER THE PROVISIONS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE; AND THAT THE EL PASO COUNTY LAND DEVELOPMENT CODE AND THIS DEVELOPMENT PLAN COMPLIES WITH THE COLORADO PLANNED UNIT DEVELOPMENT ACT OF 1972, AS AMENDED.
5. RELATIONSHIP TO COUNTY REGULATIONS: THE PROVISIONS OF THIS DEVELOPMENT PLAN SHALL PREVAIL AND GOVERN THE DEVELOPMENT OF THE COTTAGES AT MESA RIDGE, PROVIDED, HOWEVER, THAT WHERE THE PROVISIONS OF THIS DEVELOPMENT PLAN DO NOT ADDRESS A PARTICULAR SUBJECT THE RELEVANT PROVISIONS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, AS AMENDED AND IN EFFECT AT THE TIME OF THE PUD PLAN APPROVAL (OR OWNER ACKNOWLEDGE THE PUD CHANGES WITH THE CODE), OR ANY OTHER APPLICABLE RESOLUTIONS OR REGULATIONS OF EL PASO COUNTY, SHALL BE APPLICABLE.
6. ENFORCEMENT: TO FURTHER THE MUTUAL INTEREST OF THE RESIDENTS, OCCUPANTS, AND OWNERS OF THE PUD AND OF THE PUBLIC IN PRESERVATION OF THE INTEGRITY OF THIS DEVELOPMENT PLAN, THE PROVISIONS OF THIS PLAN RELATING TO THE USE OF LAND AND THE LOCATION OF COMMON SPACE SHALL RUN IN FAVOR OF EL PASO COUNTY AND SHALL BE ENFORCEABLE AT LAW OR IN EQUITY BY THE COUNTY WITHOUT LIMITATION ON ANY POWER OR REGULATION OTHERWISE GRANTED BY LAW. WHERE THERE IS MORE THAN ONE PROVISIONS WITHIN THE DEVELOPMENT PLAN THAT COVERS THE SAME SUBJECT MATTER, THE PROVISIONS WHICH IS MORE RESTRICTIVE OR IMPOSES THE HIGHER STANDARDS OR REQUIREMENTS SHALL GOVERN.

LEGAL DESCRIPTION:

THAT PORTION OF THE NORTHWEST QUARTER OF SECTION 28 AND THE NORTHEAST QUARTER OF SECTION 29, TOWNSHIP 15 SOUTH, RANGE 65 WEST OF THE 6TH P.M., COUNTY OF EL PASO, STATE OF COLORADO, DESCRIBED AS FOLLOWS:

BASIS OF BEARINGS: BEARINGS ARE BASED UPON THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 29, MONUMENTED AT THE WEST END WITH A 3.25" ALUMINUM CAP IN CONCRETE STAMPED "PLS 4842" AND MONUMENTED AT THE EAST END WITH A #6 REBAR AND 3.25" ALUMINUM CAP STAMPED "PLS 38141" AND ASSUMED TO BEAR S 89°57'13" E A FIELD MEASURED DISTANCE OF 2,652.37 FEET.

BENCHMARK: ELEVATIONS ARE BASED UPON THE FOUNTAIN SANITATION DISTRICT POINT N-1, BEING A 2" BRASS CAP IN CONCRETE AT THE NORTHEAST CORNER OF MESA RIDGE PARKWAY AND FOUNTAIN MESA ROAD. (ELEVATION=5750.57 NGVD 29).

BEGINNING AT THE NORTHWEST CORNER OF THE NORTHWEST QUARTER OF SAID SECTION 28; THENCE N 89°41'59" E ALONG THE NORTH LINE OF SAID NORTHWEST QUARTER, A DISTANCE OF 117.30 FEET TO A POINT ON THE WEST LINE OF POWERS BOULEVARD AS RECORDED UNDER BOOK 6788 AT PAGE 531 OF THE RECORDS OF THE EL PASO COUNTY CLERK AND RECORDERS OFFICE; THENCE ALONG THE WEST LINE OF SAID POWERS BOULEVARD, 933.14 FEET ALONG THE ARC OF A 1,096.98 FOOT RADIUS CURVE TO THE RIGHT, HAVING A CENTRAL ANGLE OF 48°44'17" AND A CHORD THAT BEARS S 12°56'23" W, 905.26 FEET TO A POINT ON THE NORTHERLY LINE OF THAT PARCEL OF LAND DESCRIBED UNDER BOOK 5506 AT PAGE 1290 OF SAID RECORDS; THENCE OF THE FOLLOWING EIGHT (8) COURSES ALONG SAID NORTHERLY LINES AND EASTERLY LINES OF SAID PARCEL OF LAND DESCRIBED UNDER BOOK 5506 AT PAGE 1290:

- 1) N 84°16'00" W, A DISTANCE OF 198.99 FEET;
- 2) 46.11 FEET ALONG THE ARC OF A 540.00 FOOT RADIUS TANGENT CURVE TO THE LEFT, HAVING A CENTRAL ANGLE OF 04°53'33" AND A CHORD THAT BEARS N 86°42'46" W, 46.10 FEET;
- 3) N 89°09'33" W, A DISTANCE OF 124.09 FEET;
- 4) 100.02 FEET ALONG THE ARC OF A 140.00 FOOT RADIUS TANGENT CURVE TO THE RIGHT, HAVING A CENTRAL ANGLE OF 40°56'07" AND A CHORD THAT BEARS N 68°41'30" W, 97.91 FEET;
- 5) N 48°13'27" W, A DISTANCE OF 126.77 FEET;
- 6) 6.49 FEET ALONG THE ARC OF AN 8.00 FOOT RADIUS TANGENT CURVE TO THE RIGHT, HAVING A CENTRAL ANGLE OF 46°29'23" AND A CHORD THAT BEARS N 24°58'45" W, 6.31 FEET;
- 7) N 01°44'04" W, A DISTANCE OF 137.18 FEET;
- 8) 87.71 FEET ALONG THE ARC OF A 135.00 FOOT RADIUS TANGENT CURVE TO THE LEFT, HAVING A CENTRAL ANGLE OF 37°13'35" AND A CHORD THAT BEARS N 20°21'02" W, 86.18 FEET TO THE SOUTHWEST CORNER OF LOT 15, BLOCK 3, SUNRISE RIDGE SUBDIVISION FILING NO. 8 AS RECORDED UNDER RECEPTION NO. 1722613 OF SAID RECORDS;

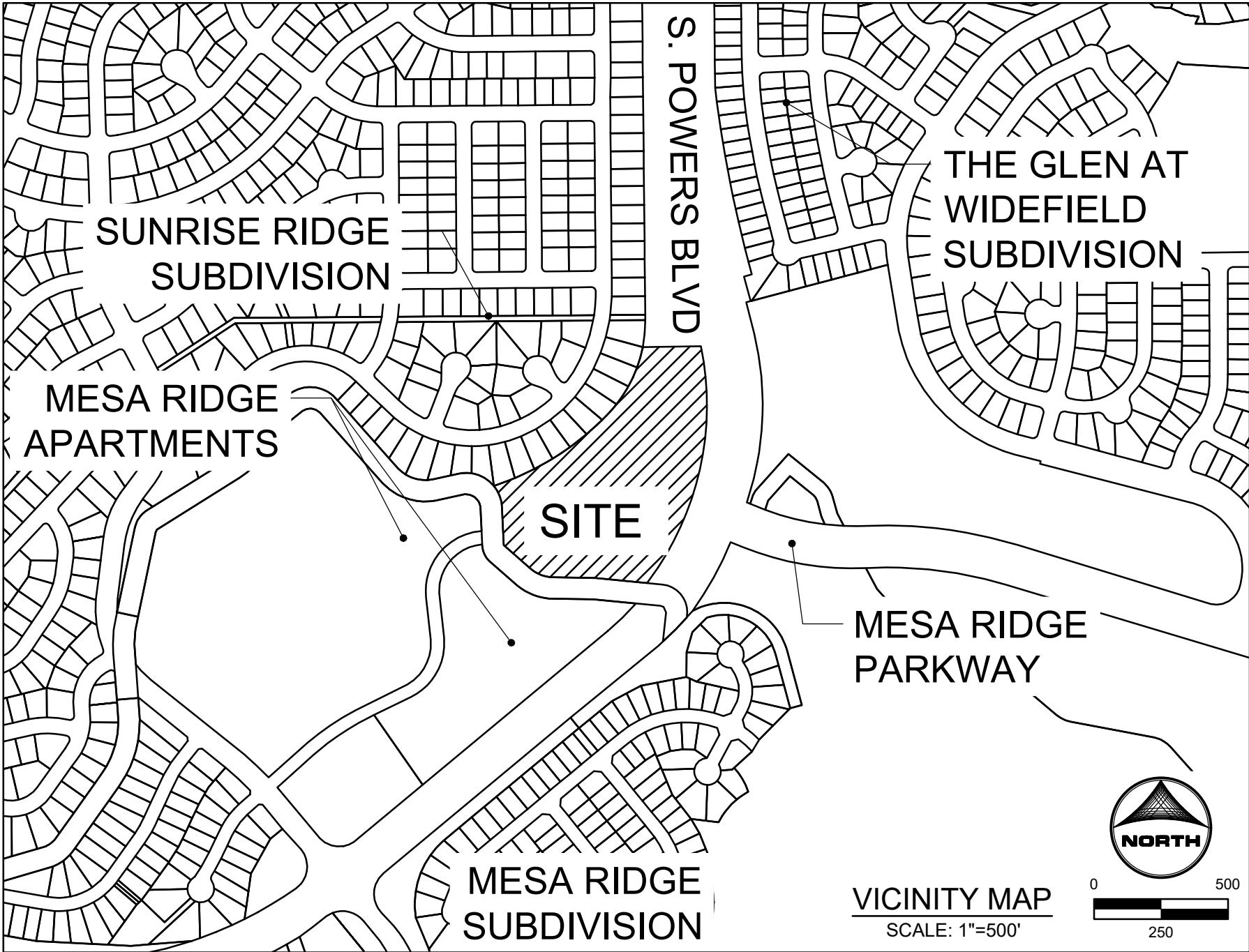
THENCE THE FOLLOWING TWO (2) COURSES ALONG THE EASTERLY LINE OF SAID SUNRISE RIDGE SUBDIVISION FILING NO. 8:

- 1) 511.39 FEET ALONG THE ARC OF A 1,034.60 FOOT RADIUS CURVE TO THE LEFT, HAVING A CENTRAL ANGLE OF 28°19'14" AND A CHORD THAT BEARS N 58°13'41" E, 506.20 FEET TO A POINT OF COMPOUND CURVATURE;
- 2) 283.12 FEET ALONG THE ARC OF A 500.00 FOOT RADIUS CURVE TO THE LEFT, HAVING A CENTRAL ANGLE OF 32°26'36" AND A CHORD THAT BEARS N 27°50'47" E, 279.35 FEET TO A POINT ON THE NORTH LINE OF SAID NORTHEAST QUARTER;

THENCE N 89°57'13" E ALONG THE NORTH LINE OF SAID NORTHEAST QUARTER, A DISTANCE OF 115.21 FEET TO THE POINT OF BEGINNING.

CONTAINING A CALCULATED AREA OF 445,104 SQUARE FEET (10.218 ACRES) OF LAND, MORE OR LESS.

TO BE PLATTED AS "THE COTTAGES AT MESA RIDGE"



SHEET INDEX:

- 1 - COVER
- 2 - GENERAL NOTES
- 3 - TYPICAL SECTIONS
- 4 - SITE PLAN
- 5 - UTILITY PLAN
- 6 - UTILITY PLAN

STAKEHOLDERS:

OWNER:	CSJ NO.1 LLC 111 S. TEJON STREET, SUITE 222 COLORADO SPRINGS, CO 80903
DEVELOPER:	GOODWIN KNIGHT 8605 EXPLORER DRIVE, SUITE 250 COLORADO SPRINGS, CO 80920 DAVE MORRISON
ATTN:	
APPLICANT:	HR GREEN DEVELOPMENT, LLC 1975 RESEARCH PKWY, SUITE 230 COLORADO SPRINGS, CO 80920 PHIL STUEPFERT, KEN HUHN
ATTN:	
SURVEYOR:	BARRON LAND, LLC 2790 N ACADEMY BLVD #311 COLORADO SPRINGS, CO 80917 ATTN: SPENCER BARRON

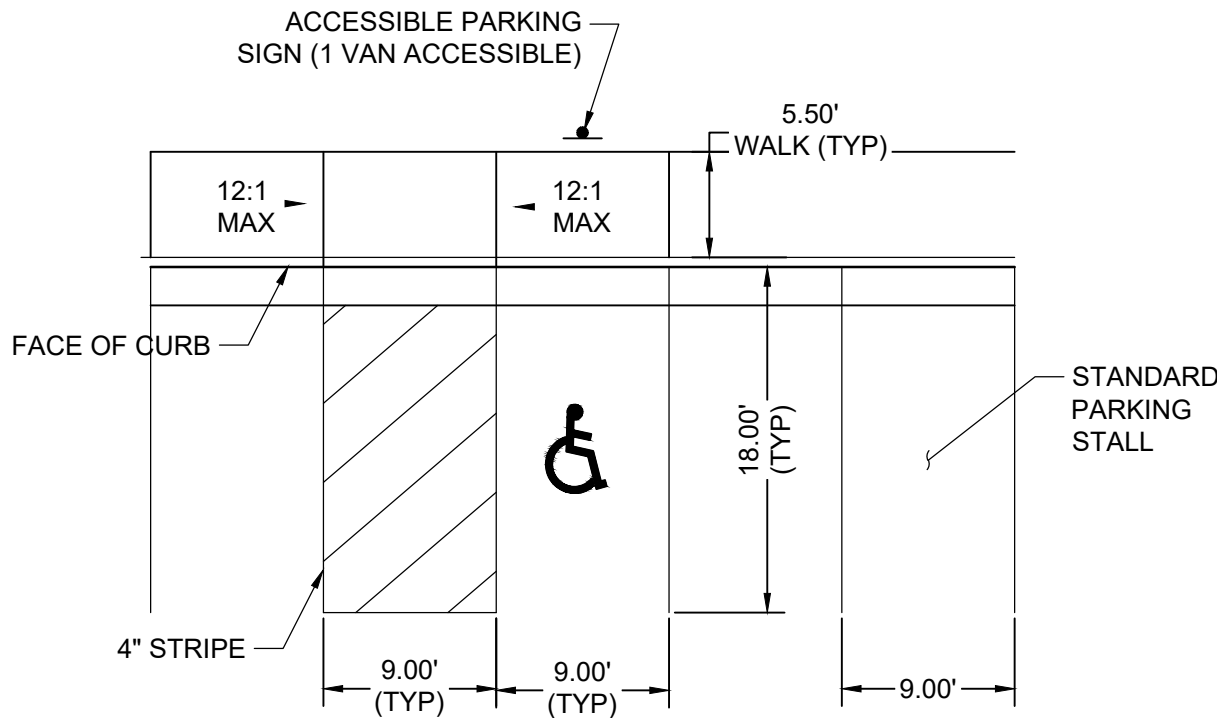
SITE DATA:

TAX SCHEDULE NUMBER:	5529100006
EXISTING ZONING:	RS-6000 CAD-0
PROPOSED ZONING:	PUD
EXISTING USE:	VACANT
PROPOSED USE:	2-FAMILY DWELLINGS, CLUBHOUSE, OPEN SPACE & RECREATIONAL AMENITIES
BUILDING HEIGHT:	35' MAXIMUM
TOTAL DEVELOPMENT AREA:	10.22 ACRES
PROPOSED DENSITY:	11.94 DU/ACRE(GROSS & NET, NO R.O.W)
OPEN SPACE REQUIRED:	10%
OPEN SPACE PROVIDED:	50% 5.08 ACRES (EXCLUDES FIRE ACCESS RD. & IRR. DITCH)

	LAND USE SUMMARY	AREA (SQ.FT.)	AREA (ACRES)	% OF TOTAL
1	BUILDING (DWELLING UNITS, AMENITY & GARAGES)	90,428	2.08	20%
2	PAVED SURFACE (SIDEWALKS, PARKING, ROADWAY, TRASH PAD)	118,661	2.72	27%
3	PAVED IRRIGATION DITCH	1,969	0.05	0%
4	WALKING PATH (CRUSHED GRANITE)	2,437	0.06	1%
5	FIRE ACCESS ROAD	10,096	0.23	2%
	OPEN SPACE:			
6	OPEN SPACE OUTSIDE EASEMENTS	134,000	3.08	30%
7	OPEN SPACE WITHIN EASEMENTS	40,056	0.92	9%
8	OPEN SPACE PERIMETER BUFFER OUTSIDE EASEMENTS	31,151	0.72	7%
9	OPEN SPACE PERIMETER BUFFER WITHIN EASEMENTS	16,196	0.37	4%
	SUBTOTAL ALL OPEN SPACE (6-9)		5.08	50%
	SUBTOTAL ALL IMPERVIOUS SURFACE(1+2+3)		4.85	47%
	TOTAL SITE AREA	445,104	10.22	

Site Parking					
	# buildings	Proposed Dwelling Units	% of Total Units	*Required Parking Ratio per D.U. or	Parking Spaces Required
STUDIO	7	14	11%	1.1	15
1-BEDROOM	12	24	20%	1.5	36
2-BEDROOM	20	40	33%	1.7	68
2-Story (1 bedroom) first floor	22	22	18%	1.5	33
2-Story (2 bedroom) second floor	22	22	18%	1.7	37
Total Dwelling Units	61	122			
Guest (1 space / 3 D.U.)					41
Office/Clubhouse (1,145 s.f.)				1/150 s.f.	8
Regular stalls					238
ADA Stalls					8
Garages	5				32
Total Parking Required					238

*per LDC Table 6-2



ADA STALLS & RAMP - TYPICAL DETAIL

EL PASO COUNTY APPROVAL BLOCK

COUNTY PLANNING & COMMUNITY DEVELOPMENT DIRECTOR DATE

PSD FILE NO: _____

DRAWN BY: CBM	JOB DATE: 4/4/2022	BAR IS ONE INCH ON OFFICIAL DRAWINGS.
APPROVED: KMH	JOB NUMBER: 200541	0" 1"
CAD DATE: 4/4/2022		IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY.
CAD FILE: J:\2020\200541\CAD\DWG\CS\SDP\Cover		

NO.	DATE	BY	REVISION DESCRIPTION



HR GREEN - COLORADO SPRINGS
7222 COMMERCE CENTER DR SUITE 220
COLORADO SPRINGS CO 80919
PHONE: 719.300.4140 TOLL FREE: 800.728.7805
FAX: 844.273.1057 | HRGreen.com

THE COTTAGES AT MESA RIDGE
GOODWIN KNIGHT
EL PASO COUNTY, COLORADO



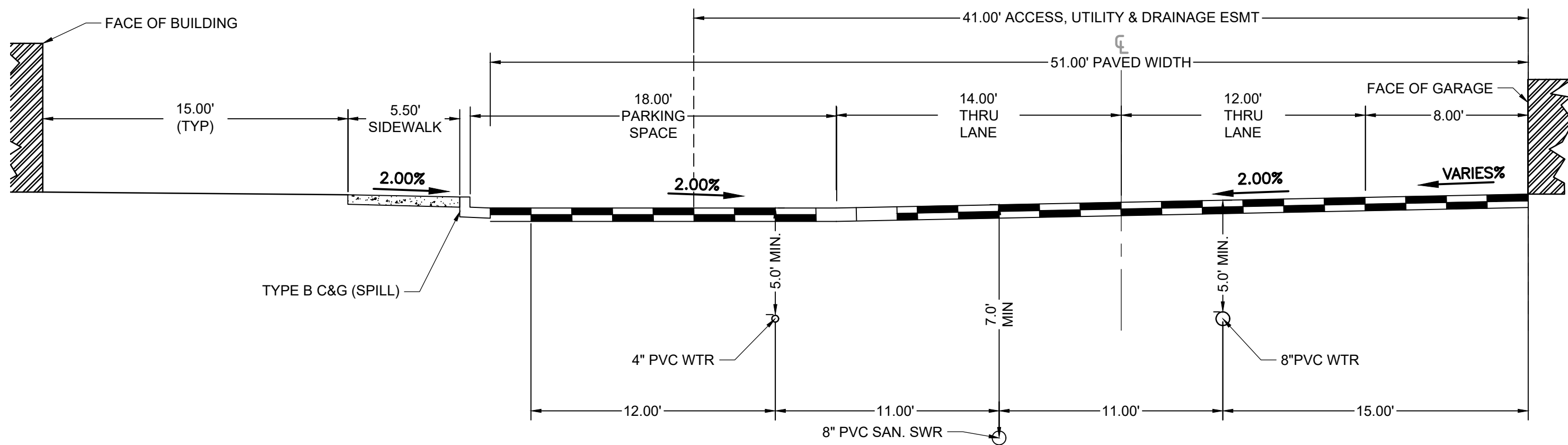
SITE DEVELOPMENT PLAN
COVER

SHEET
CV

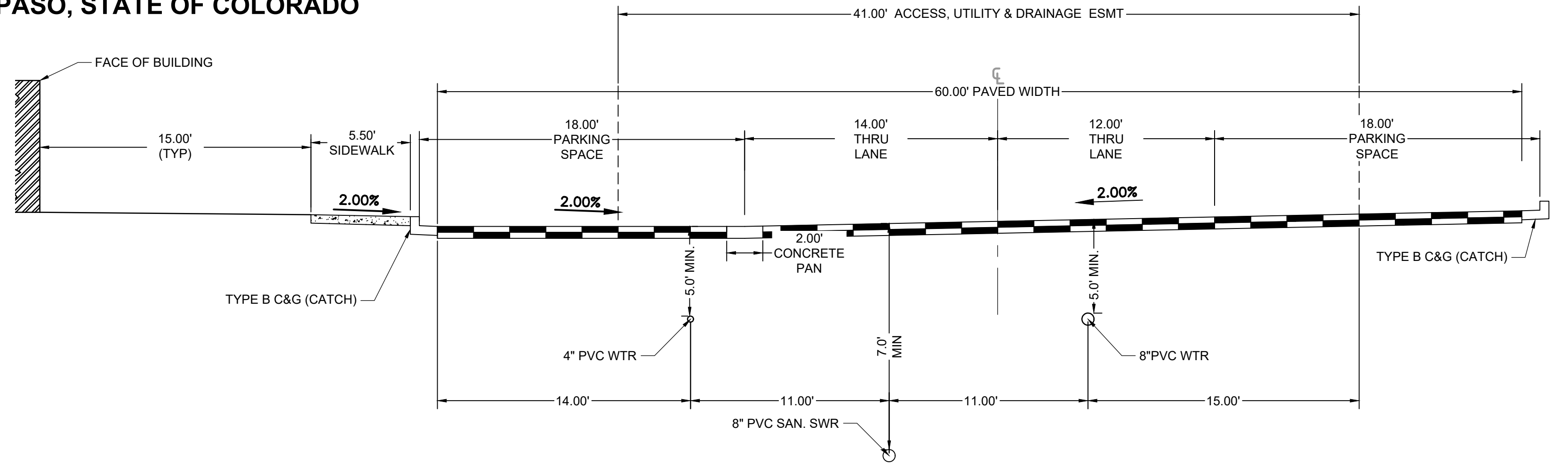
1

THE COTTAGES AT MESA RIDGE SITE DEVELOPMENT PLAN

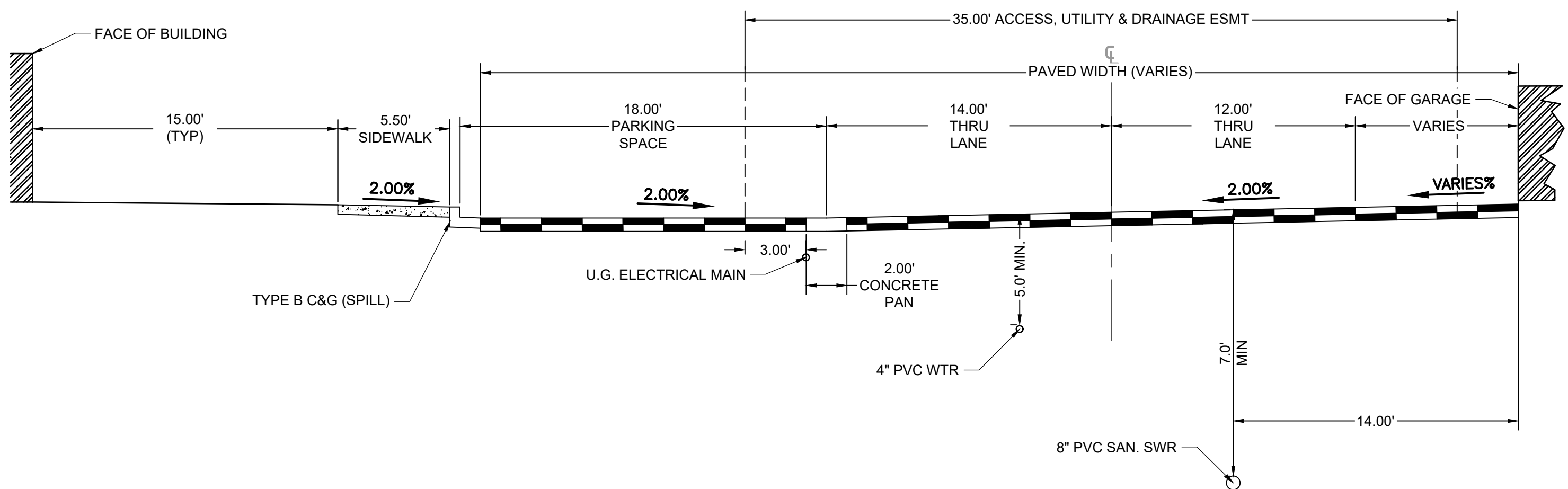
A PORTION OF THE NORTHEAST QUARTER OF SECTION 29, THE SOUTHEAST QUARTER
OF SECTION 20, THE SOUTHWEST QUARTER OF SECTION 21, & THE NORTHWEST
QUARTER OF SECTION 28 TOWNSHIP 15 SOUTH, RANGE 65 WEST OF THE 6TH P.M.
COUNTY OF EL PASO, STATE OF COLORADO



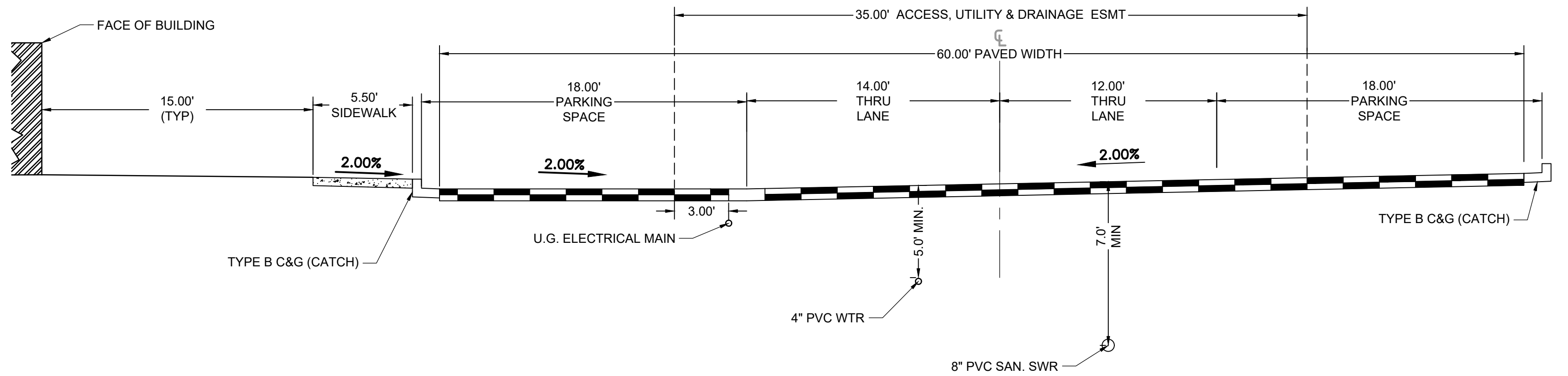
APISHAPA HEIGHTS - W/ GARAGE TYPICAL SECTION - 1
(PRIVATE DRIVEWAY)



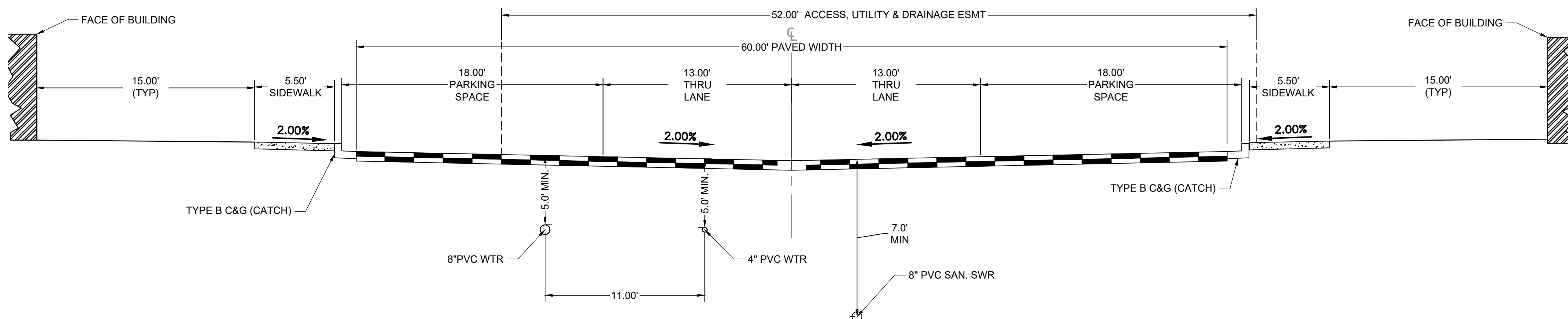
APISHAPA HEIGHTS - TYPICAL SECTION - 2
(PRIVATE DRIVEWAY)



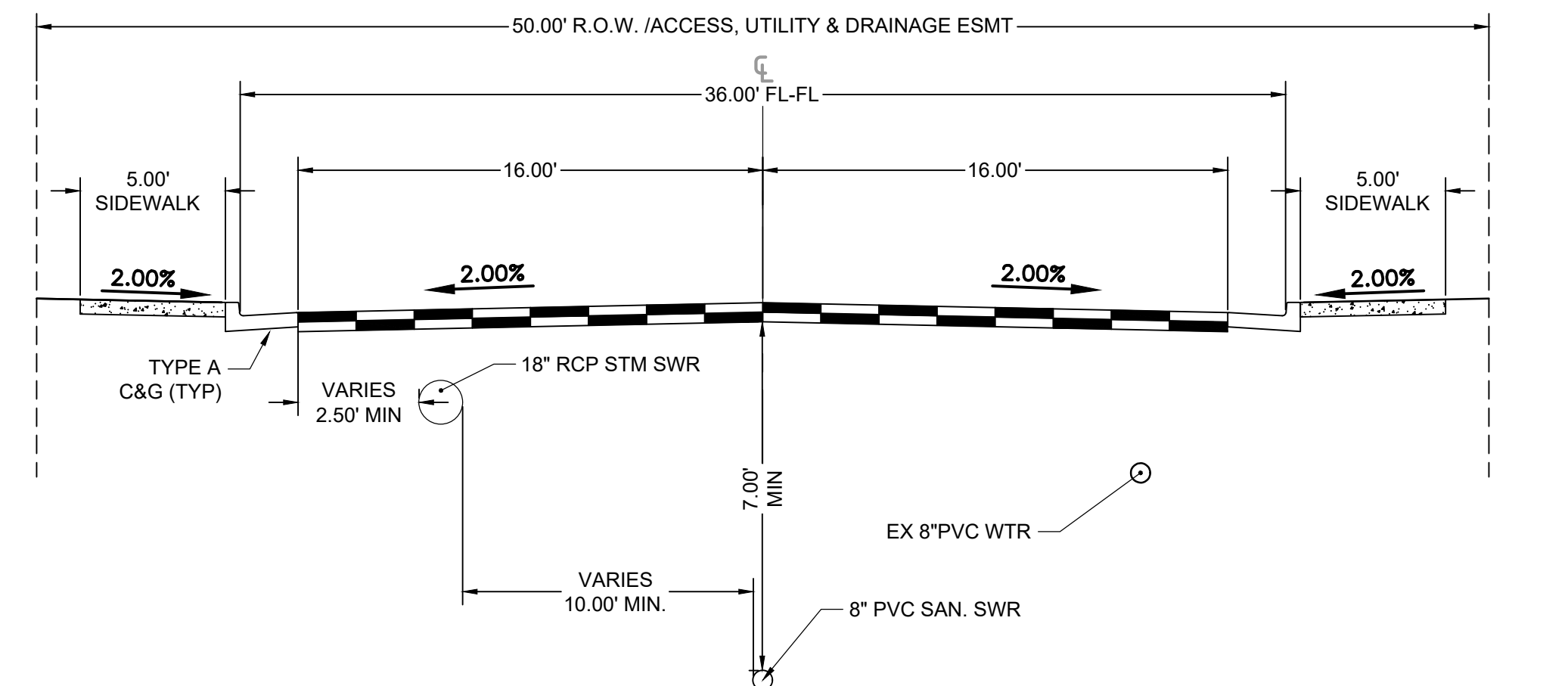
SEGUNDO GROVE - W/ GARAGE TYPICAL SECTION - 3
(PRIVATE DRIVEWAY)



SEGUNDO GROVE - TYPICAL SECTION - 4
(PRIVATE DRIVEWAY)



WAHATOYA POINT - TYPICAL SECTION - 5
(PRIVATE DRIVEWAY)



LANDOVER LANE - TYPICAL SECTION
(PUBLIC LOCAL - CITY OF FOUNTAIN)

PSD FILE NO: _____

DRAWN BY: CBM JOB DATE: 4/4/2022
APPROVED: KMH JOB NUMBER: 200541
CAD DATE: 4/4/2022
CAD FILE: J:\2020\200541\CAD\DWG\SDP\Cover

BAR IS ONE INCH ON
OFFICIAL DRAWINGS.
0 1"
IF NOT ONE INCH,
ADJUST SCALE ACCORDINGLY.

NO.	DATE	BY	REVISION DESCRIPTION



HR GREEN - COLORADO SPRINGS
7222 COMMERCE CENTER DR SUITE 220
COLORADO SPRINGS CO 80919
PHONE: 719.300.4140 TOLL FREE: 800.728.7805
FAX: 844.273.1057 | HRGreen.com

THE COTTAGES AT MESA RIDGE
GOODWIN KNIGHT
EL PASO COUNTY, COLORADO



SITE DEVELOPMENT PLAN
GENERAL NOTES

SHEET
GN

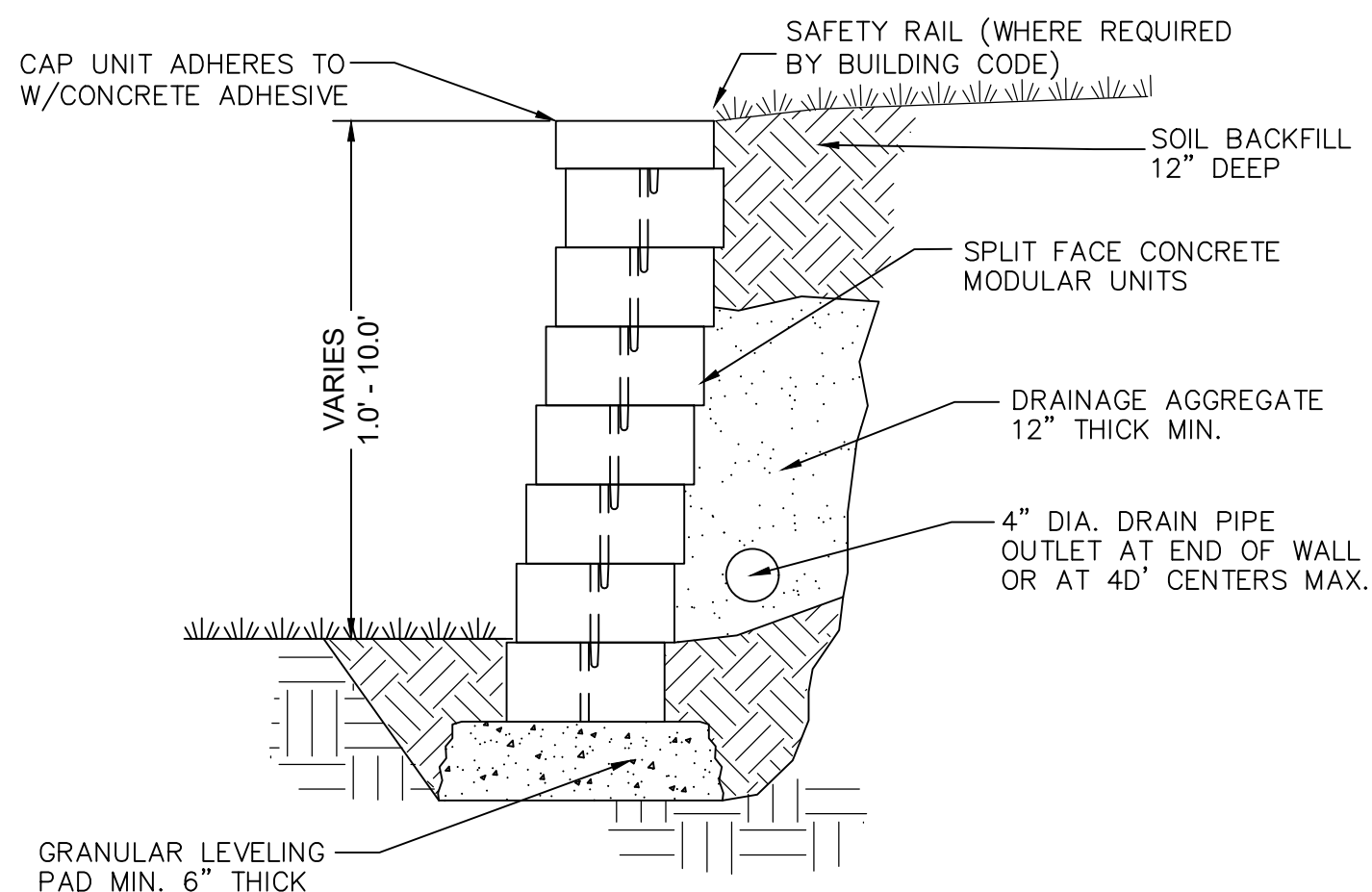
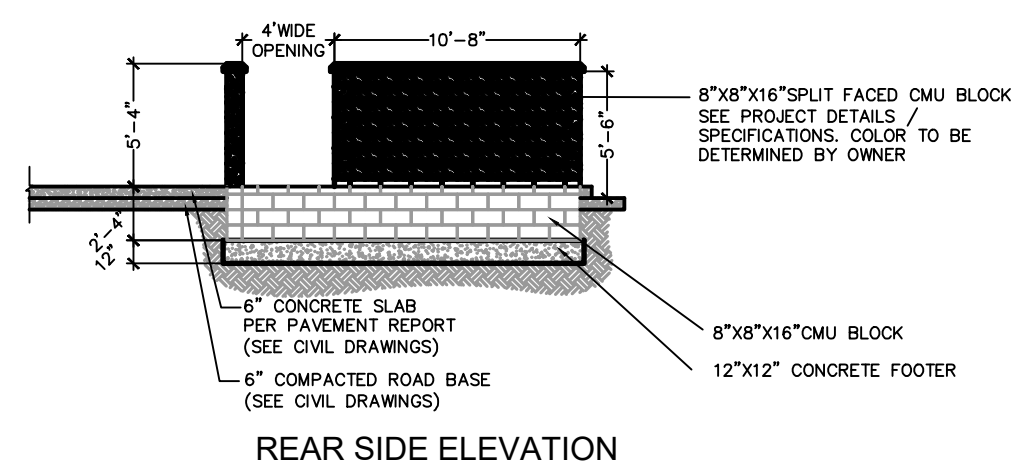
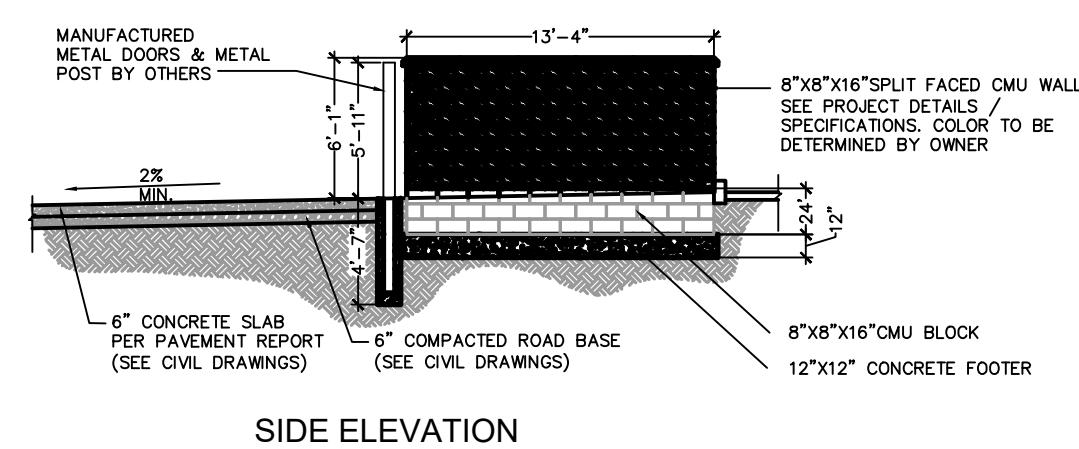
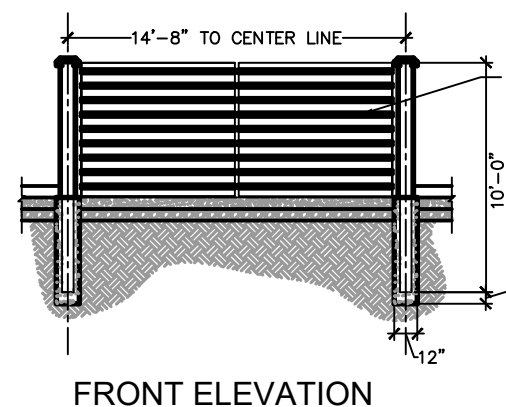
2

GENERAL NOTES:

1. EASEMENTS: THE PRELIMINARY EASEMENTS REQUIRED FOR PRIVATE UTILITIES ARE DEFINED IN VARIOUS LOCATION ON THE PRELIMINARY UTILITY PLAN. THE REQUIRED EASEMENT WIDTHS AND FINAL LOCATIONS WILL BE COORDINATED WITH THE UTILITY PROVIDERS AND WILL BE ESTABLISHED ON THE FINAL PLAT. BLANKET EASEMENTS ARE NOT PROPOSED.
2. FLOODPLAIN STATEMENT: THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FLOOD INSURANCE RATE MAP NO. 08041C0956G, EFFECTIVE DATE DECEMBER 7, 2018, INDICATES THIS PARCEL OF LAND TO BE LOCATED IN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN).
3. SOIL AND GEOLOGIC HAZARD NOTE: A GEOLOGICAL HAZZARD REPORT ENTITLED "SOIL, GEOLOGY, AND GEOLOGICAL HAZZARD THE COTTAGES AT MESA RIDGE PARCEL NO 5529100006" WAS PREPARED BY ENTECH ENGINEERING, INC. (LATEST REVISION DATE 12/22/21) WHICH IS AVAILABLE AT THE EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT (PSD FILE NO: PUDSP-21111). THE REPORT DID NOT IDENTIFY GEOLOGIC HAZZARDS THAT PRECLUDE DEVELOPMENT OF THE SITE FOR ITS INTENDED USE. THE CONDITIONS IDENTIFIED AT THE SITE THAT MAY POSE HAZZARDS OR CONSTRAINTS TO DEVELOPMENT INCLUDE:
 - ARTIFICIAL FILL
 - COLLAPSIBLE SOILS
 - EXPANSIVE SOILS
 - GROUNDWATER AND FLOODPLAIN AREAS
 - SHALLOW BEDROCK
 - POTENTIALLY SEASONAL SHALLOW GROUNDWATER
 - MITIGATION METHOD: SLAB-ON GRADE FOUNDATIONS

THE CONDITIONS LISTED ABOVE CAN TYPICALLY BY MITIGATED WITH ENGINEERING DESIGN AND CONSTRUCTION METHODS COMMONLY DEPLOYED IN THE AREA.

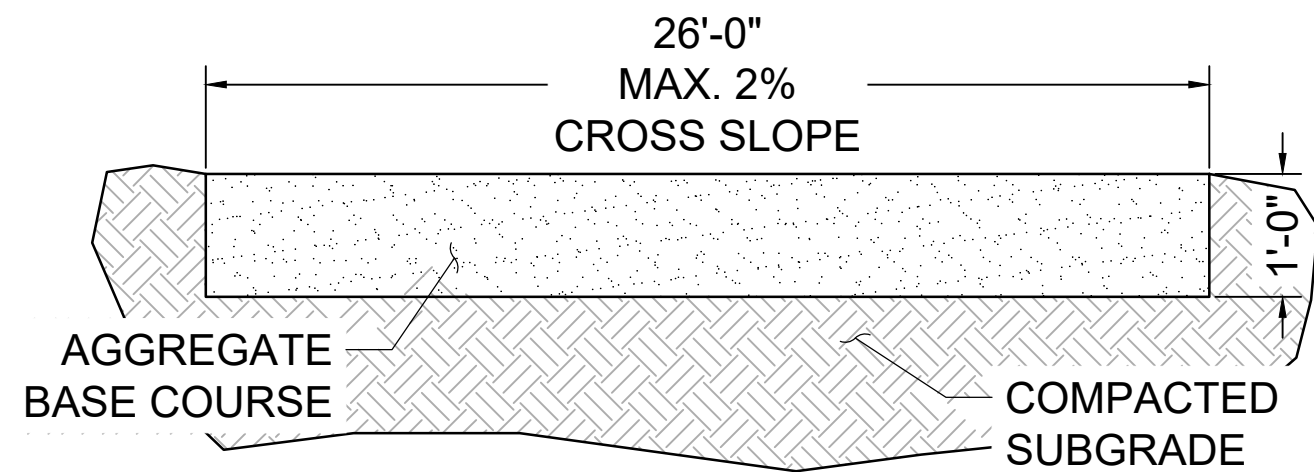
4. PRIVATE DRIVES: THE PRIVATE DRIVES AS SHOWN ON THIS PLAN WILL NOT BE MAINTAINED BY EL PASO COUNTY UNTIL AND UNLESS THE STREETS ARE CONSTRUCTED IN CONFORMANCE WITH EL PASO COUNTY STANDARDS IN EFFECT AT THE DATE OF THE REQUEST FOR DEDICATION AND MAINTENANCE.
5. ACCESS: THERE SHALL BE NO DIRECT ACCESS TO POWERS BOULEVARD. NO DRIVEWAY SHALL BE ESTABLISHED UNLESS AN ACCESS PERMIT HAS BEEN GRANTED BY EL PASO COUNTY.
6. MAILBOXES: MAILBOXES SHALL BE INSTALLED IN ACCORDANCE WITH EL PASO COUNTY AND UNITED STATES POSTAL SERVICE REGULATIONS.
7. REPORTS ON FILE: THE FOLLOWING REPORTS HAVE BEEN SUBMITTED IN ASSOCIATION WITH THE PRELIMINARY PLAN OR FINAL PLAT FOR THIS SUBDIVISION AND ARE ON FILE A THE COUNTY PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT: TRANSPORTATION IMPACT STUDY, DRAINAGE REPORT, WATER RESOURCES REPORT, WASTEWATER DISPOSAL REPORT; GEOLOGY AND SOILS REPORT; FIRE PROTECTION REPORT; WILDFIRE HAZARD REPORT; NATURAL FEATURES REPORT.
8. ENVIRONMENTAL: DEVELOPER SHALL COMPLY WITH FEDERAL AND STATE LAWS, REGULATIONS, ORDINANCES, REVIEW AND PERMIT REQUIREMENTS, AND OTHER AGENCY REQUIREMENTS, IF ANY, OF APPLICABLE AGENCIES INCLUDING, BUT NOT LIMITED TO, THE COLORADO DIVISION OF WILDLIFE, COLORADO DEPARTMENT OF TRANSPORTATION, U.S. ARMY CORPS OF ENGINEERS AND THE U.S. FISH AND WILDLIFE ACT, PARTICULARLY AS IT RELATES TO THE LISTED SPECIES (E.G. PREBLE'S MEADOW JUMPING MOUSE).
9. STORM WATER DRAINAGE: THE PROPERTY OWNER IS RESPONSIBLE FOR MAINTAINING PROPER STORM WATER DRAINAGE IN AND THROUGH THEIR PROPERTY. PUBLIC DRAINAGE EASEMENTS AS SPECIFICALLY NOTED ON THE PLAT SHALL BE MAINTAINED BY THE PROPERTY OWNER UNLESS OTHERWISE INDICATED. STRUCTURES, FENCES, MATERIALS OR LANDSCAPING THAT COULD IMPEDE THE FLOW OF RUNOFF SHALL NOT BE PLACED IN DRAINAGE EASEMENTS.
10. NO LARGE NESTS SUITABLE FOR RAPTORS OR EAGLES WERE IDENTIFIED. HOWEVER, THERE IS SUITABLE RAPTOR NESTING HABITAT WITHIN 0.5 MILES OF THE PROJECT AREA. IF CONSTRUCTION WILL OCCUR DURING THE NESTING SEASON, SURVEYS MUST BE CONDUCTED PRIOR TO THE INITIATION OF DISTURBANCE ACTIVITIES.
11. THIS PUD DEVELOPMENT IS A TWO--DWELLING ATTACHED MANUFACTURED HOME DEVELOPMENT THAT ENCOMPASSES UNITS THAT ARE TO BE RENTED AND HELD IN OWNERSHIP BY THE DEVELOPER. INDIVIDUAL UNIT/PAD SITES ARE NOT FOR SALE.
12. THE SUBDIVIDER/DEVELOPER HAS FAMILIARIZED ITSELF WITH CURRENT AMERICANS WITH DISABILITIES ACT (ADA) LAWS AND ACCESSIBILITY STANDARDS AND HAS LAID OUT THE PLAT AND ASSOCIATED GRADING AND CONSTRUCTION PLANS SO THAT ALL SITE ELEMENTS MEET THE APPLICABLE ADA DESIGN STANDARDS AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THE PLAT AND ASSOCIATED CONSTRUCTION DOCUMENTS BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS. IT IS THE RESPONSIBILITY OF THE DEVELOPER/HOME BUILDER TO ENSURE ADA ACCESSIBILITY DURING CONSTRUCTION OF THE PRIVATE SIDEWALKS.
13. THE SUBDIVIDER(S) AGGRESS ON BEHALF OF HIM/HERSELF AND ANY DEVELOPER OR BUILDER SUCCESSORS AND ASSIGNEES THAT SUBDIVIDER AND/OR SAID SUCCESSORS AND ASSIGNS SHALL BE REQUIRED TO PAY TRAFFIC IMPACT FEES IN ACCORDANCE WITH THE EL PASO COUNTY ROAD IMPACT FEE PROGRAM RESOLUTION (RESOLUTION NO. 19-474), OR ANY AMENDMENTS THERETO, AT OR PRIOR TO THE TIME OF BUILDING PERMIT SUBMITTALS. THE FEE OBLIGATION, IF NOT PAID AT FINAL PLAT RECORDING, SHALL BE DOCUMENTED ON ALL SALES DOCUMENTS AND ON PLAT NOTES TO ENSURE THAT A TITLE SEARCH WOULD FIND THE FEE OBLIGATION BEFORE SALE OF THE PROPERTY.
14. THE STANDARD ZONING REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE INCLUDING OFF--STREET PARKING, LANDSCAPING, SITE DEVELOPMENT, ACCESSORY AND TEMPORARY USES, BY SPECIAL REVIEW AND VARIANCE PROCESSES SHALL APPLY TO THIS PUD, EXCEPT AS MODIFIED BY THE PUD.



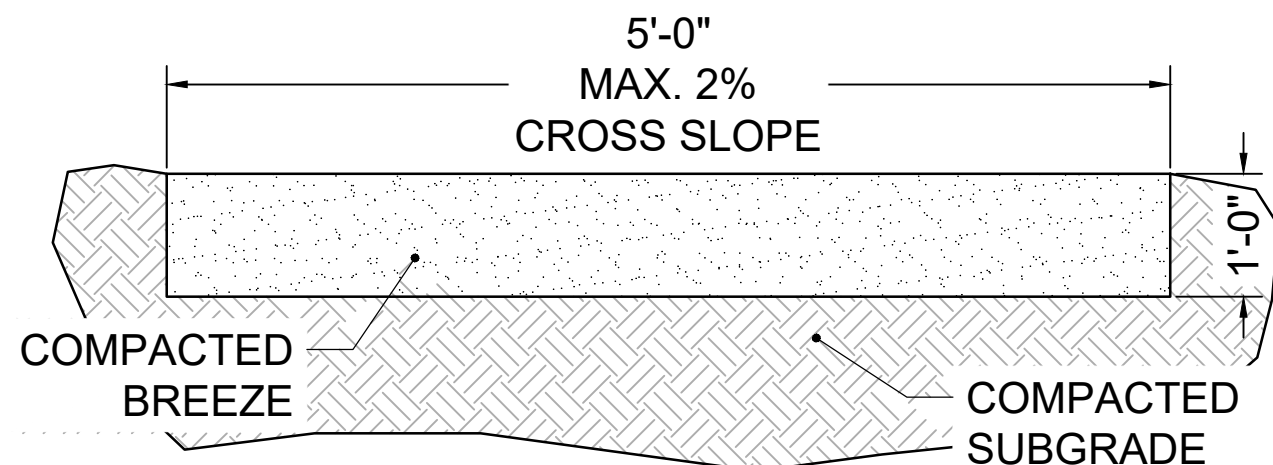
NOTES:

1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
2. RETAINING WALLS TO BE KEYSTONE HALF CENTURY WALL OR EQUAL, TAN IN COLOR.
3. WALLS THAT RETAIN MORE THAN 4 VERTICAL FEET SHALL REQUIRE A BUILDING PERMIT FROM THE PPRBD. ADDITIONAL WALL DETAILS TO BE PROVIDED WITH SITE DEVELOPMENT PLAN.

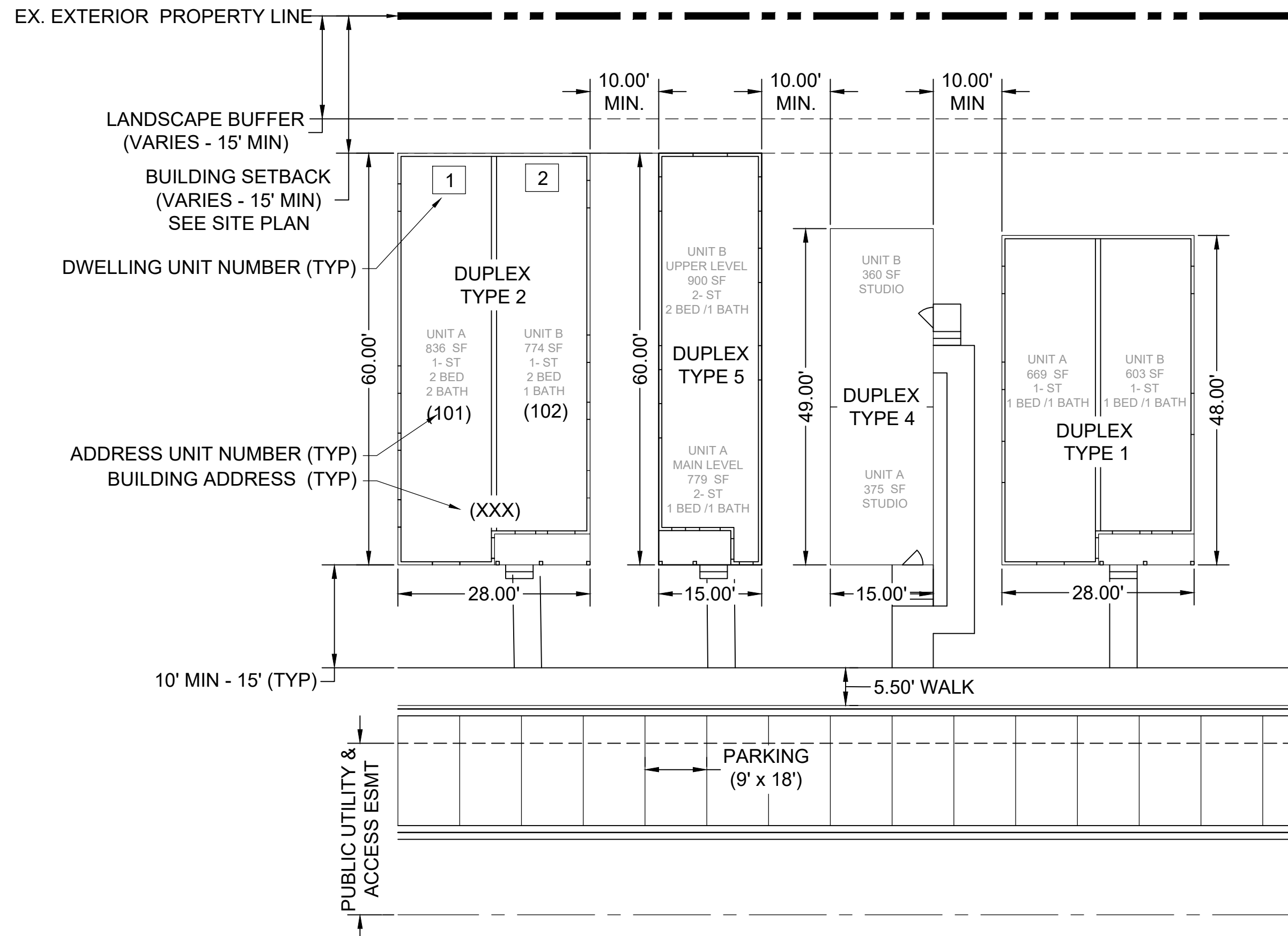
TYPICAL DETAIL - RETAINING WALL
SCALE: NTS



26' FIRE ACCESS ROAD TYPICAL SECTION
SCALE: NTS



5' COMPACTED BREEZE TRAIL
TYPICAL SECTION
SCALE: NTS



TYPICAL UNIT LAYOUT
SCALE: 1"=15'

GENERAL NOTES:

1. SEE SITE PLAN FOR UNIT NUMBERS AND ADDRESSES.
2. EACH UNIT TO BE CONSTRUCTED ON PERMANENT FOUNDATION.

PSD FILE NO:

DRAWN BY: CBM JOB DATE: 4/4/2022 BAR IS ONE INCH ON
APPROVED: KMH JOB NUMBER: 200541 OFFICIAL DRAWINGS.
0 XXXXXXXXXX 1"
CAD DATE: 4/4/2022 IF NOT ONE INCH,
CAD FILE: J:\2020\200541\CAD\DWGS\C\SDP\Cover ADJUST SCALE ACCORDINGLY.

NO.	DATE	BY	REVISION DESCRIPTION



HR GREEN - COLORADO SPRINGS
7222 COMMERCE CENTER DR SUITE 220
COLORADO SPRINGS CO 80919
PHONE: 719.300.4140 TOLL FREE: 800.728.7805
FAX: 844.273.1057 | HRGreen.com

THE COTTAGES AT MESA RIDGE
GOODWIN KNIGHT
EL PASO COUNTY, COLORADO



SITE DEVELOPMENT PLAN

TYPICAL SECTIONS

SHEET
TYP

3

THE COTTAGES AT MESA RIDGE SITE DEVELOPMENT PLAN

A PORTION OF THE NORTHEAST QUARTER OF SECTION 29, THE SOUTHEAST QUARTER OF SECTION 20, THE SOUTHWEST QUARTER OF SECTION 21, & THE NORTHWEST QUARTER OF SECTION 28 TOWNSHIP 15 SOUTH, RANGE 65 WEST OF THE 6TH P.M.
COUNTY OF EL PASO, STATE OF COLORADO

LEGEND

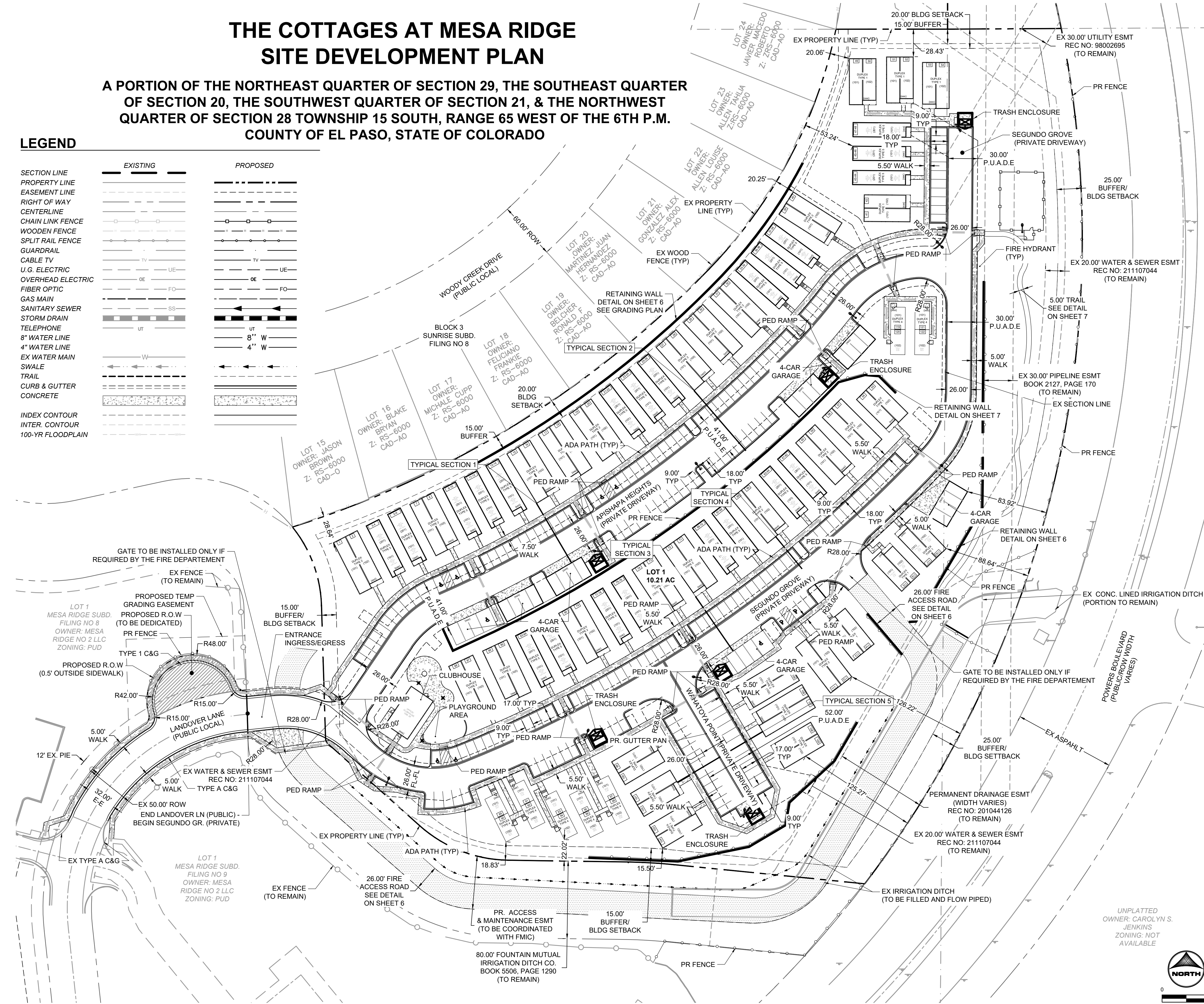
	EXISTING	PROPOSED
SECTION LINE		
PROPERTY LINE		
EASEMENT LINE		
RIGHT OF WAY		
CENTERLINE		
CHAIN LINK FENCE		
WOODEN FENCE		
SPLIT RAIL FENCE		
GUARDRAIL		
CABLE TV	TV	TV
U.G. ELECTRIC	UE	UE
OVERHEAD ELECTRIC	OE	OE
FIBER OPTIC	FO	FO
GAS MAIN		
SANITARY SEWER	SS	SS
STORM DRAIN		
TELEPHONE	UT	UT
8" WATER LINE		8" W
4" WATER LINE		4" W
EX WATER MAIN		
SWALE		
TRAIL		
CURB & GUTTER		
CONCRETE		
INDEX CONTOUR		
INTER. CONTOUR		
100-YR FLOODPLAIN		

SITE PLAN LEGEND

--- ADA ACCESS ROUTE

NATURAL FEATURES, HAZARD & CONSTRAINTS PLAN NOTES:

- NO GEOLOGICAL HAZARDS IDENTIFIED
- NO FLOODPLAIN
- THE TOPOGRAPHY IN THE STUDY AREA HAS BEEN ALTERED OVER TIME BY LAND USE, MOST NOTABLY BY CONSTRUCTION OF THE DITCH, ROADWAY, AND HOUSING DEVELOPMENTS. IN RECENT YEARS, STAGING AND STOCKPILING ASSOCIATED WITH CONSTRUCTION ACTIVITIES HAVE RESULTED IN SIGNIFICANT CHANGES.
- THE ONLY HYDROLOGIC FEATURE MAPPED IN THE STUDY AREA IS THE FOUNTAIN DITCH, WHICH IS A CONCRETE-LINED IRRIGATION STRUCTURE UNLIKELY TO HAVE JURISDICTIONAL STATUS UNDER THE CLEAN WATER ACT. DRAINAGE FEATURES FORMED BY SURFACE FLOWS AND A SMALL AREA SUPPORTING SOME HYDROPHYTIC PLANT SPECIES WERE OBSERVED, BUT NONE MET THE CRITERIA TO BE MAPPED AS WETLANDS OR WATER BODIES.
- SOILS WITHIN THE STUDY AREA ARE MAPPED AS NELSON-TASSEL FINE SANDY LOAMS, 3 TO 18 PERCENT SLOPES AND STONEHAM SANDY LOAM, 3 TO 8 PERCENT SLOPES (NRCS 2021B). LAND USE IN THE STUDY AREA HAS LIKELY ALTERED MANY OF THE CHARACTERISTICS OF THE TOPSOIL.
- THE VEGETATION WITHIN THE STUDY AREA REPRESENTS AN ALTERED STATE FROM THE REFERENCE CONDITION FOR THE LOCAL AREA. WHILE SOME NATIVE GRASSES AND FORBS OCCUR, MUCH OF THE STUDY AREA IS DOMINATED BY NATURALIZED GRASSES AND WEEDY FORBS.
- THE WILDFIRE RISK AND EXPECTED WILDFIRE INTENSITY IN THE STUDY AREA ARE MODERATE. THE SURFACE FUELS CONSIST OF GRASSES AND FEW SHRUBS. THE STUDY AREA HAS ACCESS FOR EMERGENCY VEHICLES AND THE ADJACENT ROADWAYS PROVIDE SIGNIFICANT FUEL BREAKS.



PSD FILE NO: _____

DRAWN BY: CBM	JOB DATE: 4/4/2022	BAR IS ONE INCH ON OFFICIAL DRAWINGS.
APPROVED: KMH	JOB NUMBER: 200541	0" 1"
CAD DATE: 4/4/2022		IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY.
CAD FILE: J:\2020\200541\CAD\DWG\Site_Plan		

NO.	DATE	BY	REVISION DESCRIPTION

HR GREEN - COLORADO SPRINGS
7222 COMMERCE CENTER DR SUITE 220
COLORADO SPRINGS CO 80919
PHONE: 719.300.4140 TOLL FREE: 800.728.7805
FAX: 844.273.1057 | HRGreen.com

THE COTTAGES AT MESA RIDGE
GOODWIN KNIGHT
EL PASO COUNTY, COLORADO



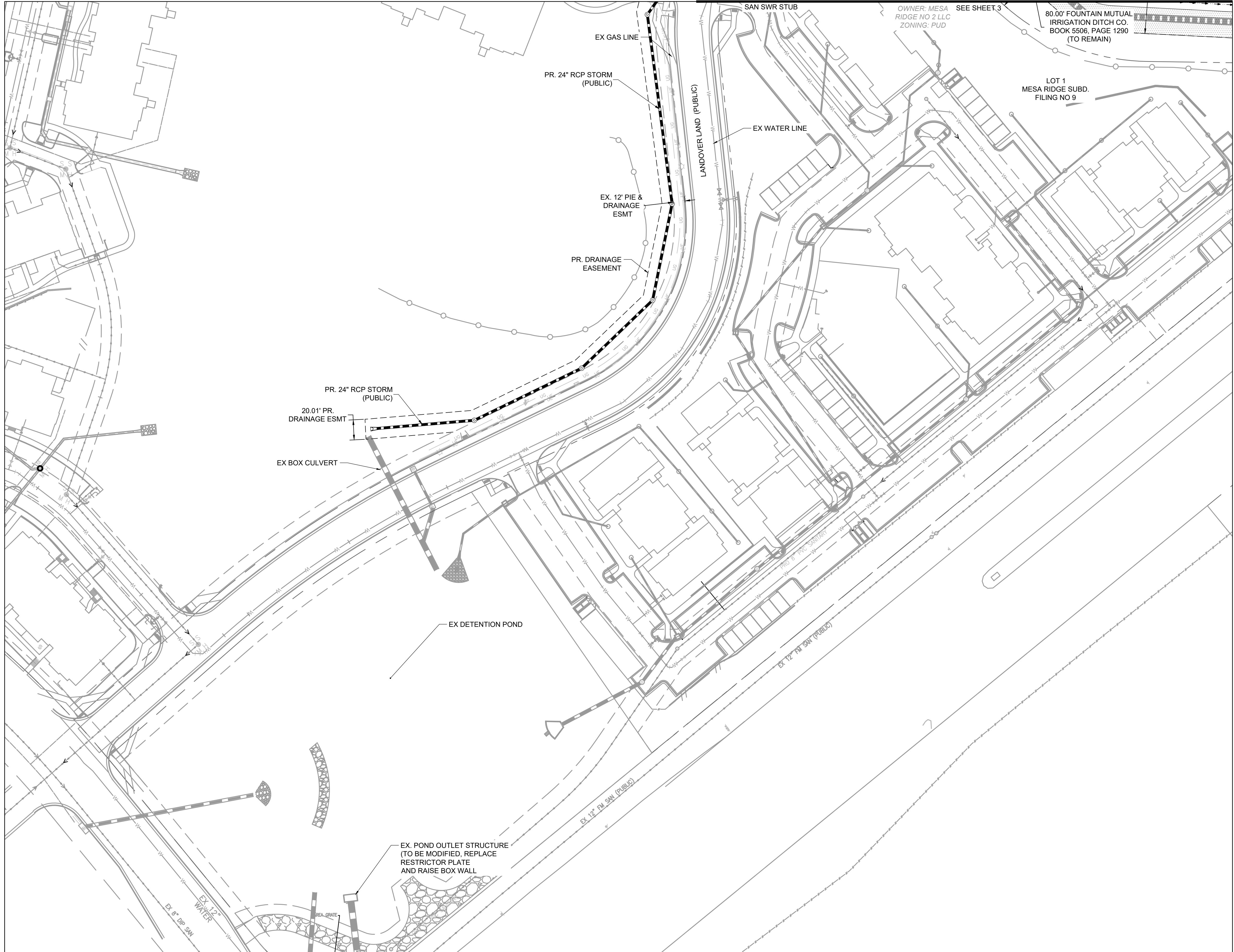
SITE DEVELOPMENT PLAN
SITE PLAN

SHEET
SP

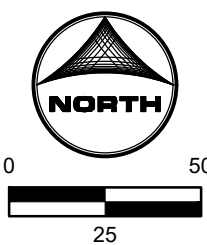
4

THE COTTAGES AT MESA RIDGE
SITE DEVELOPMENT PLAN

A PORTION OF THE NORTHEAST QUARTER OF SECTION 29, THE SOUTHEAST QUARTER
OF SECTION 20, THE SOUTHWEST QUARTER OF SECTION 21, & THE NORTHWEST
QUARTER OF SECTION 28 TOWNSHIP 15 SOUTH, RANGE 65 WEST OF THE 6TH P.M.
COUNTY OF EL PASO, STATE OF COLORADO



	EXISTING	PROPOSED
SECTION LINE	---	---
PROPERTY LINE	---	---
EASEMENT LINE	---	---
RIGHT OF WAY	---	---
CENTERLINE	---	---
CHAIN LINK FENCE	---	---
WOODEN FENCE	---	---
SPLIT RAIL FENCE	---	---
GUARDRAIL	---	---
CABLE TV	TV	TV
U.G. ELECTRIC	UE	UE
OVERHEAD ELECTRIC	OE	OE
FIBER OPTIC	FO	FO
GAS MAIN	---	---
SANITARY SEWER	SS	SS
STORM DRAIN	---	---
TELEPHONE	UT	UT
8" WATER LINE	---	8" W
4" WATER LINE	---	4" W
EX WATER MAIN	---	---
SWALE	---	---
TRAIL	---	---
CURB & GUTTER	---	---
CONCRETE	---	---
INDEX CONTOUR	---	---
INTER. CONTOUR	---	---
100-YR FLOODPLAIN	---	---



PSD FILE NO: _____

DRAWN BY: CBM	JOB DATE: 4/4/2022	BAR IS ONE INCH ON OFFICIAL DRAWINGS.
APPROVED: KMH	JOB NUMBER: 200541	0" 1"
CAD DATE: 4/4/2022		IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY.
CAD FILE: J:\2020\200541\CAD\DWG\SDP\Utility_Plan		

NO.	DATE	BY	REVISION DESCRIPTION

HR GREEN - COLORADO SPRINGS
7222 COMMERCE CENTER DR SUITE 220
COLORADO SPRINGS CO 80919
PHONE: 719.300.4140 TOLL FREE: 800.728.7805
FAX: 844.273.1057 | HRGreen.com

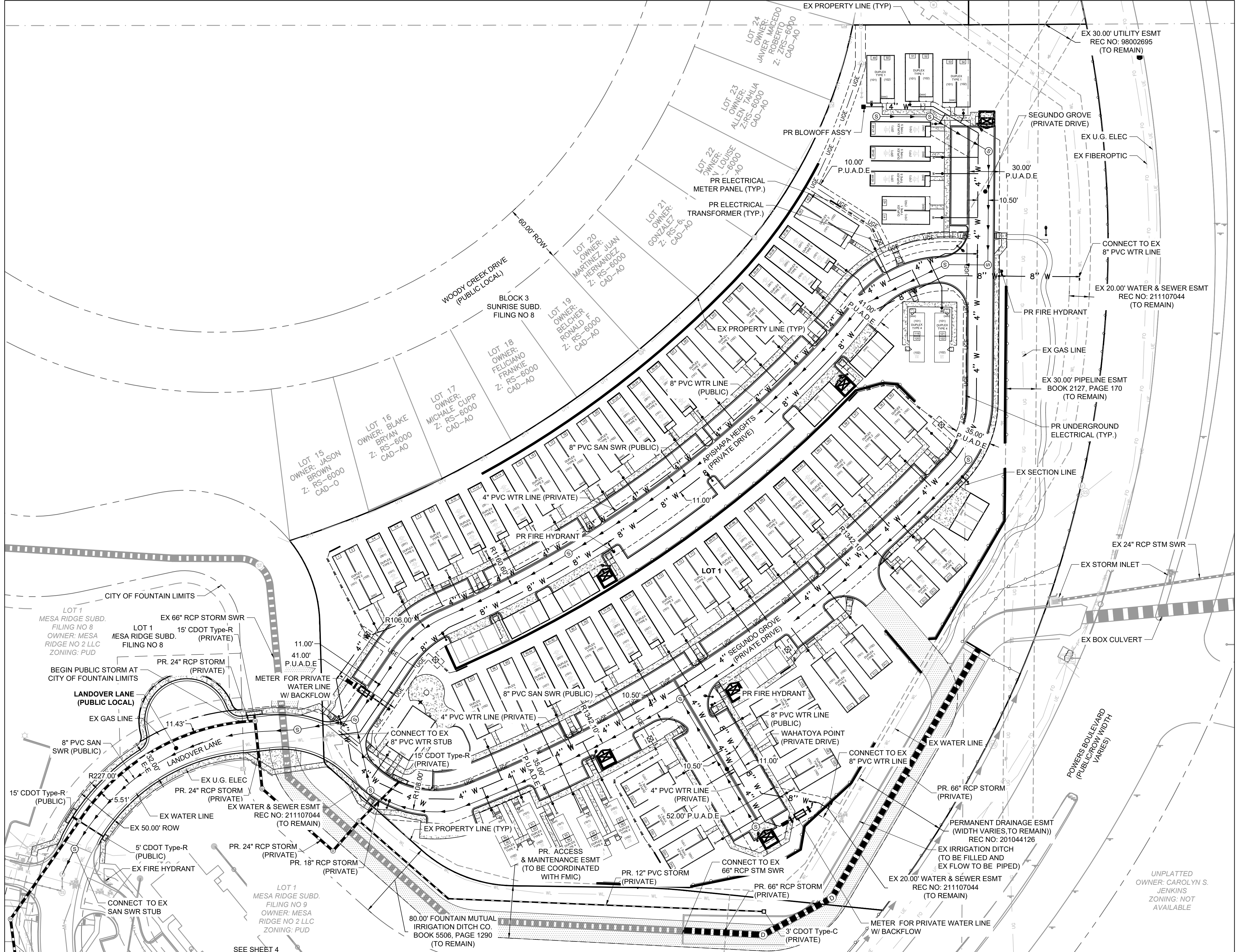
THE COTTAGES AT MESA RIDGE
GOODWIN KNIGHT
EL PASO COUNTY, COLORADO

SITE DEVELOPMENT PLAN
UTILITY PLAN

SHEET	5
UT	

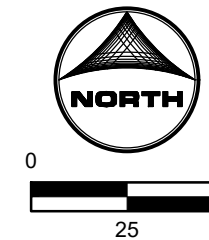
THE COTTAGES AT MESA RIDGE
SITE DEVELOPMENT PLAN

A PORTION OF THE NORTHEAST QUARTER OF SECTION 29, THE SOUTHEAST QUARTER
OF SECTION 20, THE SOUTHWEST QUARTER OF SECTION 21, & THE NORTHWEST
QUARTER OF SECTION 28 TOWNSHIP 15 SOUTH, RANGE 65 WEST OF THE 6TH P.M.
COUNTY OF EL PASO, STATE OF COLORADO



LEGEND

	EXISTING	PROPOSED
SECTION LINE	---	---
PROPERTY LINE	---	---
EASEMENT LINE	---	---
RIGHT OF WAY	---	---
CENTERLINE	---	---
CHAIN LINK FENCE	---	---
WOODEN FENCE	---	---
SPLIT RAIL FENCE	---	---
GUARDRAIL	---	---
CABLE TV	---	---
U.G. ELECTRIC	---	---
OVERHEAD ELECTRIC	---	---
FIBER OPTIC	---	---
GAS MAIN	---	---
SANITARY SEWER	---	---
STORM DRAIN	---	---
TELEPHONE	---	---
8" WATER LINE	---	---
4" WATER LINE	---	---
EX WATER MAIN	---	---
SWALE	---	---
TRAIL	---	---
CURB & GUTTER	---	---
CONCRETE	---	---
INDEX CONTOUR	---	---
INTER. CONTOUR	---	---
100-YR FLOODPLAIN	---	---



PSD FILE NO: _____

DRAWN BY: CBM	JOB DATE: 4/4/2022
APPROVED: KMH	JOB NUMBER: 200541
CAD DATE: 4/4/2022	
CAD FILE: J:\2020\200541\CAD\DWG\CD\SDP\Utility_Plan	

NO.	DATE	BY	REVISION DESCRIPTION

HR GREEN - COLORADO SPRINGS
7222 COMMERCE CENTER DR SUITE 220
COLORADO SPRINGS CO 80919
PHONE: 719.300.4140 TOLL FREE: 800.728.7805
FAX: 844.273.1057 | HRGreen.com

THE COTTAGES AT MESA RIDGE
GOODWIN KNIGHT
EL PASO COUNTY, COLORADO

SITE DEVELOPMENT PLAN
UTILITY PLAN

SHEET
UT

6