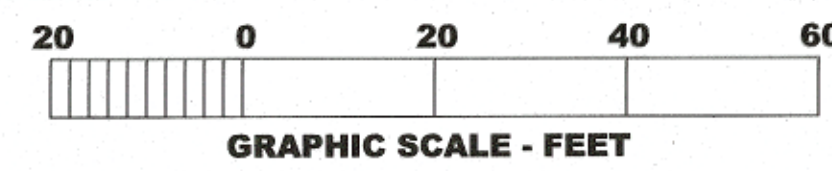
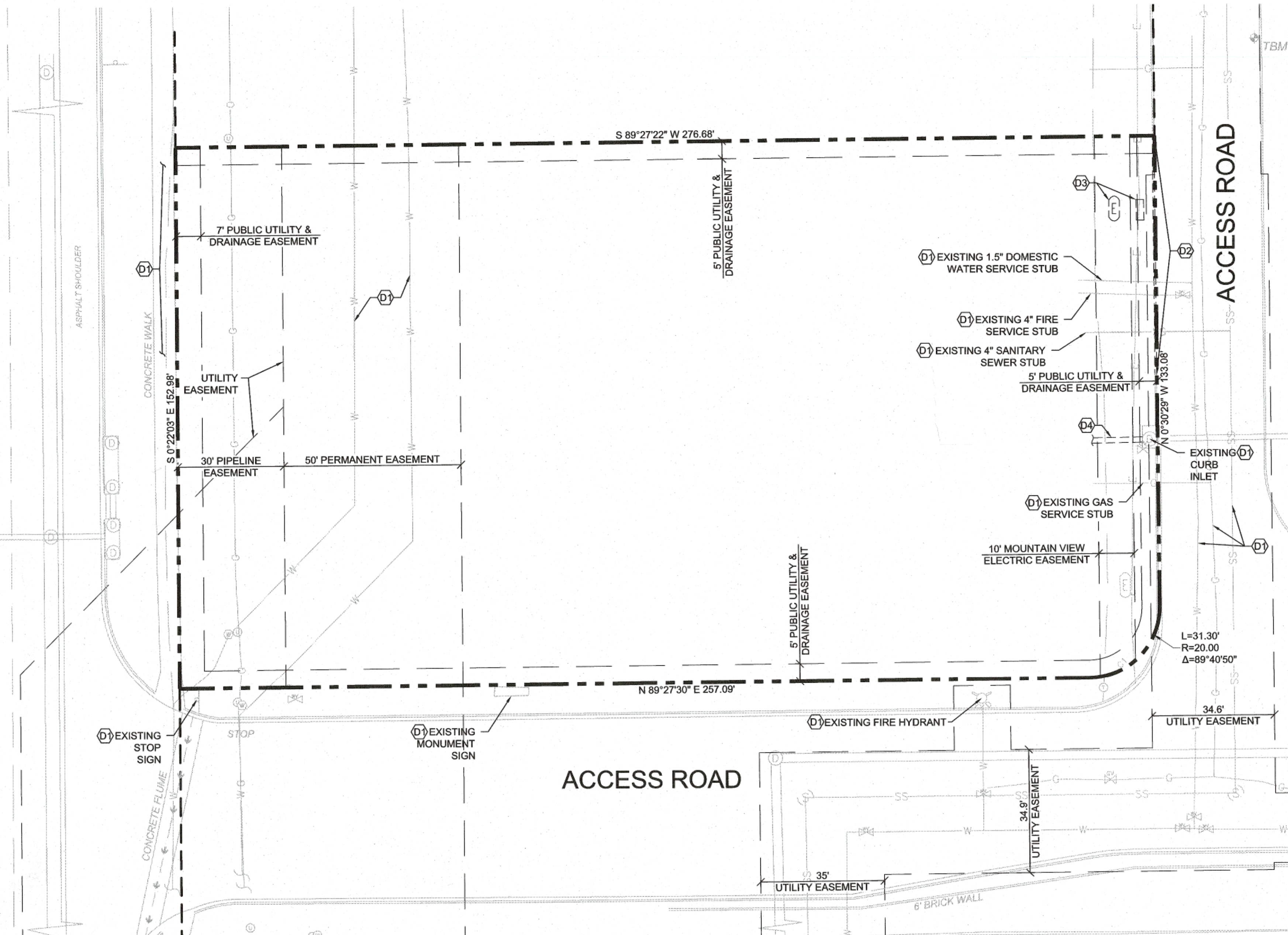


MARKSHEFFEL ROAD

**1 SITE DEMOLITION PLAN**

D1.1 SCALE: 1" = 20'-0"



**GENERAL NOTES**

- (A) REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.
- (B) SITE CONDITIONS BASED UPON SURVEY PROVIDED BY OWNER. FIELD VERIFY EXISTING CONDITIONS BY DETAILED INSPECTION PRIOR TO SUBMITTING BID AND BEGINNING CONSTRUCTION. NOTIFY ARCHITECT IF EXISTING CONDITIONS DEVIATE SUBSTANTIALLY FROM THOSE INDICATED HEREIN.
- (C) REMOVE ALL EXISTING SITE CONSTRUCTION AND DELETERIOUS MATERIALS UNLESS OTHERWISE NOTED.
- (D) EXISTING CONSTRUCTION TO REMAIN TO BE PROTECTED AS REQUIRED. REPLACE AND/OR REPAIR EXISTING CONSTRUCTION DAMAGED DUE TO CONTRACTOR ACTIVITIES.
- (E) ALL DEMOLITION MATERIALS SHALL BECOME PROPERTY OF CONTRACTOR FOR PROPER DISPOSAL UNLESS OTHERWISE NOTED.
- (F) EXISTING UNDERGROUND INSTALLATION SUCH AS WATER MAINS, GAS MAINS, SEWERS, TELEPHONE LINES, POWER LINES, AND BURIED STRUCTURES IN THE VICINITY OF THE WORK ARE INDICATED ON THE DRAWINGS ONLY TO THE EXTENT SUCH INFORMATION HAS BEEN MADE AVAILABLE. THERE IS NO GUARANTEE AS TO THE ACCURACY OR COMPLETENESS OF SUCH INFORMATION AND ALL RESPONSIBILITY FOR THE ACCURACY AND COMPLETENESS IS EXPRESSLY DISCLAIMED. GENERALLY SERVICE CONNECTIONS ARE NOT INDICATED ON THE DRAWINGS. CONTRACTOR SHALL BE RESPONSIBLE FOR DISCOVERY OF EXISTING UNDERGROUND INSTALLATIONS IN ADVANCE OF EXCAVATING OR TRENCHING BY CONTRACTING LOCAL UTILITIES.

**KEY NOTES**

- (D1) PROTECT EXISTING IMPROVEMENTS IN PLACE.
- (D2) EXISTING CURB AND GUTTER TO BE REMOVED. SAW CUT ASPHALT PAVEMENT 2' OFF FACE OF CURB.
- (D3) CONTRACTOR TO COORDINATE WITH UTILITY COMPANY FOR REMOVAL AND RELOCATION OF TRANSFORMER.
- (D4) EXISTING 18" RCP TO BE REMOVED

**ENVIRONMENTAL GENERAL NOTES**

- (A) AN ENVIRONMENTAL ANALYSIS HAS BEEN PERFORMED ON THE EXISTING SITE. REFER TO PROJECT MANUAL.
- (B) IF THIS PROJECT CONTAINS HAZARDOUS MATERIALS, CONTRACTOR TO PROVIDE WORK REQUIRED FOR PROPER REMOVAL, HANDLING, AND DISPOSAL PER ENVIRONMENTAL ANALYSIS RECOMMENDATIONS.

**SYMBOLS LEGEND**

NOTE: REFER TO SURVEY FOR EXISTING CONDITIONS SYMBOLS LEGEND.

- EXISTING CONDITIONS TO REMAIN.
- - - EXISTING CONDITIONS TO BE REMOVED.
- — — PROPERTY LINE
- · - · - ADJACENT PROPERTY LINE
- - - - EXISTING EASEMENT

**BASIS OF BEARING**

BEARINGS ARE BASED ON GRID CENTRAL FOR COLORADO COORDINATE SYSTEM, CENTRAL ZONE, NAD83. LATITUDE = 38°51'57.09193", LONGITUDE = 10°40'53.61704", CONVERGENCE ANGLE = 0°11'59".

The following note should be added to all site development plans or non-residential site plans, as applicable, prior to PCD approval:

"The parties responsible for this plan have familiarized themselves with all current accessibility criteria and specifications and the proposed plan reflects all site elements required by the applicable ADA design standards and guidelines as published by the United States Department of Justice. Approval of this plan by El Paso County does not assure compliance with the ADA or any regulations or guidelines enacted or promulgated under or with respect to such laws."

Also required is an additional page illustrating the ADA route.

**CAUTION:** INFORMATION ON THIS DRAWING CONCERNING TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO THE TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO.



**Know what's below  
Call before you dig.**

PREPARED UNDER THE SUPERVISION OF TAIT & ASSOCIATES, INC.

6163 East County Road 16  
Loveland, CO 80537  
p: 970/613/1447 f: 970/613/1897  
www.tait.com

**TAIT**  
Since 1954

Los Angeles Boise Sacramento  
Denver Fort Collins Colorado Springs

ALEX HOIVE, PE 41703

**CRAIG A. SCHNEIDER, AIA**  
ARCHITECT

1736 East Sunshine, Suite 417  
Springfield, Missouri 65804  
417.862.8558  
417.862.3265  
e-mail: architect@estheticsnet.net

PROJECT:  
**NEW O'REILLY AUTO PARTS STORE**  
**N. MARKSHEFFEL ROAD**  
**COLORADO SPRINGS, CO #11**  
**SITE DEMOLITION PLAN**

**O'Reilly AUTO PARTS**

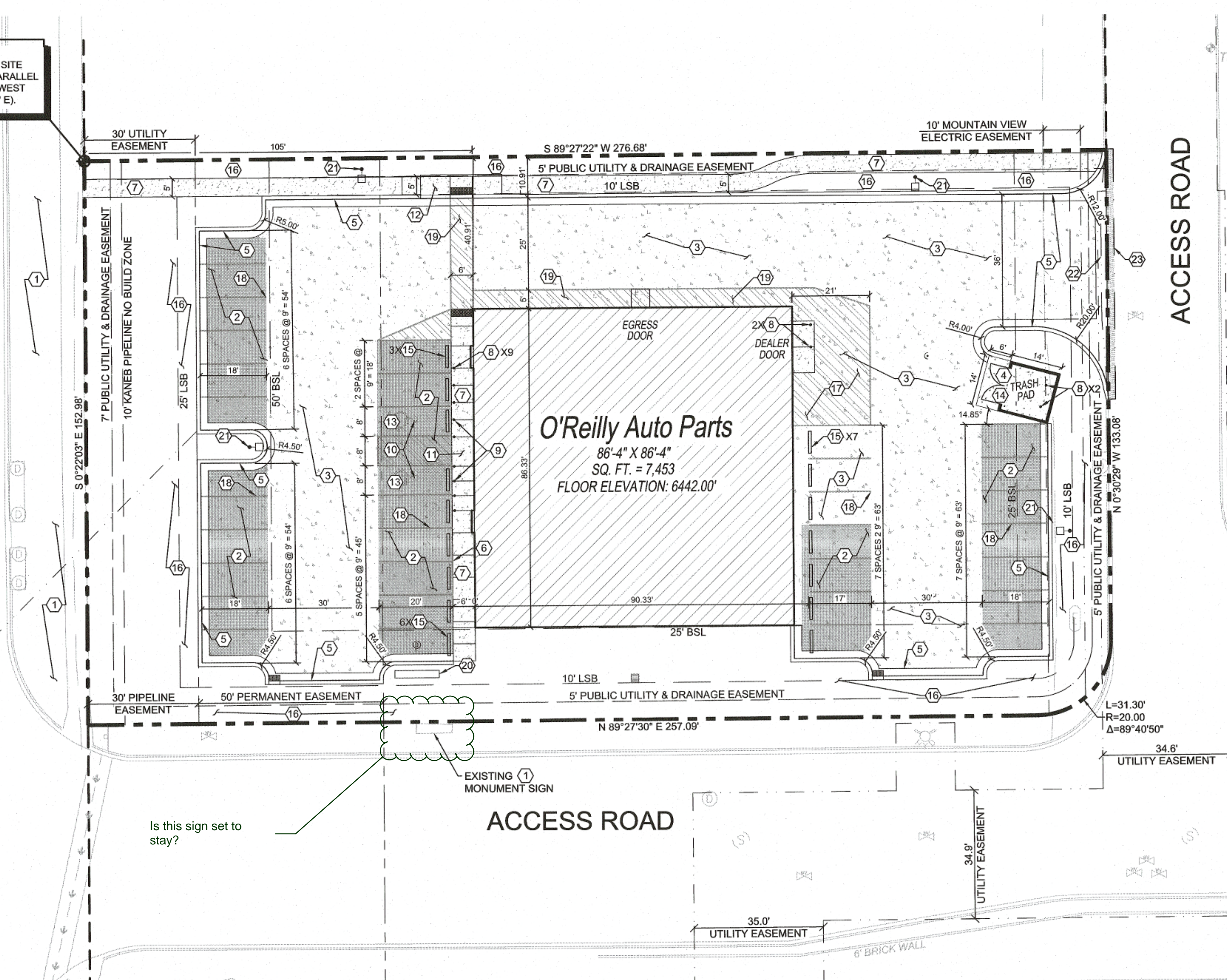
CORPORATE OFFICES  
233 SOUTH PATTERSON  
SPRINGFIELD, MISSOURI 65802  
(417) 862-2674 TELEPHONE

COMM #	4369
DATE:	10-11-19
REVISION DATE:	

D1.1

**SPECIAL NOTE:**  
POINT OF BEGINNING FOR SITE DEVELOPMENT LAYOUT PARALLEL AND PERPENDICULAR TO WEST PROPERTY LINE (S 0°22'03" E).

MARKSHEFFEL ROAD



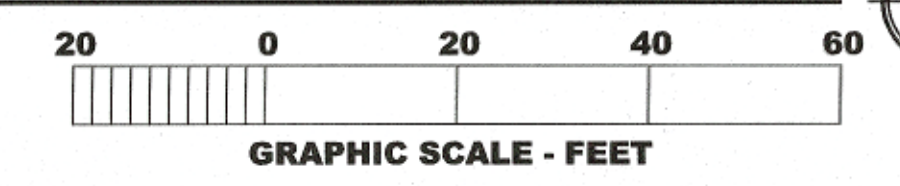
ACCESS ROAD

ACCESS ROAD

**1 SITE DEVELOPMENT PLAN**

C2.1 SCALE: 1" = 20'-0"

Bicycle Facilities required, see section 6.2.5.F



**KEY NOTES**

- 1 PROTECT EXISTING IMPROVEMENTS IN PLACE.
- 2 CONCRETE PAVING (LIGHT DUTY) AT PARKING AREAS AS SHOWN HEREON, REFER TO DETAIL 1/C2.2.
- 3 CONCRETE PAVING (MEDIUM DUTY) AT DRIVE AREAS, DRIVE APRONS, PARKING AREAS, AND FIRE LANES AS SHOWN HEREON, REFER TO DETAIL 2/C2.2.
- 4 CONCRETE PAVING (TRASH PAD) AT REFUSE AREA, REFER TO DETAIL 3/C2.2.
- 5 CONCRETE CURB, REFER TO DETAIL 4/C2.2.
- 6 CONCRETE SIDEWALK CURB, REFER TO DETAIL 5/C2.2. REFER TO SHEET C1.1 FOR ELEVATIONS.
- 7 CONCRETE SIDEWALK, REFER TO DETAIL 6/C2.2. REFER TO STRUCTURAL DRAWINGS FOR LAYOUT OF CONTROL AND EXPANSION JOINTS ADJACENT TO BUILDING PERIMETER.
- 8 STEEL BOLLARD, REFER TO DETAIL 7/C2.2. PROVIDE (2) AT REFUSE CONTAINER AREA, (2) AT SECTIONAL OVERHEAD FREIGHT DOOR, AND (9) AT FRONT ENTRY. REFER TO STRUCTURAL DRAWINGS FOR LAYOUT OF BOLLARDS ADJACENT TO BUILDING PERIMETER.
- 9 HANDICAP PARKING SIGN, REFER TO DETAIL 11/C2.2.
- 10 ACCESSIBLE PARKING SYMBOL PAVEMENT STRIPING, REFER TO DETAIL 8/C2.2.
- 11 ACCESSIBLE AISLE TRANSITION, REFER TO DETAIL 9/C2.2.
- 12 ACCESSIBLE CONCRETE CURB RAMP, REFER TO DETAIL 10/C2.2.
- 13 ACCESSIBLE PARKING SPACE WITH ACCESS AISLE (ADA COMPLIANT) NOT TO EXCEED 2% SLOPE MAXIMUM IN ANY DIRECTION. PROVIDE PAVEMENT MARKINGS TO MATCH STRIPING COLOR UNLESS OTHERWISE REQUIRED TO COMPLY WITH GOVERNING ACCESSIBILITY REGULATIONS.
- 14 TRASH ENCLOSURE, REFER TO DETAILS ON SHEET C2.3.
- 15 CONCRETE BUMPER BLOCK (8" W X 5" H X 6'-0" LONG) ANCHORED TO PAVING WITH (2) 1'-6" LONG #4 REBAR.
- 16 LANDSCAPING. SEE LANDSCAPING PLANS FOR ADDITIONAL INFORMATION.
- 17 STRIPED LOADING ZONE PROVIDE 4" STRIPING AS SHOWN. USE HIGHWAY MARKING PAINT - YELLOW (2 COATS).
- 18 4" WIDE PAVEMENT STRIPING AS SHOWN USING HIGHWAY MARKING PAINT - YELLOW (2 COATS).
- 19 STRIPED PEDESTRIAN PATH PROVIDE 4" STRIPING AS SHOWN. USE HIGHWAY MARKING PAINT - YELLOW (2 COATS).
- 20 SITE SIGN, REFER TO SHEET SG.1 FOR TYPE, CONSTRUCTION AND LOCATION. SIGN OWNER FURNISHED AND INSTALLED (REFER TO SCOPE OF WORK SCHEDULE). REFER TO UTILITIES SITE PLAN FOR ADDITIONAL REQUIREMENTS.
- 21 PARKING LOT LIGHTING, REFER TO UTILITIES SITE PLAN FOR TYPE AND CONSTRUCTION.
- 22 3" CROSS PAN PER EL PASO COUNTY DOT STANDARD DRAWING SD\_2-26, REFER TO SHEET C1.1 FOR ELEVATIONS.
- 23 SAWCUT 2' OFF EDGE OF CONCRETE.

**GENERAL NOTES**

- A REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS. ALL ON SITE CONCRETE TO BE 4,000 PSI.
- B SITE DIMENSIONS TO FACE OF CONCRETE FOUNDATION, SIDEWALK, CURB GUTTER LINE, PROPERTY LINE, OR CENTER LINE OF STRIPING UNLESS OTHERWISE NOTED.
- C COORDINATE WORK WITH OTHER SITE RELATED DEVELOPMENT DRAWINGS.
- D REFER TO STRUCTURAL DRAWINGS FOR BUILDING DIMENSIONS AND LAYOUT OF SIDEWALKS ADJACENT TO BUILDING PERIMETER.
- E PRIOR TO INSTALLATION, CONTRACTOR TO VERIFY LOCATIONS OF LIGHT POLES, LANDSCAPING, AND UTILITIES DO NOT CONFLICT WITH SITE SIGN LOCATION SHOWN. IF CONFLICT IS DISCOVERED, CONTRACTOR TO NOTIFY OWNER'S REPRESENTATIVE PRIOR TO PROCEEDING WITH THE WORK.

**ZONING CODE**

ZONING CLASSIFICATION:	COMMERCIAL REGIONAL
PROPERTY AREA:	21,678 SQ. FT.
PAVEMENT AREA:	18,888 SQ. FT.
<b>PARKING SUMMARY</b>	
PARKING FORMULA:	1 SP. PER 250 SQ. FT. GFA
SPACE SIZE:	9' x 18'
SPACES REQUIRED:	30
SPACES PROVIDED (PROPOSED):	35
H.C. SPACES PROVIDED:	2

**SYMBOLS LEGEND**

NOTE: REFER TO SURVEY FOR EXISTING CONDITIONS SYMBOLS LEGEND.

	NEW BUILDING CONSTRUCTION
	HEAVY DUTY CONCRETE
	STANDARD DUTY CONCRETE
	NEW MONUMENT SIGN LOCATION
	NEW CONCRETE PAVING BLOCK
	NEW LIGHT POLE LOCATION
	PROPERTY LINE
	ADJACENT PROPERTY LINE

**BASIS OF BEARING**

BEARINGS ARE BASED ON GRID CENTRAL FOR COLORADO COORDINATE SYSTEM, CENTRAL ZONE, NAD83. LATITUDE = 38°51'57.09193", LONGITUDE = 10°40'53.61704", CONVERGENCE ANGLE = 0°11'59".

PREPARED UNDER THE SUPERVISION OF TAIT & ASSOCIATES, INC.

6163 East County Road 16  
Loveland, CO 80537  
P: 970.613.1447 F: 970.613.1897  
www.tait.com

**TAIT**  
Since 1944

Los Angeles, Boise, Sacramento, Denver, Dallas, Rancho Cucamonga

ALEX HOWE, PE 41703

**CRAIG A. SCHNEIDER, AIA**  
ARCHITECT

1736 East Sunshine, Suite 417  
Springfield, Missouri 65804  
e-mail: architect@easttyschneider.com  
417.862.0558  
FAX: 417.862.9265

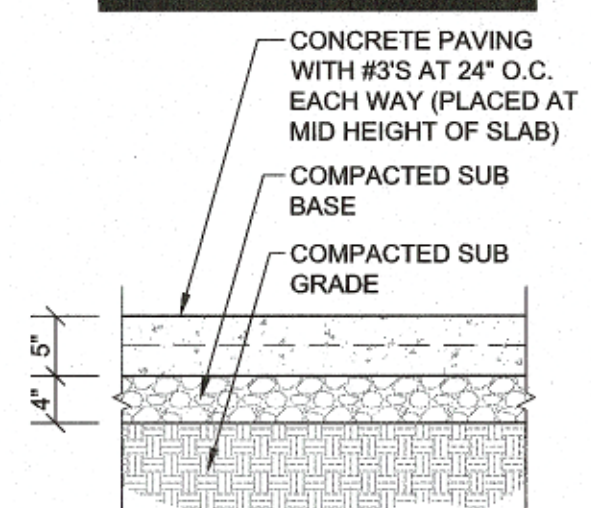
PROJECT:  
**NEW O'REILLY AUTO PARTS STORE**  
N. MARKSHEFFEL ROAD  
COLORADO SPRINGS, CO #11  
**SITE DEVELOPMENT PLAN**

**O'Reilly AUTO PARTS**  
CORPORATE OFFICES  
233 SOUTH PATTERSON  
SPRINGFIELD, MISSOURI 65802  
(417) 862-2674 TELEPHONE

COMM #	4369
DATE:	10-11-19
REVISION	
DATE:	

**811**  
Know what's below  
Call before you dig.

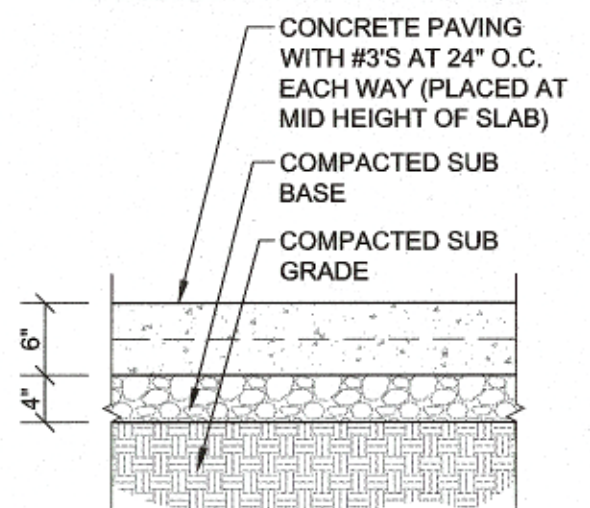
PROVIDE CONTROL JOINTS AT 12'-0" O.C. (25% SLAB THICKNESS)



\*\*PAVEMENT DESIGN IS BASED ON GEOTECHNICAL REPORT FROM TERRACON PROVIDED BY THE OWNER DATED 09/20/2019. CONTRACTOR IS RESPONSIBLE TO FULLY READ AND FOLLOW THE RECOMMENDATIONS OF THE PROJECT GEOTECHNICAL REPORT.

**1 CONCRETE (LIGHT DUTY) PAVING SECTION**  
C2.2 SCALE: 3/4" = 1'-0"

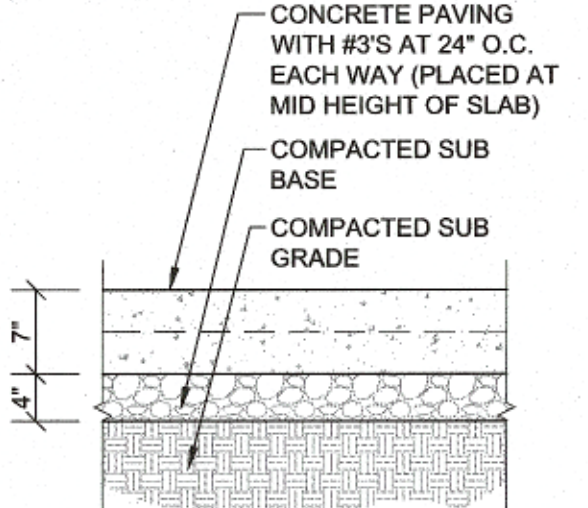
PROVIDE CONTROL JOINTS AT 12'-0" O.C. (25% SLAB THICKNESS)



\*\*PAVEMENT DESIGN IS BASED ON GEOTECHNICAL REPORT FROM TERRACON PROVIDED BY THE OWNER DATED 09/20/2019. CONTRACTOR IS RESPONSIBLE TO FULLY READ AND FOLLOW THE RECOMMENDATIONS OF THE PROJECT GEOTECHNICAL REPORT.

**2 CONCRETE (MEDIUM DUTY) PAVING SECTION**  
C2.2 SCALE: 3/4" = 1'-0"

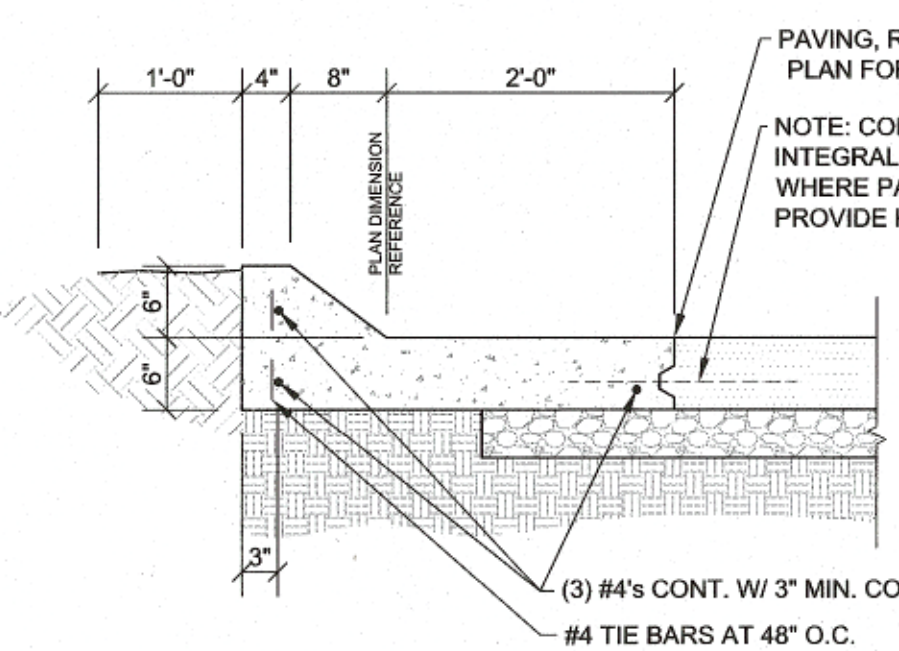
PROVIDE CONTROL JOINTS AT 12'-0" O.C. (25% SLAB THICKNESS)



\*\*PAVEMENT DESIGN IS BASED ON GEOTECHNICAL REPORT FROM TERRACON PROVIDED BY THE OWNER DATED 09/20/2019. CONTRACTOR IS RESPONSIBLE TO FULLY READ AND FOLLOW THE RECOMMENDATIONS OF THE PROJECT GEOTECHNICAL REPORT.

**3 CONCRETE (HEAVY DUTY) PAVING SECTION**  
C2.2 SCALE: 3/4" = 1'-0"

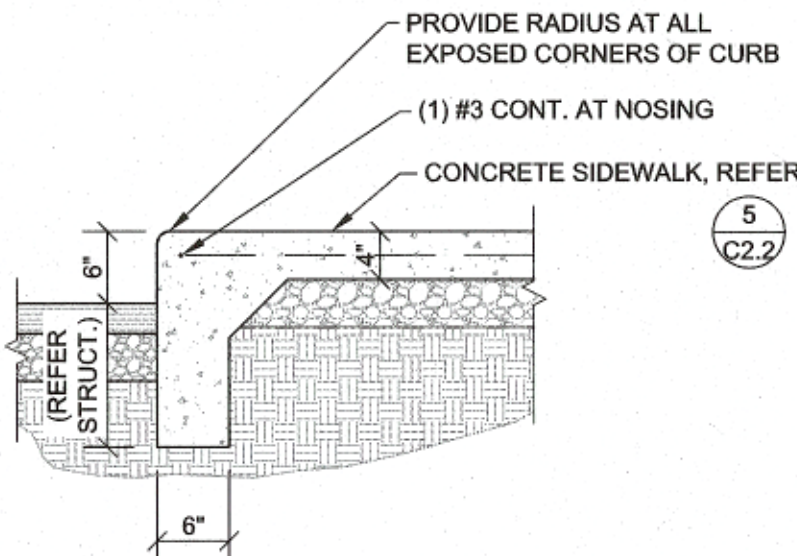
PROVIDE CONTROL JOINTS AT 10'-0" O.C. (25% SLAB THICKNESS)



PAVING, REFER TO SITE DEVELOPMENT PLAN FOR LOCATION AND TYPE.  
NOTE: CONTRACTOR'S OPTION TO POUR INTEGRAL (MONOLITHIC) CURB AND PAVING. WHERE PAVING POURED SEPARATE, PROVIDE KEY-WAY OR #4 X 1'-0" DOWELS AT 48" O.C.

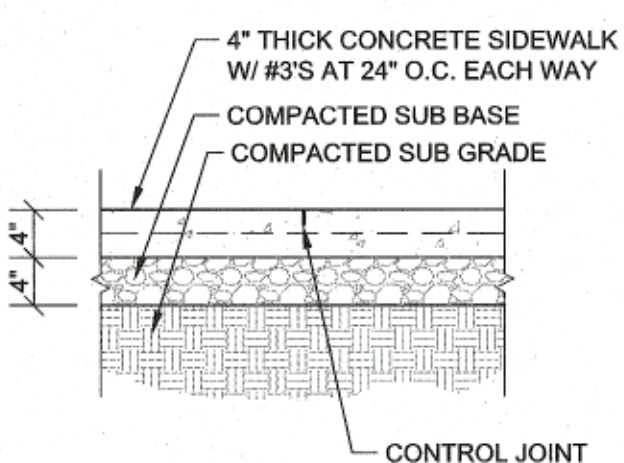
**4 CONCRETE CURB SECTION**  
C2.2 SCALE: 3/4" = 1'-0"

NOTE: REFER TO SITE GRADING PLAN FOR ELEVATIONS OF PAVEMENT ADJACENT TO SIDEWALKS.

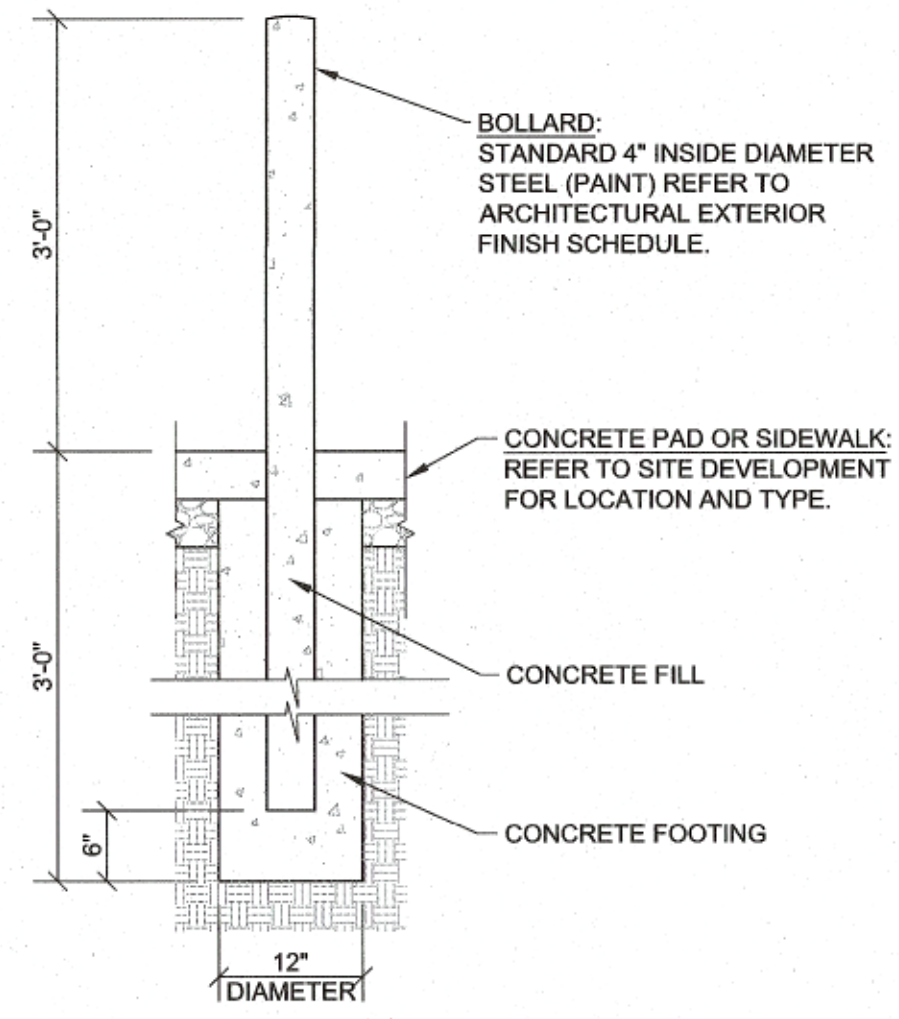


**5 CONCRETE SIDEWALK CURB SECTION**  
C2.2 SCALE: 3/4" = 1'-0"

PROVIDE TOOLED CONTROL JOINTS AT 8' O.C. (25% SLAB THICKNESS) AND ISOLATION JOINTS AT 24' O.C., UNLESS OTHERWISE NOTED.

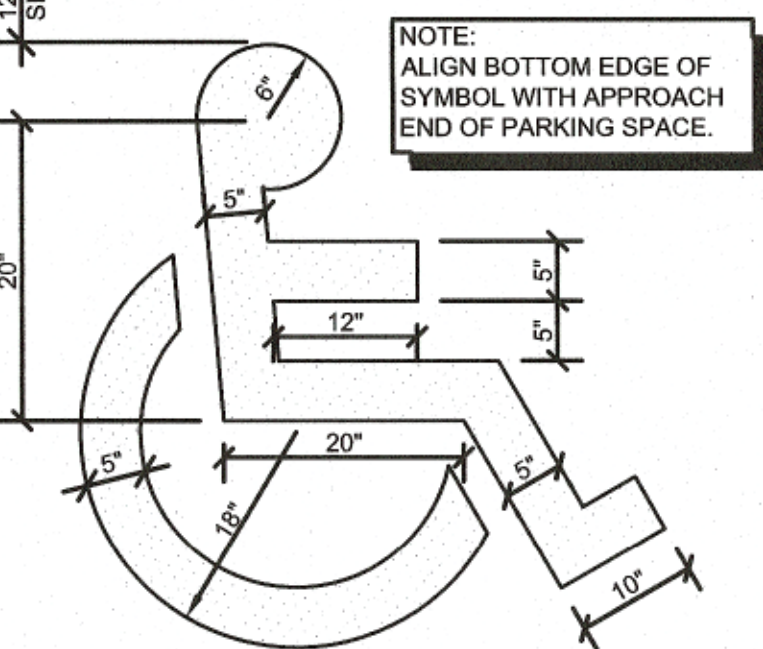


**6 CONCRETE SIDEWALK SECTION**  
C2.2 SCALE: 3/4" = 1'-0"

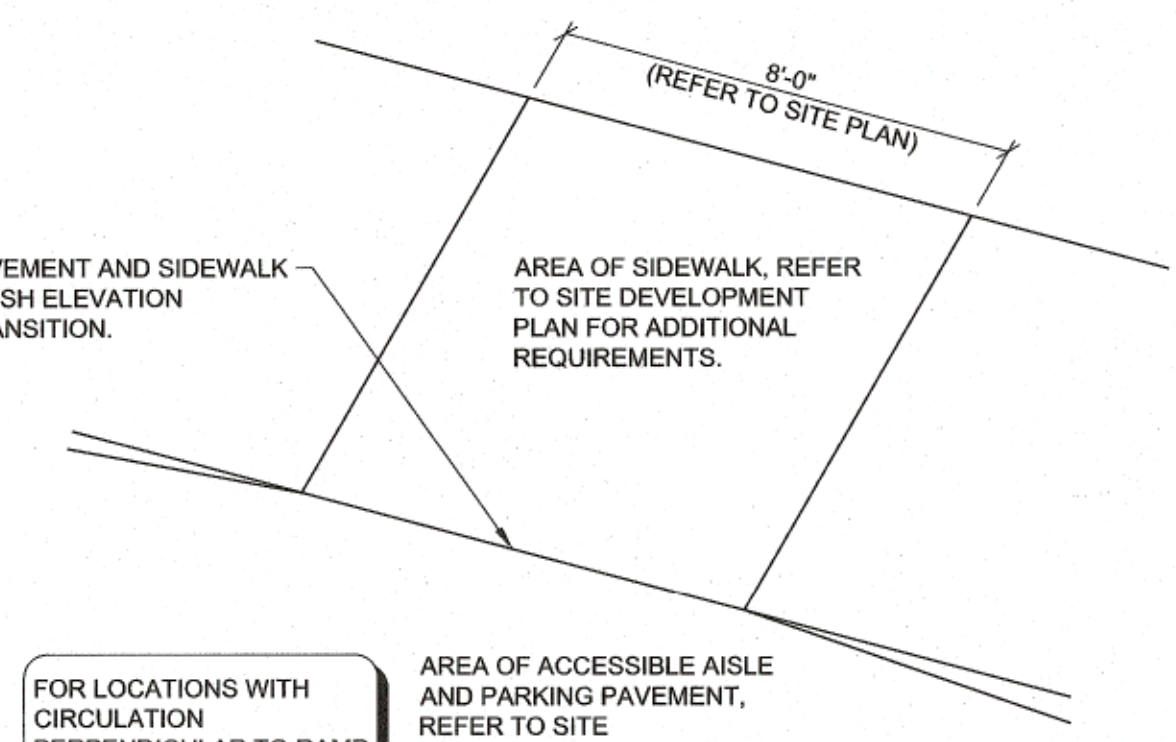


**7 STEEL BOLLARD SECTION**  
C2.2 SCALE: 3/4" = 1'-0"

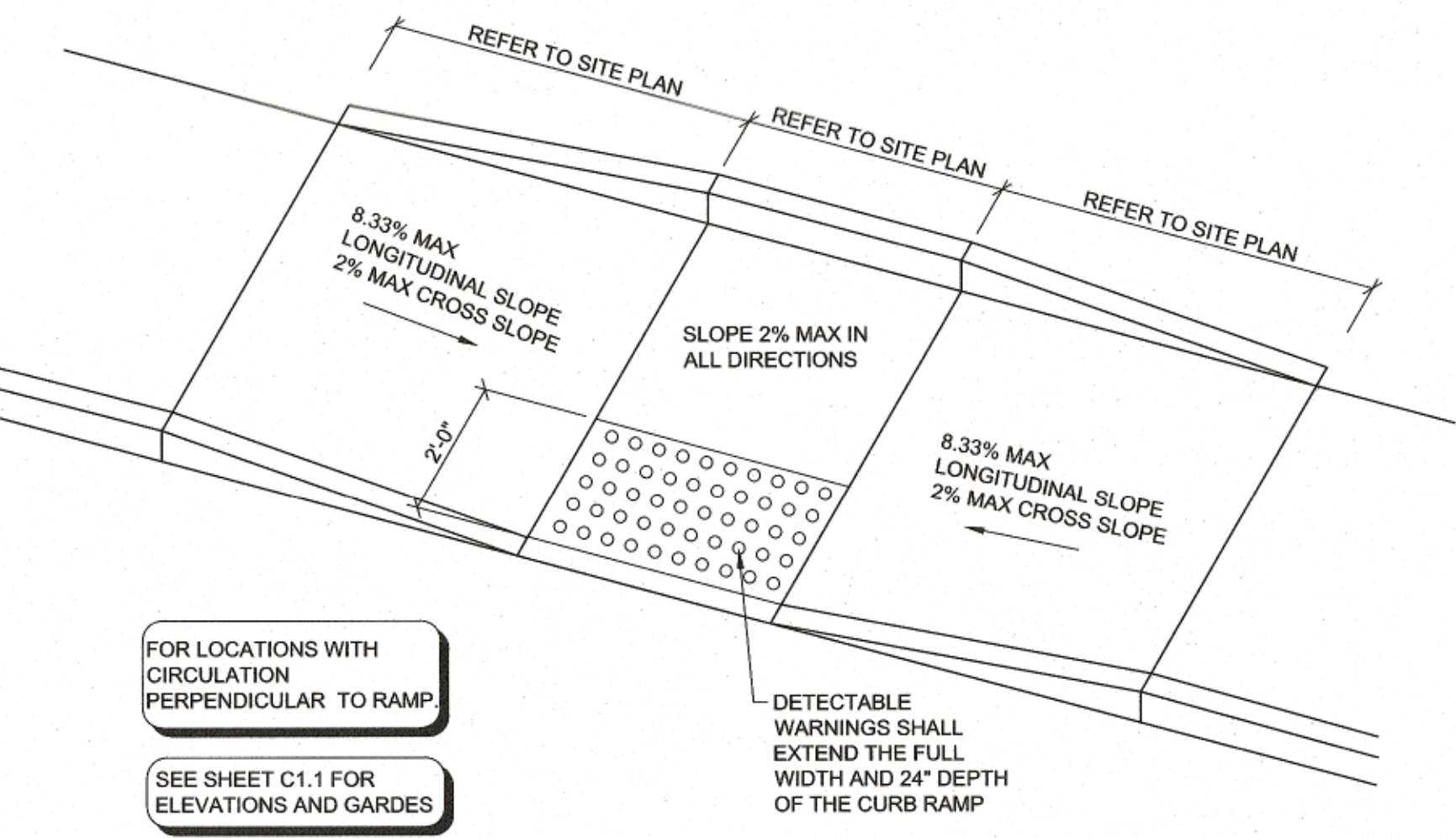
NOTE: SYMBOL TO BE PAINTED (HIGHWAY GRADE) OR DECAL ADHERED TO PAVEMENT. COLOR TO MATCH STRIPING UNLESS OTHERWISE REQUIRED BY LOCAL ACCESSIBILITY STANDARDS.



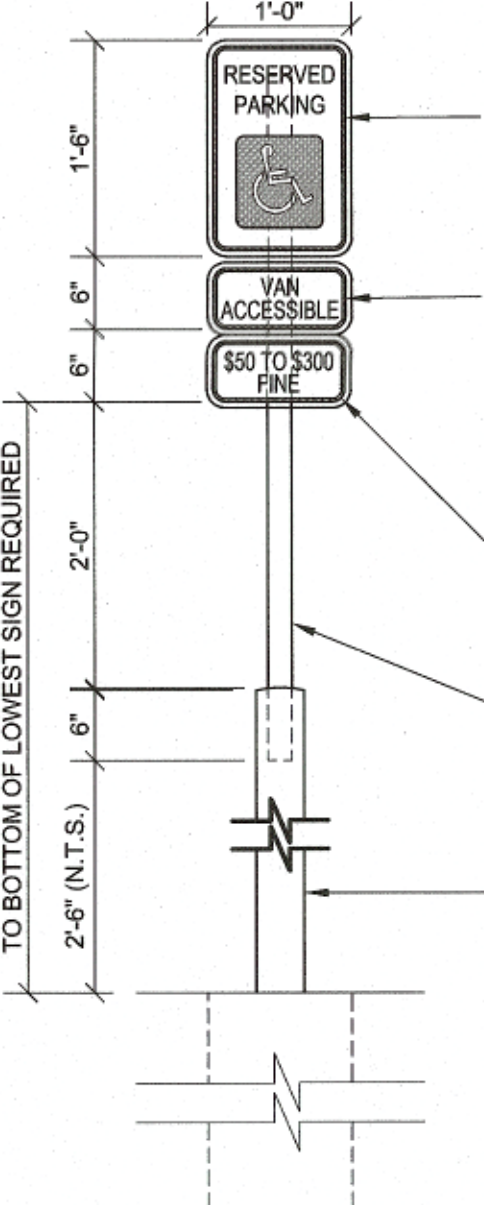
**8 ACCESSIBLE PARKING PAVEMENT STRIPING DETAIL**  
C2.2 SCALE: 3/4" = 1'-0"



**9 ACCESSIBLE AISLE TRANSITION DETAIL**  
C2.2 SCALE: (NOT TO SCALE)



**10 CONCRETE SIDEWALK CURB RAMP DETAIL**  
C2.2 SCALE: (NOT TO SCALE)



**11 HANDICAP PARKING SIGN DETAIL**  
C2.2 SCALE: 3/4" = 1'-0"

**GENERAL NOTES**

- (A) REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.
- (B) DIMENSIONS ARE TO ROUGH FACE OF CONCRETE, FRAMING, OR CENTER LINE OF STRUCTURE UNLESS OTHERWISE INDICATED.
- (C) REFER TO CIVIL DRAWINGS FOR ADDITIONAL REQUIREMENTS.
- (D) REFER TO ARCHITECTURAL EXTERIOR FINISH SCHEDULE FOR ADDITIONAL MATERIAL TYPES, COLORS, AND FINISHES.



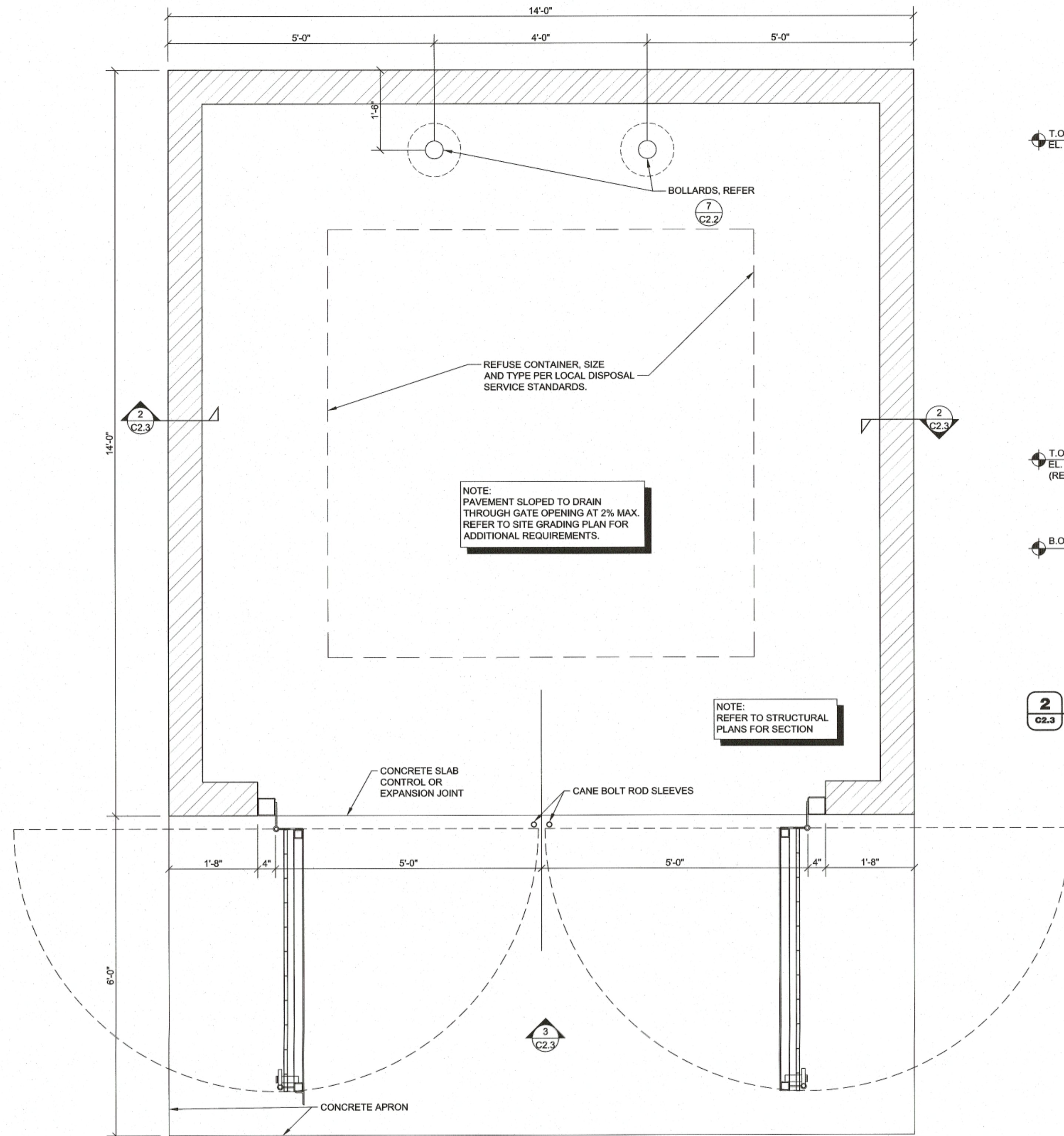
PREPARED UNDER THE SUPERVISION OF TAIT & ASSOCIATES, INC.  
6143 East County Road 16  
Loveland, CO 80537  
P: 970/613/1447 F: 970/613/1897  
www.taitinc.com  
Los Angeles Boise Sacramento  
Denver Dallas Rancho Cucamonga  
Since 1944  
**TAIT**

**CRAIG A. SCHNEIDER, AIA**  
**ARCHITECT**  
1736 East Sunshine, Suite 417  
Springfield, Missouri 65804  
417-862-8558  
Fax: 417-862-3265  
e-mail: architect@estertyschneider.com

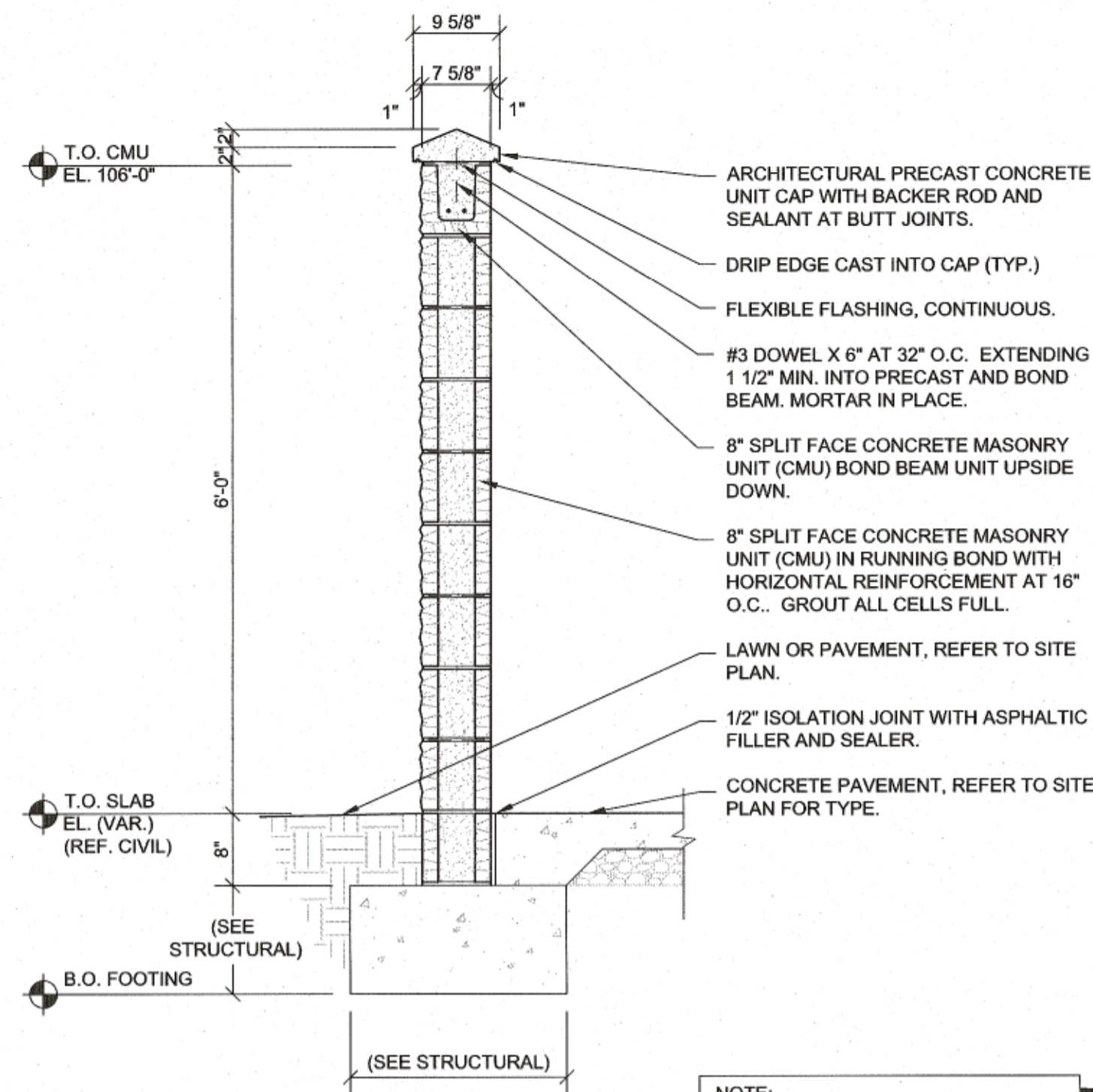
**PROJECT:**  
**NEW O'REILLY AUTO PARTS STORE**  
**N. MARKSHEFFEL ROAD**  
**COLORADO SPRINGS, CO #11**  
**SITE DETAILS**

**O'Reilly AUTO PARTS**  
CORPORATE OFFICES  
233 SOUTH PATTERSON  
SPRINGFIELD, MISSOURI 65802  
(417) 862-2874 TELEPHONE

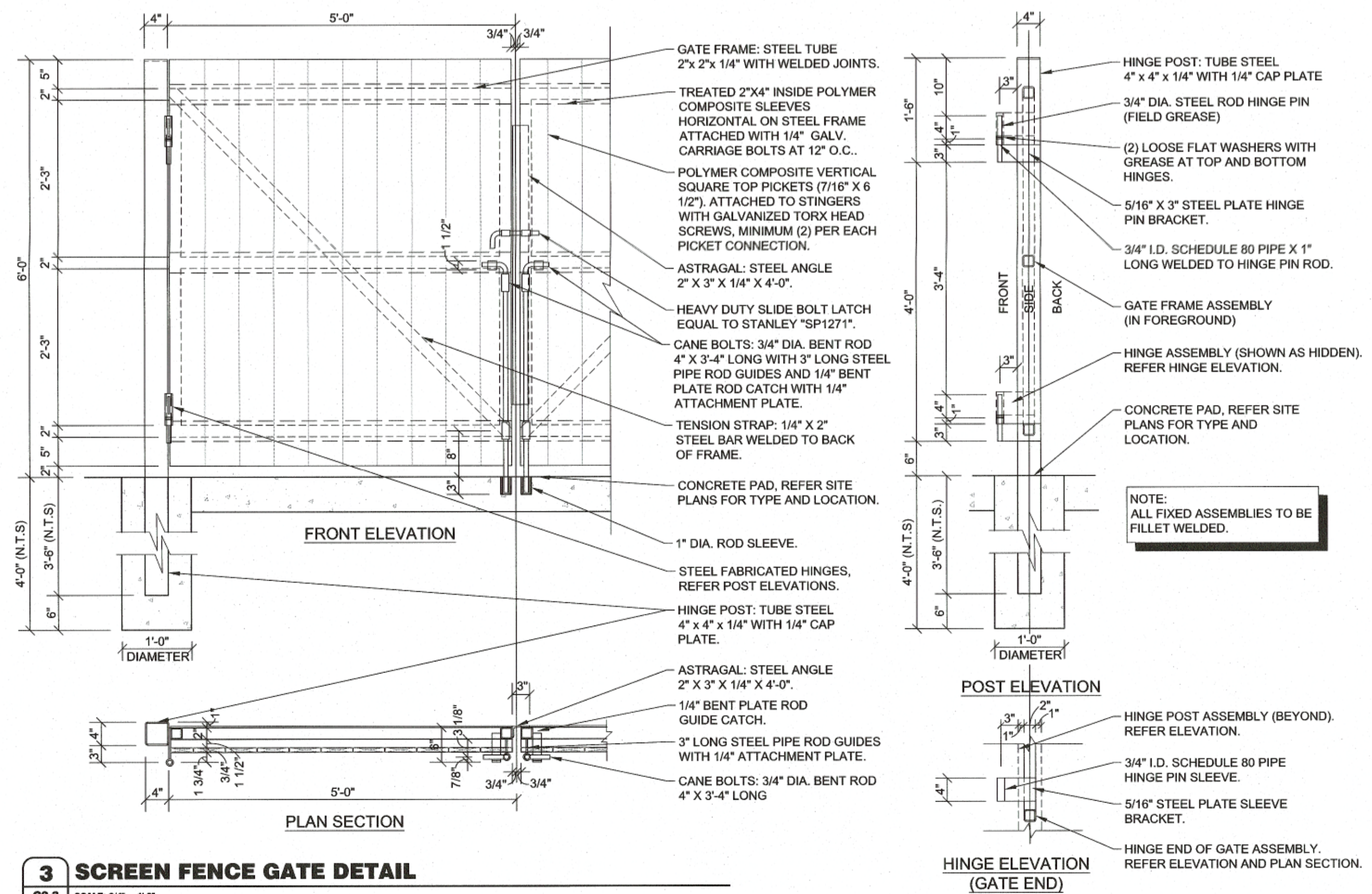
COMM #	4369
DATE:	10-11-19
REVISION	
DATE:	



**1 MASONRY SCREEN FENCE REFUSE ENCLOSURE PLAN**  
C2.3 SCALE: 3/4" = 1'-0"



**2 SCREEN FENCE SECTION**  
C2.3 SCALE: 3/4" = 1'-0"



**3 SCREEN FENCE GATE DETAIL**  
C2.3 SCALE: 3/4" = 1'-0"

**GENERAL NOTES**

- (A) REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.
- (B) DIMENSIONS ARE TO ROUGH FACE OF CONCRETE, MASONRY, FRAMING, OR CENTER LINE OF STRUCTURE UNLESS OTHERWISE INDICATED.
- (C) REFER TO CIVIL AND STRUCTURAL DRAWINGS FOR ADDITIONAL REQUIREMENTS.
- (D) REFER TO ARCHITECTURAL EXTERIOR FINISH SCHEDULE FOR MATERIAL TYPES, COLORS, AND FINISHES. UNLESS OTHERWISE INDICATED PROVIDE FINISHES AS FOLLOWS:
  1. ALL MASONRY SURFACES TO MATCH TEXTURES AND FIELD COLOR OF BUILDING. EXPOSED MASONRY INSIDE ENCLOSURE TO BE PRIMED AND PAINTED (2) COATS OF COLOR TO MATCH ENCLOSURE EXTERIOR MASONRY.
  2. ALL EXPOSED ARCHITECTURAL PRECAST TO BE NATURAL CONCRETE COLOR IN SMOOTH FORM FINISH.
  3. ALL NON-GALVANIZED METAL PARTS TO BE PRIMED AND PAINTED (2) COATS SHERWIN WILLIAMS SW6468 "HUNT CLUB".
  4. POLYMER COMPOSITE MATERIAL COLOR TO BE EQUAL TO FIBERON "COASTAL CEDAR", "JATоба", OR "CEDAR". FINAL COLOR TO BE SELECTED FROM MANUFACTURER'S STANDARD SAMPLES.

PREPARED UNDER THE SUPERVISION OF TAIT & ASSOCIATES, INC.



6163 East County Road 16  
Loveland, CO 80537  
P: 970.613.1447  
www.tait.com  
F: 970.613.1897



Los Angeles Boise Sacramento  
Denver Rancho Cucamonga

ALEX. HOMER, PE #1703

PROJECT:  
**NEW O'REILLY AUTO PARTS STORE**  
N. MARKSHEFFEL ROAD  
COLORADO SPRINGS, CO #11  
**REFUSE ENCLOSURE**

**O'Reilly AUTO PARTS**  
CORPORATE OFFICES  
233 SOUTH PATTERSON  
SPRINGFIELD, MISSOURI 65802  
(417) 862-2874 TELEPHONE

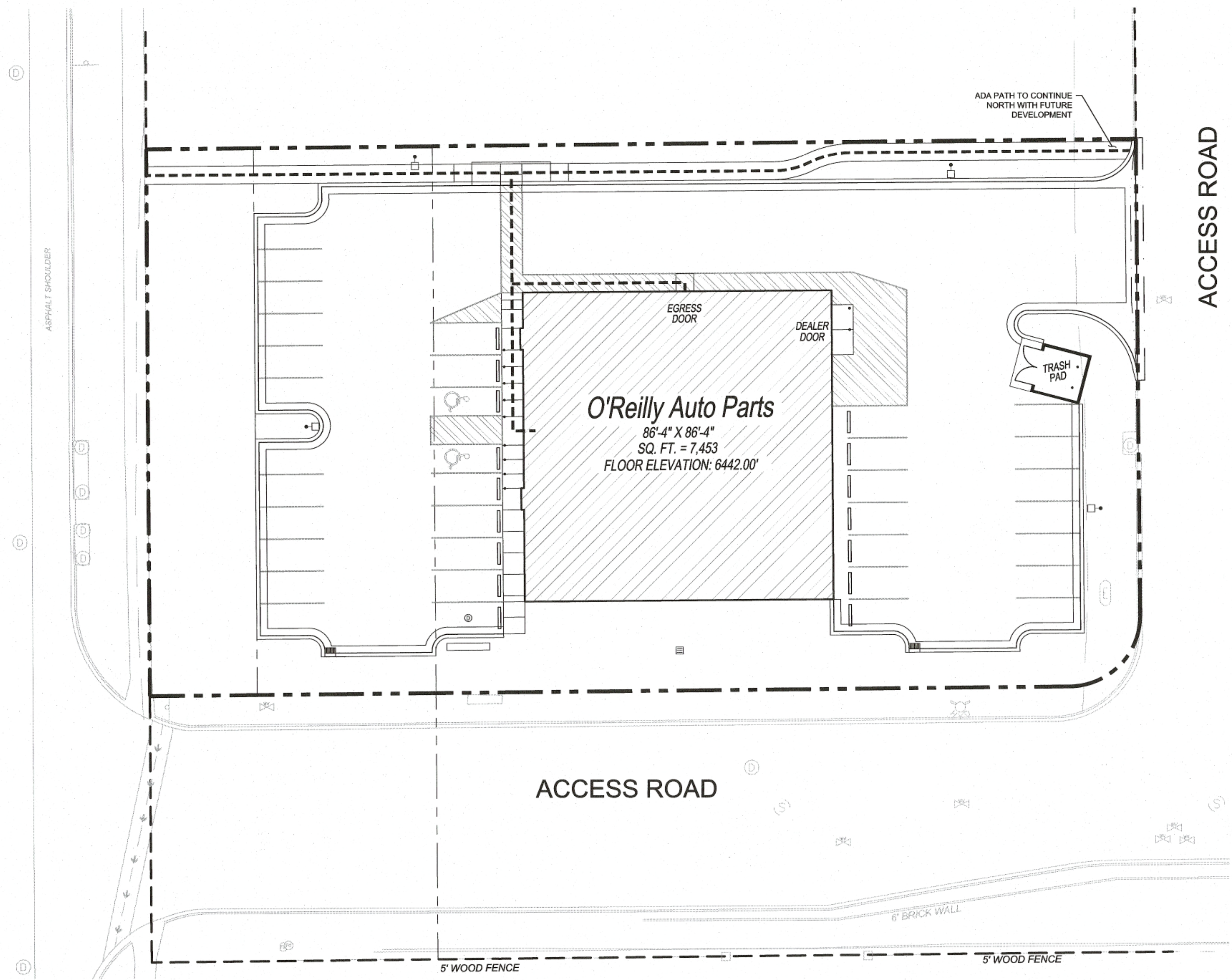
COMM # 4369  
DATE: 10-11-19  
REVISION  
DATE:

**CRAIG A. SCHNEIDER, AIA**  
**ARCHITECT**  
1736 East Sunshine, Suite 417  
Springfield, Missouri 65804  
417-862-0558  
Fax: 417-862-3265  
e-mail: architect@estriyschneider.com

MARKSHEFFEL ROAD

**1 ADA ROUTE PLAN**

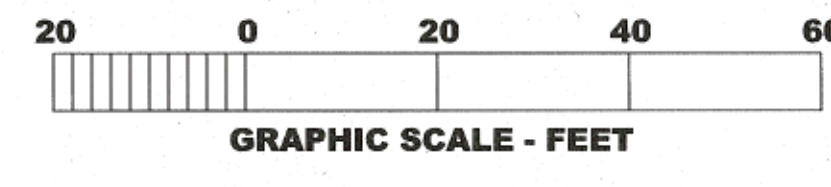
C2.4 SCALE: 1" = 20'-0"



**SYMBOLS LEGEND**

NOTE: REFER TO SURVEY FOR EXISTING CONDITIONS SYMBOLS LEGEND.

- NEW BUILDING CONSTRUCTION
- AREA OF CONCRETE
- NEW MONUMENT SIGN LOCATION
- NEW CONCRETE PAVING BLOCK
- NEW LIGHT POLE LOCATION
- PROPERTY LINE
- ADJACENT PROPERTY LINE
- ACCESSIBLE ROUTE



PREPARED UNDER THE SUPERVISION OF TAIT & ASSOCIATES, INC.



**TAIT**  
Since 1944

6163 East County Road 16  
Loveland, CO 80537  
P: 970.613.1447 F: 970.613.1897  
www.tait.com

Los Angeles Boise Sacramento  
Denver Dallas Rancho Cucamonga

ALEX HOWME, PE 41703

**O'Reilly AUTO PARTS**  
CORPORATE OFFICES  
233 SOUTH PATTERSON  
SPRINGFIELD, MISSOURI 65802  
(417) 862-2674 TELEPHONE

PROJECT:  
**NEW O'REILLY AUTO PARTS STORE  
N. MARKSHEFFEL ROAD  
COLORADO SPRINGS, CO #11  
ADA ROUTE PLAN**

**CRAIG A. SCHNEIDER, AIA  
ARCHITECT**  
1736 East Sunshine, Suite 417  
Springfield, Missouri 65804  
417.862.0558  
FAX: 417.862.3265  
e-mail: architect@estcrtschneider.com

**CAUTION:**  
INFORMATION ON THIS DRAWING  
CONCERNING TYPE AND LOCATION  
OF UNDERGROUND AND OTHER  
UTILITIES IS NOT GUARANTEED TO  
BE ACCURATE OR ALL INCLUSIVE.  
THE CONTRACTOR IS RESPONSIBLE  
FOR MAKING HIS OWN  
DETERMINATION AS TO THE TYPE  
AND LOCATION OF UNDERGROUND  
AND OTHER UTILITIES AS MAY BE  
NECESSARY TO AVOID DAMAGE  
THERE TO.

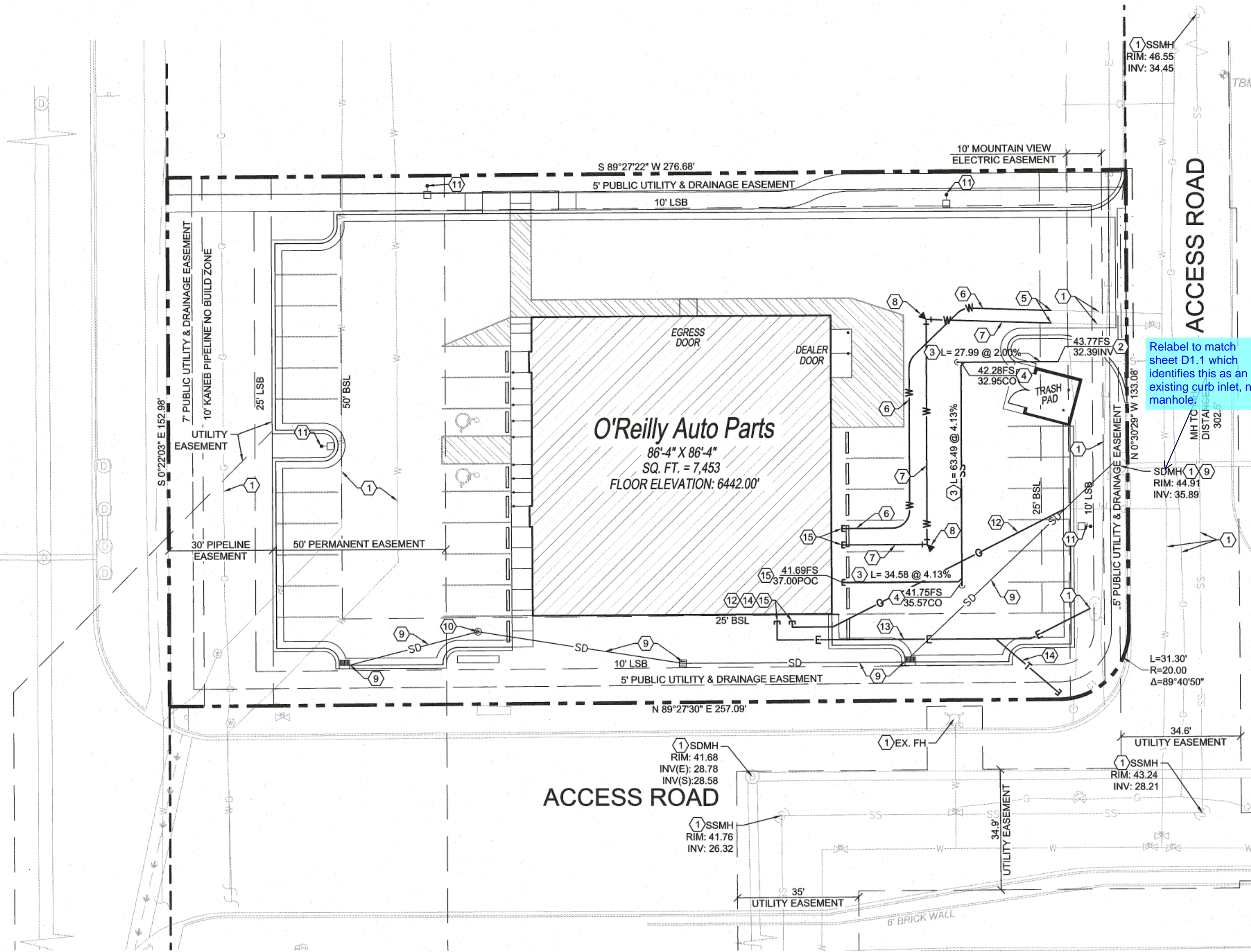


**Know what's below  
Call before you dig.**

COMM #	4369
DATE:	10-11-19
REVISION	
DATE:	

MARKSHEFFEL ROAD

**1 SITE UTILITY PLAN**  
C3.1 SCALE: 1" = 20'-0"



**GENERAL NOTES**

- CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES, USING UTILITY CONTACT INFORMATION GIVEN. COORDINATE FOR ALL UTILITY WORK SHOWN. GIVE UTILITY COMPANIES NOTICE OF CONSTRUCTION START DATE AND ESTIMATED COMPLETION DATE.
- PRIOR TO INSTALLATION, GENERAL CONTRACTOR TO CONFIRM THAT LIGHT POLES, LANDSCAPING AND UTILITIES DO NOT CONFLICT WITH SIGN LOCATION SHOWN. IF ANY POTENTIAL CONFLICT IS DISCOVERED, GENERAL CONTRACTOR TO CONTACT THE O'REILLY PROJECT ADMINISTRATOR BEFORE PROCEEDING.

**SAWCUT NOTE**

WHERE NEW UTILITY SERVICES ARE ROUTED UNDER EXISTING PAVED AREAS, ALL EXISTING PAVING SHALL BE REMOVED IN THE FOLLOWING STEPS:

- CALL 811.
- SAWCUTTING PAVING.
- REMOVAL AND TRENCHING.
- INSTALLATION OF UTILITY.
- BACKFILL AND COMPACTION.
- INSTALLATION OF NEW PAVING THAT MATCHES THE EXISTING SURROUNDING PAVING IN BOTH MATERIAL AND ELEVATION. CONTRACTOR SHALL COORDINATE, OBTAIN AND PAY FOR ALL REQUIRED PERMITS AND LICENSES TO PERFORM THIS WORK AND SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL WHILE PERFORMING SAWCUTTING OPERATIONS AS NECESSARY.

**EXISTING CONDITIONS NOTES**

- THE CONTRACTOR IS OBLIGATED TO INSPECT FOR EXISTING CONDITIONS/INSTALLATIONS AND AVAILABLE INFORMATION PRIOR TO SUBMITTING A BID, REFER TO SPECIFICATIONS ALSO.
- EXISTING INSTALLATIONS (SUCH AS WATER MAINS/LINES, GAS MAINS/LINES, SEWER MAINS/LINES, TELEPHONE LINES, POWER LINES, AND UTILITY STRUCTURES IN THE VICINITY OF THE WORK TO BE DONE) ARE INDICATED ON THE DRAWINGS ONLY TO THE EXTENT THAT SUCH INFORMATION HAS BEEN MADE AVAILABLE TO OR DISCOVERED BY THE ENGINEER IN PREPARING THE DRAWINGS. THERE IS NO GUARANTEE AS TO THE ACCURACY OR COMPLETENESS OF SUCH INFORMATION, AND ALL RESPONSIBILITY FOR THE ACCURACY AND COMPLETENESS THEREOF IS EXPRESSLY DISCLAIMED.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR LOCATING ALL EXISTING INSTALLATIONS.
- ANY DELAY, ADDITIONAL WORK, FEES OR EXTRA COST TO THE CONTRACTOR CAUSED BY RESULTING FROM DAMAGE TO OR MODIFICATIONS OF EXISTING INSTALLATIONS BY THE CONTRACTOR OR AFFECTED UTILITY COMPANY SHALL NOT CONSTITUTE A CLAIM FOR EXTRA WORK, ADDITIONAL PAYMENT OR DAMAGES.
- THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONSTRUCTION PRIOR TO SUBMITTING HIS BID. NO EXTRAS WILL BE PAID DUE TO UNANTICIPATED EXISTING CONDITIONS / INSTALLATIONS.

**SITE UTILITY KEY NOTES**

- PROTECT EXISTING IMPROVEMENTS IN PLACE.
- CONNECT TO EXISTING 4" Ø SANITARY SEWER STUB. CONTRACTOR TO FIELD VERIFY HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. CONTRACTOR TO NOTIFY ENGINEER OF RECORD OF ANY DISCREPANCIES FROM THIS PLAN.
- 4" Ø PVC SANITARY SEWER INSTALLED PER SLOPES AND INVERTS SHOWN HEREON AND PER COLORADO SPRINGS UTILITIES STANDARDS. 128 LF
- TRAFFIC RATED ELBOW AND CLEAN OUT INSTALLED AT INVERTS SHOWN HEREON AND PER COLORADO SPRINGS UTILITIES STANDARD DETAIL D1-4.
- CONTRACTOR TO FIELD VERIFY AND CONNECT TO EXISTING WATER MAIN STUB
- 1.5" Ø TYPE K COPPER DOMESTIC WATER LINE. 116 LF
- PROVIDE 4" Ø FIRE SPRINKLER SERVICE. SIZE OF FIRE SERVICE AND HYDRAULIC CALCULATIONS TO BE PREPARED AND CONFIRMED BY FIRE SPRINKLER DESIGN CONSULT. 129 LF
- PROVIDE BEND AND THRUST BLOCK AS SHOWN HEREON AND PER COLORADO SPRINGS UTILITIES STANDARD A4-2.
- PROVIDE CATCH BASINS AND STORM DRAIN PER DETAILS AND ELEVATIONS ON SHEET C1.1.
- PROVIDE STORM DRAIN MANHOLE. REFER TO SHEET C1.1 FOR RIM ELEVATION AND INVERTS.
- LIGHT POLE. REFER TO PLANS PREPARED BY MEP.
- PROPOSED GAS SERVICE ALIGNMENT SHOWN FOR REFERENCE ONLY. REFER TO PLANS PREPARED BY MEP FOR INSTALLATION.
- PROPOSED ELECTRICAL SERVICE ALIGNMENT SHOWN FOR REFERENCE ONLY. REFER TO PLANS PREPARED BY MEP FOR INSTALLATION.
- PROPOSED COMMUNICATION SERVICE ALIGNMENT SHOWN FOR REFERENCE ONLY. REFER TO PLANS PREPARED BY MEP FOR INSTALLATION.

**UTILITIES LEGEND**

SS	PROPOSED SANITARY SEWER
W	PROPOSED WATER SERVICE
SD	PROPOSED STORM DRAIN SERVICE
E	PROPOSED ELECTRICAL SERVICE
T	PROPOSED TELEPHONE SERVICE
G	PROPOSED GAS SERVICE
SS	EXISTING SANITARY SEWER
W	EXISTING WATER MAIN
FO	EXISTING FIBER OPTIC SERVICE
G	EXISTING GAS MAIN
T	EXISTING TELEPHONE SERVICE
E	EXISTING ELECTRICAL UTILITY
---	PROPERTY LINE
---	EASEMENT LINE
---	NEW BUILDING CONSTRUCTION
---	NEW SIGN LOCATION
---	NEW CONCRETE PARKING BLOCK
---	NEW CLEANOUT
---	NEW LIGHT POLE

LIST	ABBREVIATION
BOTTOM OF STORM DRAIN	BOSD
CLEAN OUT	C/O
EXISTING	EX
FIRE HYDRANT	FH
GAS MAIN	GM
INVERT	INV
MANHOLE	MH
STORM DRAIN	SD
STORM DRAIN MANHOLE	SDMH
SANITARY SEWER	SS
SANITARY SEWER MANHOLE	SSMH
TOP OF SANITARY WATER MAIN	TOSS
	WM

**UTILITY COMPANY CONTACTS**

WATER:	CHEROKEE METROPOLITAN DISTRICT JONATHAN SMITH - (719)597-5080 EXT 112
WASTEWATER:	CHEROKEE METROPOLITAN DISTRICT JONATHAN SMITH - (719) 597-5080B EXT 112
ELECTRICITY:	MOUNTAIN VIEW ELECTRIC ASSOCIATION LYNN H. - (719) 495-2283
NATURAL GAS:	COLORADO SPRINGS UTILITIES ENYSHIA ATENCIO - (719) 668-4426
TELEPHONE:	CENTURY LINK (719) 362-5403

**BENCHMARK**

TEMPORARY BENCHMARK #1: ELEVATION = 6443.54', SET MAG NAIL, N:1377025.58, E:3233108.44.  
 TEMPORARY BENCHMARK #2: ELEVATION = 6445.80', SET MAG NAIL, N:1377253.45, E:3233066.72.

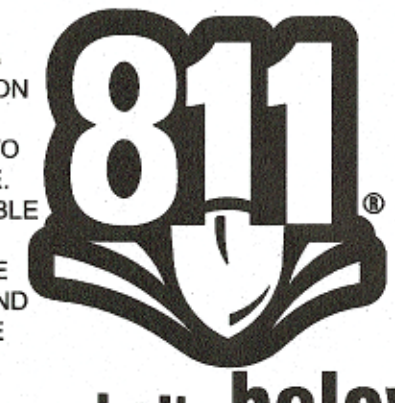
VERTICAL DATUM: BASED ON OPUS SOLUTION DATED 4/30/2019, NAVD88.

GRADE FLAG ELEVATIONS SHOWN HEREON ARE TRUNCATED BY 6400 FEET.

**BASIS OF BEARING**

BEARINGS ARE BASED ON GRID CENTRAL FOR COLORADO COORDINATE SYSTEM, CENTRAL ZONE, NAD83. LATITUDE = 38°51'57.09193", LONGITUDE = 10°40'53.61704", CONVERGENCE ANGLE = 0°11'59".

**CAUTION:**  
INFORMATION ON THIS DRAWING CONCERNING TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO THE TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO.



**Know what's below  
Call before you dig.**

PREPARED UNDER THE SUPERVISION OF TAIT & ASSOCIATES, INC.

6163 East County Road 16  
Loveland, CO 80537  
P: 970/613/1447 F: 970/613/1897  
www.tait.com

**TAIT**  
Since 1984

Los Angeles Sacramento  
Denver Bales Rancho Cucamonga

ALEX HOWE, PE-41703

**CRAIG A. SCHNEIDER, AIA  
ARCHITECT**

1736 East Sunshine, Suite 417  
Springfield, Missouri 65804  
e-mail: architect@estertschneider.com  
417-862-0558  
Fax: 417-862-3265

**PROJECT:**  
NEW O'REILLY AUTO PARTS STORE  
N. MARKSHEFFEL ROAD  
COLORADO SPRINGS, CO #11  
**SITE UTILITY PLAN**

**O'Reilly AUTO PARTS**

CORPORATE OFFICES  
233 SOUTH PATTERSON  
SPRINGFIELD, MISSOURI 65802  
(417) 862-2674 TELEPHONE

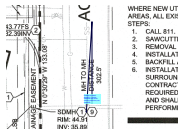
COMM #	4369
DATE:	10-11-19
REVISION	
DATE:	

# SDP\_V1.pdf Markup Summary

---

## Callout (1)

---



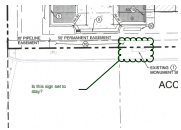
**Subject:** Callout  
**Page Label:** 6  
**Lock:** Locked  
**Author:** dsdlaforce  
**Date:** 2/10/2020 9:10:10 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Relabel to match sheet D1.1 which identifies this as an existing curb inlet, not manhole.

---

## Cloud+ (1)

---



**Subject:** Cloud+  
**Page Label:** 2  
**Lock:** Locked  
**Author:** dsdsevigny  
**Date:** 2/10/2020 9:10:11 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Is this sign set to stay?

---

## Text Box (3)

---

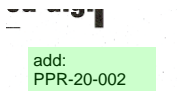


**Subject:** Text Box  
**Page Label:** 1  
**Lock:** Unlocked  
**Author:** dsdsevigny  
**Date:** 2/10/2020 9:07:52 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

The following note should be added to all site development plans or non-residential site plans, as applicable, prior to PCD approval:

“The parties responsible for this plan have familiarized themselves with all current accessibility criteria and specifications and the proposed plan reflects all site elements required by the applicable ADA design standards and guidelines as published by the United States Department of Justice. Approval of this plan by El Paso County does not assure compliance with the ADA or any regulations or guidelines enacted or promulgated under or with respect to such laws.”

Also required is an additional page illustrating the ADA route.



**Subject:** Text Box  
**Page Label:** 1  
**Lock:** Locked  
**Author:** dsdsevigny  
**Date:** 2/10/2020 9:10:12 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

add: PPR-20-002

---

**Subject:** Text Box  
**Page Label:** 2  
**Lock:** Locked  
**Author:** dsdsevigny  
**Date:** 2/10/2020 9:10:14 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Bicycle Facilities required, see section 6.2.5.F