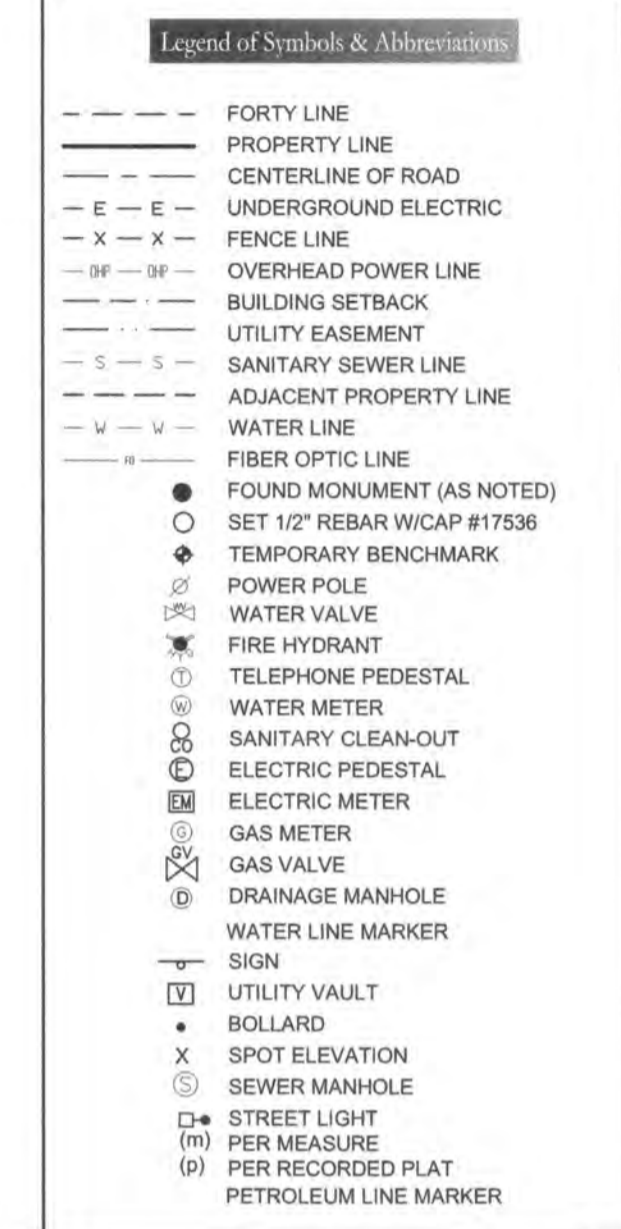
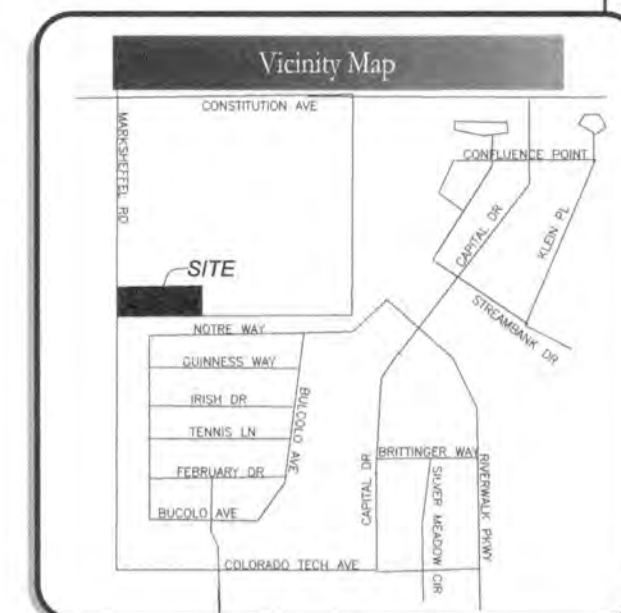


ALTA/NSPS LAND TITLE SURVEY

DATE	REVISION
6/18/2019	PER CLIENT EMAIL DATED 6/12/19 & 6/13/19

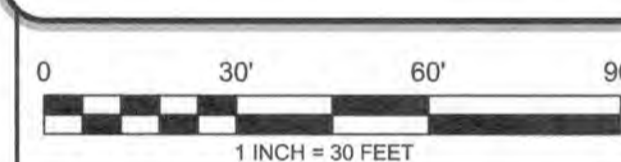


Utility Notes

THE LOCATION OF UTILITIES SHOWN HEREON ARE FROM OBSERVED EVIDENCE OF ABOVE GROUND UTILITIES IN CONJUNCTION WITH A ONE CALL UTILITY LOCATE REQUEST BEARING A TICKET NO. OF A910503058 & A910503058-00A, DATED 4/15/19. SOME EXISTING DRAWINGS WERE PROVIDED TO THE SURVEYOR SHOWING UNDERGROUND LINES. SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPREHENSIVE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED.

BEFORE DIGGING IN THIS AREA, CALL "ONE CALL" 811 FOR FIELD LOCATIONS (REQUEST FOR GROUND MARKINGS) OF UNDERGROUND UTILITIES.

Call your utility before you dig!



THIS SURVEY WAS DONE AND THE PLAT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION. I HEREBY CERTIFY THIS TO BE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF ON THIS THE 7TH DAY OF JUNE, 2019.



IF THE SIGNATURE ON THIS SEAL IS NOT AN ORIGINAL, AND NOT BLUE IN COLOR THEN IT SHOULD BE ASSUMED THAT THIS PLAT MAY HAVE BEEN ALTERED. THE ABOVE CERTIFICATION SHALL NOT APPLY TO ANY COPY THAT DOES NOT BEAR AN ORIGINAL SEAL AND SIGNATURE.

BLEW & ASSOCIATES, PA
 CIVIL ENGINEERS & LAND SURVEYORS
 3825 N. SHILOH DRIVE
 FAYETTEVILLE, ARKANSAS 72703
 OFFICE: 479-443-4506
 FAX: 479-682-1883
 www.BLEWING.com

DRAWN BY & DATE	REVIEWED BY	SURVEYED BY
C.H. 6/07/19	SDR	JD

COUNTY & CITY: EL PASO, COLORADO
 LOCATION: 2471 N. MARKSHEFFEL ROAD, COLORADO

FOR THE USE AND BENEFIT OF:
O'Reilly Auto Enterprises, LLC
 SV1

Schedule B - Section II

9. RESERVATIONS CONTAINED IN THE PATENT FROM THE UNITED STATES OF AMERICA TO NATHAN S. CALVER
 RECORDING DATE: OCTOBER 21, 1886
 RECORDING NO.: COCCAA NO. 078716, 818 RECORDS WHICH AMONG OTHER THINGS RECITES AS FOLLOWS:
 A RIGHT OF WAY THEREFOR FOR DITCHES OR RESERVOIRS CONSTRUCTED BY THE AUTHORITY OF THE UNITED STATES OF AMERICA, THE RIGHT OF THE PROPRIETOR OF A VEIN OR LOSE TO EXTRACT AND REMOVE HIS ORE THEREFROM SHOULD THE SAME BE FOUND TO PENETRATE OR INTERFERE THE PREMISES HEREBY GRANTED AS PROVIDED BY LAW, AFFECTS SUBJECT PROPERTY BY BLANKET DESCRIPTION.

10. ANY TAXES OR ASSESSMENTS BY REASON OF THE INCLUSION OF THE LAND IN THE CHEROKEE WATER AND SANITATION DISTRICT.
 RECORDING DATE: AUGUST 11, 1986
 RECORDING NO.: 8008-2168 PAGE 303 (AFFECTS SUBJECT PROPERTY BY BLANKET DESCRIPTION).
 INCLUSION AND WATER USE AGREEMENT:
 RECORDING DATE: APRIL 11, 1997
 RECORDING NO.: RECEPTION NO. 07041326 (AFFECTS SUBJECT PROPERTY BY BLANKET DESCRIPTION).

11. TERMS, CONDITIONS, PROVISIONS, AGREEMENTS AND OBLIGATIONS CONTAINED IN THE RESOLUTION NO. 97-962 LAND USE -164 AS SET FORTH BELOW.
 RECORDING DATE: DECEMBER 29, 1997
 RECORDING NO.: RECEPTION NO. 07151776 (AFFECTS SUBJECT PROPERTY BY BLANKET DESCRIPTION).

12. ANY TAX, LIEN, FEE, OR ASSESSMENT BY REASON OF INCLUSION OF THE LAND IN THE CENTRAL MARKSHEFFEL METROPOLITAN DISTRICT, AS EVIDENCED BY INSTRUMENT(S).
 RECORDING DATE: OCTOBER 3, 2002
 RECORDING NO.: RECEPTION NO. 202166647 (AFFECTS SUBJECT PROPERTY BY BLANKET DESCRIPTION).
 AMENDED AND RESTATED RESOLUTION TO THE BOARD OF DIRECTORS OF THE CENTRAL MARKSHEFFEL METROPOLITAN DISTRICT CONCERNING THE IMPOSITION OF THE CAPITAL FACILITIES FEE.
 RECORDING DATE: NOVEMBER 14, 2017
 RECORDING NO.: RECEPTION NO. 217138355 (AFFECTS SUBJECT PROPERTY BY BLANKET DESCRIPTION).

13. TERM, CONDITION, PROVISIONS, AGREEMENTS AND OBLIGATIONS CONTAINED IN THE RESOLUTION NO. 04-902 AS SET FORTH BELOW.
 RECORDING DATE: JANUARY 31, 2005
 RECORDING NO.: RECEPTION NO. 205015067 (AFFECTS SUBJECT PROPERTY BY BLANKET DESCRIPTION).

14. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:
 GRANTED TO: KANE PIPE LINE OPERATING PARTNERSHIP, L.P., A DELAWARE LIMITED LIABILITY COMPANY.
 PURPOSE: PIPE LINES, AND FIXTURES
 RECORDING DATE: JANUARY 27, 2005
 RECORDING NO.: RECEPTION NO. 205009821 (AFFECTS SUBJECT PROPERTY AS SHOWN ON SURVEY).

15. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:
 GRANTED TO: CITY OF COLORADO SPRINGS
 PURPOSE: PIPELINES, CONDUITS, POLES, VAULTS, METERS, AND APPURTENANCES
 SUPPLEMENT NO. 4 TO COMMON OPERATION AND RECIPROCAL EASEMENT AGREEMENT.
 RECORDING DATE: SEPTEMBER 9, 2011
 RECORDING NO.: RECEPTION NO. 211067483 (AFFECTS SUBJECT PROPERTY BY BLANKET DESCRIPTION).

16. TERMS, CONDITION, PROVISIONS, AGREEMENTS AND OBLIGATIONS CONTAINED IN THE RESOLUTION NO. 15-321 AS SET FORTH BELOW.
 RECORDING DATE: JULY 29, 2015
 RECORDING NO.: RECEPTION NO. 215081459 (AFFECTS SUBJECT PROPERTY BY BLANKET DESCRIPTION).

17. TERMS, CONDITIONS, PROVISIONS, AGREEMENTS AND OBLIGATIONS CONTAINED IN THE RESOLUTION NO. 15-376 AS SET FORTH BELOW.
 RECORDING DATE: SEPTEMBER 23, 2015
 RECORDING NO.: RECEPTION NO. 215103714 (AFFECTS SUBJECT PROPERTY BY BLANKET DESCRIPTION).

18. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:
 GRANTED TO: CITY OF COLORADO SPRINGS, COLORADO
 PURPOSE: AVIGATION EASEMENT
 RECORDING DATE: JANUARY 7, 2016
 RECORDING NO.: RECEPTION NO. 216091978 (AFFECTS SUBJECT PROPERTY BY BLANKET DESCRIPTION).

19. TERMS, CONDITIONS, PROVISIONS, AGREEMENTS AND OBLIGATIONS CONTAINED IN THE SUBDIVISION IMPROVEMENTS AGREEMENT AS SET FORTH BELOW.
 RECORDING DATE: JANUARY 14, 2016
 RECORDING NO.: RECEPTION NO. 216030836 (AFFECTS SUBJECT PROPERTY BY BLANKET DESCRIPTION).

20. TERMS, CONDITIONS, PROVISIONS, AGREEMENTS AND OBLIGATIONS CONTAINED IN THE PRIVATE DETENTION BASIN / STORMWATER QUALITY BEST MANAGEMENT PRACTICE MAINTENANCE AGREEMENT AND EASEMENT AS SET FORTH BELOW.
 RECORDING DATE: JANUARY 14, 2016
 RECORDING NO.: RECEPTION NO. 216030937 (AFFECTS SUBJECT PROPERTY BY BLANKET DESCRIPTION IN EXHIBIT "A").

21. EASEMENTS, NOTES, TERMS, CONDITIONS, PROVISIONS, AGREEMENTS, AND OBLIGATIONS AS SHOWN ON THE PLAT OF CLAREMONT RANCH PLING NO. 98.
 RECORDING DATE: JANUARY 20, 2016
 RECORDING NO.: RECEPTION NO. 216713741 (AFFECTS SUBJECT PROPERTY BY BLANKET DESCRIPTION).

22. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:
 GRANTED TO: MOUNTAIN VIEW ELECTRIC ASSOCIATION, INC., A COLORADO CORPORATION
 PURPOSE: TRANSMISSION AND DISTRIBUTION LINES) AND FIXTURES
 RECORDING DATE: JANUARY 20, 2016
 RECORDING NO.: RECEPTION NO. 216050778 (AFFECTS SUBJECT PROPERTY AS SHOWN ON SURVEY).
 AND RE-RECORDED FEBRUARY 10, 2016 AT RECEPTION NO. 216013263 (AFFECTS SUBJECT PROPERTY AS SHOWN ON SURVEY).

23. COVENANTS, CONDITIONS AND RESTRICTIONS BUT OMITTING ANY COVENANTS OR RESTRICTIONS, IF ANY, INCLUDING BUT NOT LIMITED TO THOSE BASED UPON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, FAMILIAL STATUS, MARITAL STATUS, DISABILITY, HANDICAP, NATIONAL ORIGIN, ANCESTRY, SOURCE OF INCOME, GENDER, GENDER IDENTITY, GENDER EXPRESSION, MEDICAL CONDITION OR GENETIC INFORMATION, AS SET FORTH IN APPLICABLE STATE OR FEDERAL LAWS, EXCEPT TO THE EXTENT THAT SAID COVENANT OR RESTRICTION IS PERMITTED BY APPLICABLE LAW, AS SET FORTH IN THE DOCUMENT.
 RECORDING DATE: JANUARY 20, 2016
 RECORDING NO.: RECEPTION NO. 216059842 (AFFECTS SUBJECT PROPERTY BY BLANKET DESCRIPTION).
 FIRST AMENDMENT TO DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR CLAREMONT RANCH MARKETPLACE.
 RECORDING DATE: SEPTEMBER 29, 2017
 RECORDING NO.: RECEPTION NO. 217117543 (AFFECTS SUBJECT PROPERTY BY BLANKET DESCRIPTION).
 SECOND AMENDMENT TO DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR CLAREMONT RANCH MARKETPLACE.
 RECORDING DATE: MARCH 19, 2019
 RECORDING NO.: RECEPTION NO. 219027482 (AFFECTS SUBJECT PROPERTY BY BLANKET DESCRIPTION).

24. TERMS, CONDITIONS, PROVISIONS, AGREEMENTS AND OBLIGATIONS CONTAINED IN THE MEMORANDUM OF DEVELOPMENT AGREEMENT AS SET FORTH BELOW:
 RECORDING DATE: JANUARY 20, 2016
 RECORDING NO.: RECEPTION NO. 216005843 (AFFECTS SUBJECT PROPERTY BY BLANKET DESCRIPTION).

25. TERMS, CONDITIONS, PROVISIONS, AGREEMENTS AND OBLIGATIONS CONTAINED IN THE AGREEMENT FOR OPERATION AND MAINTENANCE FOR COMMON AREAS FOR CLAREMONT RANCH MARKETPLACE AS SET FORTH BELOW:
 RECORDING DATE: JANUARY 20, 2016
 RECORDING NO.: RECEPTION NO. 216005844 (AFFECTS SUBJECT PROPERTY BY BLANKET DESCRIPTION).
 FIRST AMENDMENT TO AGREEMENT FOR OPERATION AND MAINTENANCE FOR COMMON AREAS FOR CLAREMONT RANCH MARKETPLACE.
 RECORDING DATE: SEPTEMBER 29, 2017
 RECORDING NO.: RECEPTION NO. 217117544 (AFFECTS SUBJECT PROPERTY BY BLANKET DESCRIPTION).
 ASSIGNMENT AND ASSUMPTION OF RIGHTS AND OBLIGATIONS OF MAINTENANCE DIRECTOR UNDER AGREEMENT FOR OPERATION AND MAINTENANCE FOR COMMON AREAS FOR CLAREMONT RANCH MARKETPLACE.
 RECORDING DATE: OCTOBER 16, 2017
 RECORDING NO.: RECEPTION NO. 217124622 (AFFECTS SUBJECT PROPERTY BY BLANKET DESCRIPTION, PER EXHIBIT "A" LEGAL DESCRIPTION, HOWEVER, EXHIBIT "B" DOES NOT AFFECT SUBJECT PROPERTY).

26. RECIPROCAL EASEMENTS, FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS CREATED BY THE FOLLOWING DOCUMENT:
 DOCUMENT: COMMON OPERATION AND RECIPROCAL EASEMENT AGREEMENT EXECUTED BY: EVERGREEN CONSTITUTION & MARKSHEFFEL, L.L.C., AND ARIZONA LIMITED LIABILITY COMPANY.
 PURPOSE: INGRESS, EGRESS, PARKING, UTILITIES, EMERGENCY...
 RECORDING DATE: JANUARY 20, 2016
 RECORDING NO.: RECEPTION NO. 216005845 (AFFECTS SUBJECT PROPERTY BY BLANKET DESCRIPTION AND AS SHOWN ON SURVEY).
 SUPPLEMENT NO. 1 TO COMMON OPERATION AND RECIPROCAL EASEMENT AGREEMENT.
 RECORDING DATE: AUGUST 3, 2017
 RECORDING NO.: RECEPTION NO. 217092927 (AFFECTS SUBJECT PROPERTY BY BLANKET DESCRIPTION, PER EXHIBIT "A", HOWEVER, EXHIBIT "B" FOR THE LEASE AREA DOES NOT AFFECT SUBJECT PROPERTY).
 AMENDED AND RESTATED SUPPLEMENT NO. 1 TO COMMON OPERATION AND RECIPROCAL EASEMENT AGREEMENT.
 RECORDING DATE: SEPTEMBER 29, 2017
 RECORDING NO.: RECEPTION NO. 217117539 (AFFECTS SUBJECT PROPERTY BY BLANKET DESCRIPTION, PER EXHIBIT "A", HOWEVER, EXHIBIT "B" FOR THE LEASE AREA DOES NOT AFFECT SUBJECT PROPERTY).
 SUPPLEMENT NO. 3 TO COMMON OPERATION AND RECIPROCAL EASEMENT AGREEMENT.
 RECORDING DATE: SEPTEMBER 29, 2017
 RECORDING NO.: RECEPTION NO. 217117540 (AFFECTS SUBJECT PROPERTY BY BLANKET DESCRIPTION, PER EXHIBIT "A", HOWEVER, EXHIBIT "B" FOR THE LEASE AREA DOES NOT AFFECT SUBJECT PROPERTY).
 SUPPLEMENT NO. 4 TO COMMON OPERATION AND RECIPROCAL EASEMENT AGREEMENT.
 RECORDING DATE: SEPTEMBER 29, 2017
 RECORDING NO.: RECEPTION NO. 217117541 (AFFECTS SUBJECT PROPERTY BY BLANKET DESCRIPTION, PER EXHIBIT "A", HOWEVER, EXHIBIT "B" FOR THE LEASE AREA DOES NOT AFFECT SUBJECT PROPERTY).
 SUPPLEMENT NO. 5 TO COMMON OPERATION AND RECIPROCAL EASEMENT AGREEMENT.
 RECORDING DATE: SEPTEMBER 29, 2017
 RECORDING NO.: RECEPTION NO. 217117542 (AFFECTS SUBJECT PROPERTY BY BLANKET DESCRIPTION).
 ASSIGNMENT AND ASSUMPTION OF RIGHTS AND OBLIGATIONS OF MANAGER UNDER COMMON OPERATION AND RECIPROCAL EASEMENT AGREEMENT.
 RECORDING DATE: OCTOBER 16, 2017
 RECORDING NO.: RECEPTION NO. 217124623 (AFFECTS SUBJECT PROPERTY BY BLANKET DESCRIPTION, PER EXHIBIT "A" LEGAL DESCRIPTION, HOWEVER, EXHIBIT "B" DOES NOT AFFECT THE SUBJECT PROPERTY).
 SUPPLEMENT NO. 6 TO COMMON OPERATION AND RECIPROCAL EASEMENT AGREEMENT.
 RECORDING DATE: APRIL 9, 2018
 RECORDING NO.: RECEPTION NO. 218038946 (AFFECTS SUBJECT PROPERTY BY BLANKET DESCRIPTION, PER EXHIBIT "A" LEGAL DESCRIPTION, HOWEVER, EXHIBIT "B" DOES NOT AFFECT THE SUBJECT PROPERTY).
 SUPPLEMENT NO. 7 TO COMMON OPERATION AND RECIPROCAL EASEMENT AGREEMENT.
 RECORDING DATE: SEPTEMBER 17, 2018
 RECORDING NO.: RECEPTION NO. 218038978 (AFFECTS SUBJECT PROPERTY BY BLANKET DESCRIPTION, PER EXHIBIT "A" LEGAL DESCRIPTION, HOWEVER, EXHIBIT "B" DOES NOT AFFECT THE SUBJECT PROPERTY).
 SUPPLEMENT NO. 8 TO COMMON OPERATION AND RECIPROCAL EASEMENT AGREEMENT.
 RECORDING DATE: JANUARY 11, 2019
 RECORDING NO.: RECEPTION NO. 218037830 (AFFECTS SUBJECT PROPERTY BY BLANKET DESCRIPTION, PER EXHIBIT "A" LEGAL DESCRIPTION, HOWEVER, EXHIBIT "B" DOES NOT AFFECT THE SUBJECT PROPERTY).

27. TERMS, CONDITIONS, PROVISIONS, AGREEMENTS AND OBLIGATIONS CONTAINED IN THE RESOLUTION NO. 16-446 AS SET FORTH BELOW:
 RECORDING DATE: SEPTEMBER 28, 2016
 RECORDING NO.: RECEPTION NO. 216013025 (AFFECTS SUBJECT PROPERTY BY BLANKET DESCRIPTION).

28. EASEMENTS, NOTES, TERMS, CONDITIONS, PROVISIONS, AGREEMENTS AND OBLIGATIONS AS SHOWN ON THE PLAT OF CLAREMONT RANCH PLING NO. 98.
 RECORDING DATE: MARCH 14, 2016
 RECORDING NO.: RECEPTION NO. 216713741 (AFFECTS SUBJECT PROPERTY AS SHOWN ON SURVEY).

29. TERMS, CONDITIONS, PROVISIONS, AGREEMENTS AND OBLIGATIONS CONTAINED IN THE ENCROACHMENT AGREEMENT AS SET FORTH BELOW:
 RECORDING DATE: SEPTEMBER 28, 2019
 RECORDING NO.: RECEPTION NO. 216108488 (AFFECTS SUBJECT PROPERTY AS SHOWN ON SURVEY).

30. TERMS, CONDITIONS, PROVISIONS, AGREEMENTS AND OBLIGATIONS CONTAINED IN THE PUBLIC RIGHT OF WAY LICENSE AGREEMENT AS SET FORTH BELOW:
 RECORDING DATE: SEPTEMBER 28, 2017
 RECORDING NO.: RECEPTION NO. 217119904 (AFFECTS SUBJECT PROPERTY BY BLANKET DESCRIPTION).

31. EASEMENTS, NOTES, TERMS, CONDITIONS, PROVISIONS, AGREEMENTS AND OBLIGATIONS AS SHOWN ON THE PLAT OF CLAREMONT RANCH PLING NO. 98.
 RECORDING DATE: APRIL 3, 2018
 RECORDING NO.: RECEPTION NO. 218714119 (AFFECTS SUBJECT PROPERTY AS SHOWN ON SURVEY).

Schedule A - Description

CHICAGO TITLE INSURANCE COMPANY
 TITLE COMMITMENT - FILE NUMBER: 100-NO22084-030-TH AMENDMENT NO. 1
 COMMITMENT DATE: APRIL 13, 2019

PARCEL A:
 LOT 1, BLOCK 1, CLAREMONT RANCH FILING NO. 98, COUNTY OF EL PASO, STATE OF COLORADO
 PARCEL B:
 THOSE EASEMENT RIGHTS AS DESCRIBED IN COMMON OPERATION AND RECIPROCAL EASEMENT AGREEMENT RECORDED JANUARY 20, 2016 AT RECEPTION NO. 216005845, EL PASO COUNTY RECORDS.

One Call Information
 TICKET NO. A910503058 & A910503058-00A
 DATED: 4/15/2019

Encroachment Notes
 SURVEYOR DID NOT OBSERVE ANY ENCROACHMENTS

Zoning Information

PER EL PASO COUNTY, ZONING MAP 542.04, THE SITE IS ZONED CR (COMMERCIAL REGIONAL), FOR MORE INFORMATION CALL MIKI HREBEMAR, PROJECT MANAGEMENT GROUP MANAGER, PLANNING AND COMMUNITY DEVELOPMENT 719-520-6442

AREA REGULATIONS:
 MIN. ZONING DISTRICT AREA: 5 ACRES (11)
 FRONT MIN. SETBACK: 50 FT. (3, 4, 11)
 REAR MIN. SETBACK: 25 FT. (2, 3, 4, 11)
 SIDE MIN. SETBACK: 25 FT. (2, 3, 4, 11)
 MINIMUM SETBACK IS 25 FEET FROM THE PERIMETER BOUNDARY OF THE DISTRICT, BUT NO MINIMUM SETBACK IS REQUIRED FROM ANY INTERNAL SIDE OR REAR LOT LINE WITHIN THE SAME DISTRICT.

(1) IF THE BUILDING IS ESTABLISHED AS OR CONVERTED TO CONDOMINIUM UNITS IN ACCORDANCE WITH CHAPTER 7 OF THIS CODE, THE BUILDING AND LOT SHALL MEET THE MINIMUM LOT AREA AND SETBACKS, BUT THE INDIVIDUAL UNITS ARE NOT REQUIRED TO MEET THE MINIMUM LOT AREA, MAX LOT COVERAGE, OR SETBACK REQUIREMENTS.

**SEE ZONING REGULATIONS FOR ADDITIONAL RESTRICTIONS.

13. SEWER AND WATER LINE INFO SHOWN ON SURVEY IS PER UTILITY MAP PROVIDED BY LEFT MUMFEE, PE, PWR, WATER RESOURCE ENGINEER, CHEROKEE METROPOLITAN DISTRICT, EMAIL DATED APRIL 29, 2019.

14. STORM SEWER SYSTEMS ARE SHOWN ON SURVEY PER FIELDWORK.

15. PER PHONE CALL DATED 6/6/19 FROM DAVID FORNEY (EL PASO COUNTY, COLORADO PUBLIC WORKS), THE COUNTY DOES NOT PLAN TO WIDEN OUR PORTION OF N. MARKSHEFFEL ROAD. LOT 1, ALTA SURVEY BY GALLOWAY PLANNING, ARCHITECTURE, ENGINEERING, DATED 10/02/2017, PROJECT NO. ED000080-01
 DAVID FORNEY
 3275 AKERS DRIVE
 COLORADO SPRINGS, CO 80922
 719-520-4897

16. SUBJECT PROPERTY IS LOCATED IN EL PASO COUNTY, COLORADO.

17. GAS LINE INFORMATION SHOWN ON SURVEY IS PER UTILITY MAPS PROVIDED BY ENYSHIA ATENCIO, COLORADO SPRINGS UTILITIES, PER EMAIL DATED 6/20/19 AND PER ONE CALL MARKINGS.

18. PER EMAILS DATED 4/17/19 WITH DANIEL RICHESON OF MAGELLAN PIPELINES, MAGELLAN HAS A HIGH PRESSURE PETROLEUM PIPE LINE THAT RUNS ACROSS OUR PROPERTY WITHIN A 30' EASEMENT. THEY DO NOT ALLOW ANY BUILDING OF ANY TYPE TO BE CONSTRUCTED WITHIN THEIR EASEMENT. THEREFORE, A SITE PLAN WILL NEED TO BE SENT TO THEM FOR APPROVAL TO DESIGN OR CONSTRUCTION WITHIN THEIR EASEMENT AREA. (SEE UTILITY CONTACT INFORMATION)

BENCHMARKS:
 TEMPORARY BENCH MARK #1
 ELEVATION: 6445.54'
 SET MAG NAIL
 N: 1377025.58
 E: 3233308.44

TEMPORARY BENCH MARK #2
 ELEVATION: 6445.60'
 SET MAG NAIL
 N: 1377253.45
 E: 3233666.72

Miscellaneous Notes

- COMPLETED FIELD WORK: APRIL 30, 2019.
- BEARINGS ARE BASED ON GRID CENTRAL FOR COLORADO COORDINATE SYSTEM, CENTRAL ZONE, NAD83.
 LATITUDE = 38°19'27.0916S, LONGITUDE = 10°42'53.61704W, CONVERGENCE ANGLE = 0°11'59"
- DISTANCES SHOWN ON PLAT ARE GRID, COMBINED SCALE FACTOR (GRID TO GROUND) = 1.0006115
 3. VERTICAL DATUM BASED ON OPUS SOLUTION DATED 4/30/2019, NAD83
- SOME FEATURES SHOWN ON THIS PLAT MAY BE SHOWN OUT OF SCALE FOR CLARITY.
- DIMENSIONS ON THIS PLAT ARE EXPRESSED IN FEET AND DECIMAL PARTS THEREOF UNLESS OTHERWISE NOTED. MONUMENTS WERE FOUND AT POINTS WHERE INDICATED.
- ALL OF SUBJECT PROPERTY IS WITHIN ZONE "X", BY GRAPHIC PLOTTING AND PER PLAN LINES, MAGELLAN HAS A HIGH PRESSURE PETROLEUM PIPE LINE THAT RUNS ACROSS OUR PROPERTY WITHIN A 30' EASEMENT. THEY DO NOT ALLOW ANY BUILDING OF ANY TYPE TO BE CONSTRUCTED WITHIN THEIR EASEMENT. THEREFORE, A SITE PLAN WILL NEED TO BE SENT TO THEM FOR APPROVAL TO DESIGN OR CONSTRUCTION WITHIN THEIR EASEMENT AREA. (SEE UTILITY CONTACT INFORMATION)
- AT THE TIME OF THE ALTA SURVEY THERE WERE NO OBSERVABLE EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION REPAIRS.
- AT THE TIME OF THE ALTA SURVEY THERE WAS NO OBSERVABLE EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SLUMP, OR SANITARY LANDFILL.
- NO STRIPED PARKING WAS OBSERVED ON THE SUBJECT PROPERTY AT THE TIME OF SURVEY.
- THE NEAREST FIRE HYDRANT IS AS SHOWN ON SURVEY.
- THE APPROXIMATE LOCATION OF 42 INCH AND 54 INCH SIZE UNDERGROUND WATERLINES ARE SHOWN PER ONE CALL MARKINGS AND PER WATER MAP PROVIDED BY JONATHAN SMITH, CHEROKEE METROPOLITAN DISTRICT, PER EMAIL DATED MAY 1, 2019.

Utility Providers

WATER/SEWER
 CHEROKEE METROPOLITAN DISTRICT
 JONATHAN SMITH,
 WATER & WASTEWATER COLLECTIONS MANAGER
 6250 PALMER PARK BLVD
 COLORADO SPRINGS, CO 80915
 JSMITH@CHEROKEEMETRO.ORG
 719-597-5080 EXT. 112

GAS
 COLORADO SPRINGS UTILITIES
 ENYSHIA ATENCIO
 111 S. NEVADA AVENUE
 COLORADO SPRINGS, CO 80901
 EATENCIO@CSU.ORG
 719-595-4426

MAGELLAN PIPELINES
 DANIEL RICHESON
 1004 S. SANTA FE AVENUE
 FOUNTAIN, CO 80817
 DANIEL.RICHESON@MAGELLANLP.COM
 719-395-1046

ELECTRIC
 MOUNTAIN VIEW ELECTRIC ASSOCIATION
 LYNN H.
 11140 E. WOODMEN ROAD
 PEYTON, CO 80831
 719-495-2253

PHONE
 CENTURY LINK
 NO CONTACT PROVIDED
 COLORADO SPRINGS, CO 80901
 719-362-5403

(As Surveyed) Property Description

LOT 4, CLAREMONT RANCH FILING NO. 98, COUNTY OF EL PASO, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 BEGINNING AT A POINT ON THE EAST RIGHT OF WAY LINE OF NORTH MARKSHEFFEL ROAD, SAID POINT BEING THE NORTHWEST CORNER OF SAID LOT 4; THENCE NORTH 89 DEGREES 27 MINUTES 22 SECONDS EAST 276.88 FEET TO A POINT; THENCE SOUTH 00 DEGREES 30 MINUTES 29 SECONDS EAST 133.08 FEET TO A POINT; THENCE ALONG A CURVE TO THE RIGHT HAVING AN ARC LENGTH 31.30 FEET, WITH A RADIUS OF 20.00 FEET, WITH A CHORD BEARING AND DISTANCE OF SOUTH 44 DEGREES 34 MINUTES 04 SECONDS WEST, 28.21' TO A POINT; THENCE SOUTH 69 DEGREES 27 MINUTES 30 SECONDS WEST 257.09 FEET TO A POINT ON THE EAST RIGHT OF WAY LINE OF NORTH MARKSHEFFEL ROAD; THENCE ALONG SAID RIGHT OF WAY LINE, NORTH 00 DEGREES 22 MINUTES 03 SECONDS WEST 152.98 FEET BACK TO THE POINT OF BEGINNING; SAID TRACT CONTAINING 42.271 SQUARE FEET OR 0.970 ACRES MORE OR LESS.

Surveyor's Certification

TO:
 O'REILLY AUTO ENTERPRISES, L.L.C., A DELAWARE LIMITED LIABILITY COMPANY; CHICAGO TITLE INSURANCE COMPANY; NATIONAL COMMERCIAL SERVICES COLORADO, A DIVISION OF FIDELITY NATIONAL TITLE.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6(a), 8, 9, 11, 13, 16, 17 AND 18 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON 04/30/2019.

DATE OF PLAT OR MAP: 6/7/2019

BUCKLEY BLEW PL#38540

RECEIVED
 JUL 20 2019
 STATE SURVEYOR'S OFFICE

11166-18-19