

# HANNA

ALL CONSTRUCTION WITHIN EL PASO COUNTY PUBLIC RIGHT-WAYS SHALL BE IN ACCORDANCE WITH CURRENT STANDARDS AND SPECIFICATIONS OF EL PASO COUNTY.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES ALONG THE ROUTE OF THE WORK. THE OMISSION FROM OR THE INCLUSION OF UTILITY LOCATIONS ON THE PLANS IS NOT TO BE CONSIDERED AS THE NONEXISTENCE OF OR A DEFINITE LOCATION OF EXISTING UNDERGROUND UTILITIES.

BEFORE COMMENCING ANY EXCAVATION, CALL **811** FOR EXISTING UTILITY LOCATIONS.

THE CONTRACTOR WILL TAKE THE NECESSARY PRECAUTIONS TO PROTECT EXISTING UTILITIES FROM DAMAGE DUE TO THIS OPERATION. ANY DAMAGE TO THE UTILITIES WILL BE REPAIRED AT THE CONTRACTOR'S EXPENSE, AND ANY SERVICE DISRUPTION WILL BE SETTLED BY THE CONTRACTOR.

ADDITIONAL EROSION CONTROL STRUCTURES MAY BE REQUIRED AT THE TIME OF CONSTRUCTION.

ALL BACKFILL, SUB-BASE AND/OR BASE COURSE (CLASS 6) MATERIAL SHALL BE COMPACTED TO THE SOILS ENGINEER'S RECOMMENDATIONS, AND APPROVED BY EL PASO COUNTY DEVELOPMENT SERVICES ENGINEERING DIVISION.

ALL STATIONING IS CENTERLINE UNLESS OTHERWISE INDICATED. ALL ELEVATIONS ARE FLOWLINE UNLESS OTHERWISE INDICATED.

ALL DISTURBED PAVEMENT EDGES SHALL BE CUT TO NEAT LINES. REPAIR SHALL CONFORM TO THE EPC ECM APPENDIX K - 1.2C.

ALL INTERSECTION ACCESSES TO BE CONSTRUCTED WITH A 25 FOOT SIGHT VISIBILITY TRIANGLES.

ALL CULVERT AND STORM DRAIN PIPES SHALL BE SMOOTH INTERIOR CORRUGATED POLYETHYLENE PIPE (HDPE), REINFORCED CONCRETE PIPE (RCP). ALL CULVERTS SHALL BE PLACED COMPLETE WITH FLARED END SECTIONS. ADEQUACY OF MATERIAL THICKNESS FOR ANY CSP INSTALLED SHALL BE VERIFIED BY OWNER'S GEOTECHNICAL ENGINEER TO SUPPORT MINIMUM 50 YEAR DESIGN LIFE. CULVERTS MUST CONFORM TO EPC ECM SECTION 3.32 - CULVERTS.

ASPHALT THICKNESS AND BASE COURSE THICKNESS (COMPACTED) FOR ROADS SHALL BE PER DESIGN REPORT BY OWNER'S GEOTECHNICAL ENGINEER. OWNER'S GEOTECHNICAL ENGINEER TO BE ON SITE AT TIME OF ROAD CONSTRUCTION TO EVALUATE SOIL CONDITIONS AND DETERMINE IF ADDITIONAL MEASURES ARE NECESSARY TO ASSURE STABILITY OF THE NEW ROADS. PAVEMENT DESIGN SHALL BE APPROVED BY EL PASO COUNTY DEVELOPMENT SERVICES ENGINEERING DIVISION PRIOR TO CONSTRUCTION.

TYPE M RIP-RAP WITH 4" OF TYPE II GRANULAR BEDDING AND MIRAFI 180N OR EQUAL MAY BE SUBSTITUTED WHERE TYPE L RIP-RAP WITH MIRAFI FW 700 OR EQUAL IS SPECIFIED.

ALL MATERIALS AND INSTALLATION PROCEDURES SHALL BE IN COMPLIANCE WITH ANY AND ALL APPLICABLE EL PASO COUNTY STANDARDS.

ALL POTABLE WATER MAINS SHALL BE AWWA C900-CLASS 200 (DR14) PVC WITH PUSH-ON SINGLE GASKET TYPE JOINTS AND SHALL MEET THE REQUIREMENTS OF ANSI/NSF 61.

ALL WATER MAIN FITTINGS SHALL BE MADE FROM GRAY-IRON OR DUCTILE IRON AND FURNISHED WITH MECHANICAL JOINT ENDS. ALL FITTINGS SHALL HAVE A PRESSURE RATING OF 250 PSI AND SHALL MEET THE REQUIREMENTS OF ANSI/NSF 61. ALL FITTINGS SHALL BE WRAPPED WITH A 9-MIL THICKNESS POLYETHYLENE MATERIAL PER AWWA STANDARD C105.

ALL WATER LINE BENDS, TEES, BLOW-OFFS AND PLUGS AT DEAD-END MAINS SHALL BE PROTECTED FROM THRUST BY USING CONCRETE THRUST BLOCKS AND/OR RODDING AND RESTRAINED PIPE.

MAXIMUM DEFLECTION OF 8" x 12" PVC WATER MAIN JOINTS IS 1 DEGREE OR LESS PER THE MANUFACTURERS RECOMMENDATIONS. ADDITIONAL 11.25" OR 22.5" BENDS MAY BE REQUIRED FOR PROPER ALIGNMENT.

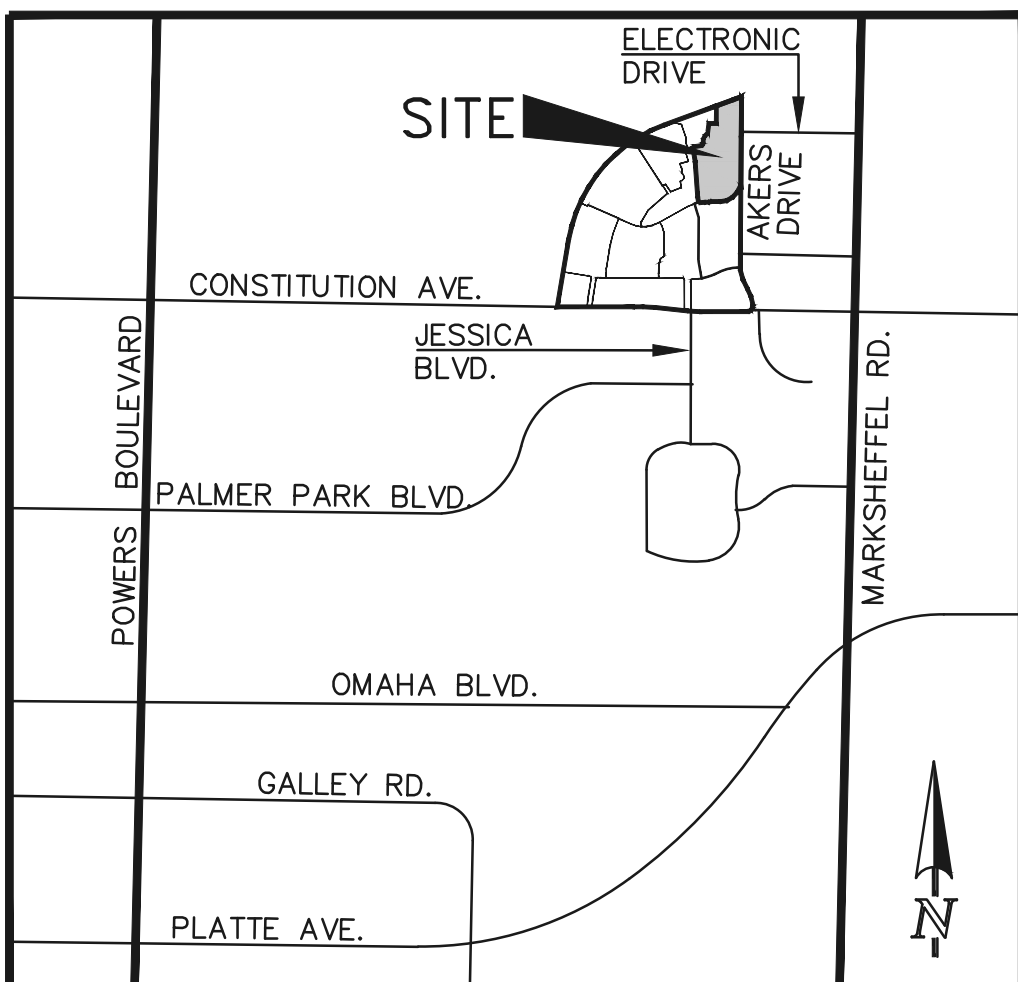
CONTRACTOR IS RESPONSIBLE FOR PROVIDING DETAILED AS-BUILTS OF ALL WATER MAIN, STORM SEW AND SAN. SEW. MAIN INSTALLATIONS, INCLUDING ACCURATE DISTANCES OF MAIN LINES, VALVES, FITTINGS, MANHOLES AND LOCATIONS OF WATER AND SEWER SERVICES.

SANITARY SEWER PIPE AND FITTINGS: PVC 4"-8" ASTM D3034, TYPE PSM, SDR 35: PUSH-ON JOINTS AND MOLDED RUBBER GASKETS MAXIMUM HORIZONTAL DEFLECTION, AFTER INSTALLATION AND BACK-FILLING SHALL NOT EXCEED 3% OF THE PIPE DIAMETER. (MINIMUM CURVE RADIUS FOR 12" AND 15" DIAMETER PIPE SHALL BE WITHIN MANUFACTURERS RECOMMENDATIONS). ALL HORIZONTAL DEFLECTIONS SHALL BE ACCOMPLISHED BY BENDING THE PIPE RATHER THAN DEFLECTING THE PIPE JOINTS.

## COUNTY OF EL PASO, STATE OF COLORADO

SECTION 32, TOWNSHIP 13  
SOUTH, RANGE 65 WEST

## SHEET INDEX



**VICINITY MAP**  
NOT TO SCALE

1. ALL SIGNS AND PAVEMENT MARKINGS SHALL BE IN COMPLIANCE WITH THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
2. REMOVAL OF EXISTING PAVEMENT MARKINGS SHALL BE ACCOMPLISHED BY A METHOD THAT DOES NOT MATERIALLY DAMAGE THE PAVEMENT. THE PAVEMENT MARKINGS SHALL BE REMOVED TO THE EXTENT THAT THEY WILL NOT BE VISIBLE UNDER DAY OR NIGHT CONDITIONS. AT NO TIME WILL IT BE ACCEPTABLE TO PAINT OVER EXISTING PAVEMENT MARKINGS.
3. ANY DEVIATION FROM THE STRIPING AND SIGNING PLAN SHALL BE APPROVED BY EL PASO COUNTY DEVELOPMENT SERVICES.
4. ALL SIGNS SHOWN ON THE SIGNING AND STRIPING PLAN SHALL BE NEW SIGNS. EXISTING SIGNS MAY REMAIN OR BE REUSED IF THEY MEET CURRENT EL PASO COUNTY AND MUTCD STANDARDS.
5. STREET NAME AND REGULATORY STOP SIGNS SHALL BE ON THE SAME POST AT INTERSECTIONS.
6. ALL REMOVED SIGNS SHALL BE DISPOSED OF IN A PROPER MANNER BY THE CONTRACTOR.
7. ALL STREET NAME SIGNS SHALL HAVE "C" SERIES LETTERS, WITH LOCAL ROADWAY SIGNS BEING 4" UPPER-LOWER CASE LETTERING ON 8" BLANK AND COLLECTOR ROADWAY SIGNS BEING 6" LETTERING, UPPER-LOWER CASE ON 12" BLANK, WITH 1/2" WHITE BORDER THAT IS NOT RECESSED.
8. ALL TRAFFIC SIGNS SHALL HAVE A MINIMUM HIGH INTENSITY PRISMATIC GRADE SHEETING.
9. ALL LOCAL RESIDENTIAL STREET SIGNS SHALL BE MOUNTED ON A 1.75" X 1.75" SQUARE TUBE SIGN POST AND STUB POST BASE. FOR OTHER APPLICATIONS, REFER TO THE CDOT STANDARD S-614-8 REGARDING USE OF THE P2 TUBULAR STEEL POST SLIPBASE DESIGN.
10. ALL SIGNS SHALL BE SINGLE SHEET ALUMINUM WITH 0.100" MINIMUM THICKNESS.
11. ALL LIMIT LINES/STOP LINES, CROSSWALK LINES, PAVEMENT LEGENDS, AND ARROWS SHALL BE A MINIMUM 125 MIL THICKNESS PREFORMED THERMOPLASTIC PAVEMENT MARKINGS WITH TAPERED LEADING EDGES PER CDOT STANDARD S-627-1. WORD AND SYMBOL MARKINGS SHALL BE THE NARROW TYPE. STOP BARS SHALL BE 24" IN WIDTH. CROSSWALKS LINES SHALL BE 12" WIDE AND 8' LONG PER CDOT S-627-1.
12. ALL LONGITUDINAL LINES SHALL BE A MINIMUM .50MIL THICKNESS EPOXY PAINT. ALL NON-LOCAL RESIDENTIAL ROADWAYS SHALL INCLUDE BOTH RIGHT AND LEFT EDGE LINE STRIPING AND ANY ADDITIONAL STRIPING AS REQUIRED BY CDOT S-627-1.
13. THE CONTRACTOR SHALL NOTIFY EL PASO COUNTY DEVELOPMENT SERVICES (719) 520-6819 PRIOR TO AND UPON COMPLETION OF SIGNING AND STRIPING.
14. THE CONTRACTOR SHALL OBTAIN A WORK IN THE RIGHT OF WAY PERMIT FROM THE EL PASO COUNTY PUBLIC SERVICE DEPARTMENT (PSD) PRIOR TO ANY SIGNAGE OR STRIPING WORK WITHIN AN EXISTING EL PASO COUNTY ROADWAY.

1. ALL DRAINAGE AND ROADWAY CONSTRUCTION SHALL MEET THE STANDARDS AND SPECIFICATIONS OF THE CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2, AND THE EL PASO COUNTY ENGINEERING CRITERIA MANUAL.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR THE NOTIFICATION AND FIELD NOTIFICATION OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, BEFORE BEGINNING CONSTRUCTION. LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CALL 811 TO CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO (UNCC).
3. CONTRACTOR SHALL KEEP A COPY OF THESE APPROVED PLANS, THE GRADING AND EROSION CONTROL PLAN, THE STORMWATER MANAGEMENT PLAN (SWMP), THE SOILS AND GEOTECHNICAL REPORT, AND THE APPROPRIATE DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS AT THE JOB SITE AT ALL TIMES, INCLUDING THE FOLLOWING:
  - a. EL PASO COUNTY ENGINEERING CRITERIA MANUAL (ECM)
  - b. CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2
  - c. COLORADO DEPARTMENT OF TRANSPORTATION (CDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION
  - d. CDOT M & S STANDARDS
4. NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL VOLUME 2. ANY DEVIATIONS FROM REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING. ANY MODIFICATIONS NECESSARY TO MEET CRITERIA AFTER-THE-FACT WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO RECTIFY.
5. IT IS THE DESIGN ENGINEER'S RESPONSIBILITY TO ACCURATELY SHOW EXISTING CONDITIONS, BOTH ONSITE AND OFFSITE, ON THE CONSTRUCTION PLANS. ANY MODIFICATIONS NECESSARY DUE TO CONFLICTS, OMISSIONS, OR CHANGED CONDITIONS WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO RECTIFY.
6. CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH EL PASO COUNTY DEVELOPMENT SERVICES DEPARTMENT (PDD) – INSPECTIONS, PRIOR TO STARTING CONSTRUCTION.
7. IT IS THE CONTRACTOR'S RESPONSIBILITY TO UNDERSTAND THE REQUIREMENTS OF ALL JURISDICTIONAL AGENCIES AND TO OBTAIN ALL REQUIRED PERMITS, INCLUDING BUT NOT LIMITED TO EL PASO COUNTY STORMWATER QUALITY CONTROL PERMIT (ESQCP), REGIONAL BUILDING FLOODPLAIN DEVELOPMENT PERMIT, U.S. ARMY CORPS OF ENGINEERS—ISSUED 401 AND/OR 404 PERMITS, AND COUNTY AND STATE FUGITIVE DUST PERMITS.
8. CONTRACTOR SHALL NOT DEVIATE FROM THE PLANS WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE DESIGN ENGINEER AND DSD. CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY UPON DISCOVERY OF ANY ERRORS OR INCONSISTENCIES.
9. ALL STORM DRAIN PIPE SHALL BE CLASS III RCP UNLESS OTHERWISE NOTED AND APPROVED BY PCD.
10. CONTRACTOR SHALL COORDINATE GEOTECHNICAL TESTING PER ECM STANDARDS. PAVEMENT DESIGN SHALL BE APPROVED BY EL PASO COUNTY PCD PRIOR TO PLACEMENT OF CURB AND GUTTER AND PAVEMENT.
11. ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE AT APPROVED CONSTRUCTION ACCESS POINTS.
12. SIGHT VISIBILITY TRIANGLES AS IDENTIFIED IN THE PLANS SHALL BE PROVIDED AT ALL INTERSECTIONS. OBSTRUCTIONS GREATER THAN 18 INCHES ABOVE FLOWLINE ARE NOT ALLOWED WITHIN SIGHT TRIANGLES.
13. SIGNING AND STRIPING SHALL COMPLY WITH EL PASO COUNTY DOT AND MUTCD CRITERIA. [IF APPLICABLE, ADDITIONAL SIGNING AND STRIPING NOTES WILL BE PROVIDED.]
14. CONTRACTOR SHALL OBTAIN ANY PERMITS REQUIRED BY EL PASO COUNTY DOT, INCLUDING WORK WITHIN THE RIGHT-OF-WAY AND SPECIAL TRANSPORT PERMITS.
15. THE LIMITS OF CONSTRUCTION SHALL REMAIN WITHIN THE PROPERTY LINE UNLESS OTHERWISE NOTED. THE OWNER/DEVELOPER SHALL OBTAIN WRITTEN PERMISSION AND EASEMENTS, WHERE REQUIRED, FROM ADJOINING PROPERTY OWNER(S) PRIOR TO ANY OFF-SITE DISTURBANCE, GRADING, OR CONSTRUCTION.

<p>48 HOURS BEFORE YOU DIG, CALL UTILITY LOCATORS</p> <p><b>811</b></p> <p>UTILITY NOTIFICATION CENTER OF COLORADO IT'S THE LAW</p> <p>THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE CAUSED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.</p>	<table border="1"> <thead> <tr> <th data-bbox="1355 1804 1605 1813">NO. REVISION</th> <th data-bbox="1605 1804 1919 1813">DATE</th> </tr> </thead> <tbody> <tr> <td data-bbox="1355 1813 1605 1823"></td> <td data-bbox="1605 1813 1919 1823"></td> </tr> <tr> <td data-bbox="1355 1823 1605 1833"></td> <td data-bbox="1605 1823 1919 1833"></td> </tr> </tbody> </table>	NO. REVISION	DATE				
NO. REVISION	DATE						

A #5 REBAR LOCATED APPROXIMATELY 170 FEET NORTHEAST OF THE NORTHEASTERLY CORNER OF TRACTS JJ AS PLATTED IN HANNAH RIDGE AT FEATHERGRASS FILING NO. 1, LABELED AS PANEL POINT #11  
ELEVATION = 6523.79 (NAVD 1929) (FIMS)

BEARING REFERRED TO HEREIN ARE BASED ON THE SOUTH LINE OF TRACT FF, HANNAH RIDGE AT FEATHERGRASS FILING NO. 1. ASSUMED TO BEAR N89°39'18"W MONUMENTED AT EACH END W/ NO. 5 REBAR W/ ALUMIN CAP MARKED "POLARIS, PLS 27605".

**ENGINEER'S STATEMENT:**

DETAILED IMPROVEMENT PLANS AND SPECIFICATIONS ENGINEER'S STATEMENT:

THESE DETAILED PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECTION AND SUPERVISION. SAID PLANS AND SPECIFICATIONS HAVE BEEN PREPARED ACCORDING TO THE CRITERIA ESTABLISHED BY THE COUNTY FOR DETAILED ROADWAY, DRAINAGE, GRADING AND EROSION CONTROL PLANS AND SPECIFICATIONS, AND SAID PLANS AND SPECIFICATIONS ARE IN CONFORMITY WITH APPLICABLE MASTER DRAINAGE PLANS AND MASTER TRANSPORTATION PLANS. SAID PLANS AND SPECIFICATIONS MEET THE PURPOSES FOR WHICH THE PARTICULAR ROADWAY AND DRAINAGE FACILITIES ARE DESIGNED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS, ERRORS, OR OMISSIONS ON MY PART IN PREPARATION OF THESE DETAILED PLANS AND SPECIFICATIONS.

PLAN HAS BEEN PREPARED ACCORDING TO THE CRITERIA ESTABLISHED BY THE COUNTY FOR GRADING AND EROSION CONTROL PLANS.

I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS, ERRORS OR OMISSIONS ON MY PART IN PREPARING THIS PLAN

KYLE R. CAMPBELL, COLORADO P.E. #29794  
FOR AND ON THE BEHALF OF CLASSIC CONSULTING ENGINEERS & SURVEYORS

THE OWNER WILL COMPLY WITH THE REQUIREMENTS OF THE DRAINAGE REPORT AND PLAN AND THIS SET OF CONSTRUCTION DOCUMENTS. THE OWNER WILL COMPLY WITH THE REQUIREMENTS OF THE GRADING AND EROSION CONTROL PLAN.

DOUGLAS M. STIMPLE  
ELITE PROPERTIES OF AMERICA, INC.

**EL PASO COUNTY:**

COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS, AND/OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE COUNTY THROUGH THE APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY FOR COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT.

FILED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, DRAINAGE CRITERIA, AND ENGINEERING CRITERIA MANUAL AS AMENDED


JENNIFER IRVINE, P.E.  
COUNTY ENGINEER / ECM ADMINISTRATOR

ALL FIRE HYDRANTS SHALL BE INSTALLED ACCORDING TO THE FALCON FIRE PROTECTION DISTRICT SPECIFICATIONS. THE NUMBER OF FIRE HYDRANTS AND HYDRANT LOCATIONS AS SHOWN ON THIS WATER INSTALLATION PLAN ARE CORRECT AND ADEQUATE TO SATISFY THE FIRE PROTECTION REQUIREMENTS AS SPECIFIED BY THE FALCON FIRE PROTECTION DISTRICT.

FOR AND ON BEHALF OF FALCON FIRE PROTECTION DISTRICT

<b>CHEROKEE METROPOLITAN DISTRICT</b> <b>WATER PLAN DESIGN APPROVAL</b>	<b>CHEROKEE METROPOLITAN DISTRICT</b> <b>WATER PLAN DESIGN APPROVAL</b>
APPROVED BY: _____ DATE: _____ APPROVAL EXPIRES ONE (1) YEAR FROM THE DATE ABOVE AND RESUBMITTAL OF THESE PLANS FOR REVIEW AND APPROVAL IS REQUIRED IF CONSTRUCTION DOES NOT BEGIN DURING THIS PERIOD	APPROVED BY: _____ DATE: _____ APPROVAL EXPIRES ONE (1) YEAR FROM THE DATE ABOVE AND RESUBMITTAL OF THESE PLANS FOR REVIEW AND APPROVAL IS REQUIRED IF CONSTRUCTION DOES NOT BEGIN DURING THIS PERIOD

SF-18-038

 <p><b>CLASSIC<sup>SM</sup></b> CONSULTING ENGINEERS &amp; SURVEYORS</p>	<p><b>HANNAH RIDGE AT FEATHERGRASS</b> <b>FILING NO. 5</b></p> <p>CONSTRUCTION DRAWINGS</p> <p>TITLE SHEET</p>
	<p>10/12/18</p>

DESIGNED BY	KRC	SCALE	DATE
DRAWN BY	KC	(H) 1"=VARIES	SHEET 1 OF 11
CHECKED BY	(V) 1"=	NA	JOB NO. 1116.05



**BMP NOTES:**

- (1) EXISTING VEGETATION CONSISTS OF NATIVE GRASSES AND SCATTERED SHRUBS.
- (2) EXISTING SANITARY SEWER MAINLINE IS LOCATED WITHIN THE LIMITS OF ON-SITE GRADING.
- (3) CONCRETE WASHOUT LOCATION PER FILING TO BE DETERMINED BY DEVELOPER/CONTRACTOR.
- (4) DIVERSION SWALES AND EARTH DIKES TO BE INSTALLED BY DEVELOPER / CONTRACTOR IN LOCATIONS THAT WON'T CONFLICT WITH SEWER, WATER AND STORM SEWER MAINLINE INSTALLATIONS.
- (5) IF DISTURBANCE TO ROADWAY BMP'S OCCUR DURING UTILITY CONSTRUCTION, THE CONTRACTOR WILL IMMEDIATELY REPAIR / REPLACE BMP'S.

**NOTES:**

AT LEAST TEN DAYS PRIOR TO THE ANTICIPATED START OF CONSTRUCTION, FOR PROJECTS THAT WILL DISTURB 1 ACRE OR MORE, THE OWNER OR OPERATOR OF THE CONSTRUCTION ACTIVITY SHALL SUBMIT A PERMIT APPLICATION FOR STORMWATER DISCHARGE TO THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT, WATER QUALITY DIVISION. THE APPLICATION CONTAINS CERTIFICATION OF COMPLETION OF A STORMWATER MANAGEMENT PLAN (SWMP), OF WHICH THIS GRADING AND EROSION CONTROL PLAN MAY BE A PART. FOR INFORMATION OR APPLICATION MATERIALS CONTACT:

COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT  
WATER QUALITY CONTROL DIVISION  
WOOD - PERMITS  
4300 CHERRY CREEK DRIVE SOUTH  
DENVER, CO 80246-1530  
ATTN: PERMITS UNIT

NO PORTION OF THIS SITE IS LOCATED WITHIN A FLOODPLAIN AS DETERMINED BY THE FLOOD INSURANCE RATE MAPS (F.I.R.M.) MAP NUMBER 08041C0752F AND EFFECTIVE DATE, MARCH 17, 1997.

THE AVERAGE SOIL CONDITION REFLECTS PRING COURSE SANDY LOAM AS DETERMINED BY THE "SOIL SURVEY OF EL PASO COUNTY AREA" PREPARED BY THE U.S. SOIL CONSERVATION SERVICE.

EXISTING VEGETATION CONSISTS OF TALL NATIVE GRASSES AND WEEDS WITH SPORADIC CACTI AND YUCCAS THROUGH-OUT THE SITE.

EMERGENCY OVERFLOW SWALES FOR INLETS IN THE INTERIM UNTIL CURB AND ASPHALT IS INSTALLED WILL BE THE LOTS, FINAL WILL BE TO OVERTOP THE HIGH POINT IN ROADWAY TO THE NEXT AVAILABLE INLET OR TO PROPOSED POND.

STOCKPILE LOCATIONS FOR HOMEBUILDING TO BE ON EACH INDIVIDUAL LOT THAT IS BEING BUILT UPON.

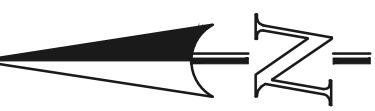
LIMITS OF DISTURBANCE FOR THIS PLAN INCLUDE UTILITY INSTALLATION AND ROADWAY CONSTRUCTION WITHIN THE R.O.W., AND OVERLOT GRADING FOR DEVELOPMENT THEN INDIVIDUAL LOTS FOR HOMEBUILDING ONCE CONSTRUCTION OF THE HOME BEGINS.

GRADING WITHIN THIS PHASE WILL BE FULLY DEVELOPED WITH HOME BUILDING OPERATIONS.

LOCATION OF STORAGE FOR MAINTENANCE EQUIPMENT AND TEMPORARY DISPOSAL AREAS WILL BE ADDED TO THIS PLAN BY SWMP ADMINISTRATOR UPON COORDINATION WITH SELECTED CONTRACTOR.

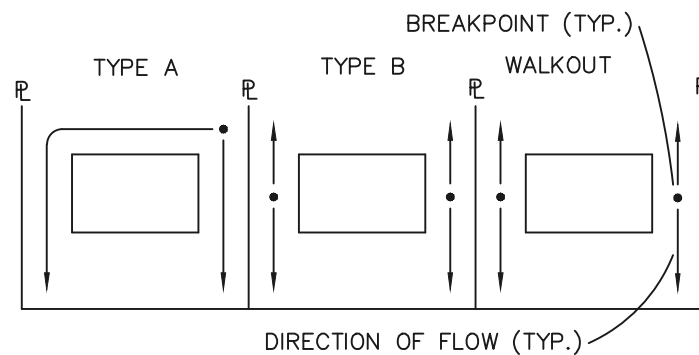
ALL AREAS ARE TO BE RESEEDED OUTSIDE OF THE FILING NO. 5, 6 AND 7 AREA. RESEED ALL AREAS AS NEEDED TO PREVENT EROSION AND SEDIMENT RUNOFF ONTO CONSTRUCTION ACTIVITIES.

ALL RETAINING WALLS TO BE STACKED BLOCK WALLS. BUILDING PERMIT REQUIRED FOR WALLS 4' OR TALLER.



50 25 0 50 100

SCALE: 1" = 50'



**LOT DRAINAGE TYPES**

**NOTE:**  
SIDE LOT LINE SWALES ARE REQUIRED FOR ALL LOTS.

THE PROPOSED CHANNEL IMPROVEMENTS AND CONCRETE BOX CULVERT WILL BE INSTALLED WITHIN THE FILING NO. 5 CDS. THE PROPOSED STORMWATER QUALITY FACILITY WILL BE INSTALLED WITHIN THE FILING NO. 7 CDS. THE FILING NO. 6 CDS DO NOT INCLUDE STORM SEWER IMPROVEMENTS. FILING NO. 5, 6 AND 7 WILL BE OVERLOT GRADED CONCURRENTLY. FILING NO. 7 WILL BE CONSTRUCTED INITIALLY IN 3 SEPARATE PHASES (SWQ FACILITY INSTALLED WITHIN PHASE 1). FILING NO. 6 WILL BE CONSTRUCTED FOLLOWING PHASE 3, FILING NO. 7, FILING NO. 5 WILL BE CONSTRUCTED FOLLOWING FILING NO. 6.

LOCATION OF STAGING AREAS, STORAGE FOR MAINTENANCE EQUIPMENT, CONCRETE WASHOUT AREAS AND TEMPORARY DISPOSAL AREAS WILL BE ADDED TO THIS PLAN BY SWMP ADMINISTRATOR UPON COORDINATION WITH SELECTED CONTRACTOR AND SHALL BE WITHIN CONSTRUCTION SITE BOUNDARIES AS SHOWN.

**LEGEND**

— (6770) —	EXISTING CONTOUR		PROPOSED RETAINING WALL
— 6770 —	PROPOSED CONTOUR		TEMPORARY SEDIMENT BASIN
- - - - -	FILING LINE		SILT FENCE
- - - - -	BOUNDARY/R.O.W. LINE		INLET PROTECTION
→	EXISTING FLOW DIRECTION		VEHICLE TRACKING CONTROL
→	PROPOSED FLOW		
"A"	A LOT		
"B"	B LOT		
"W/O"	WALKOUT LOT		
"T"	TRANSITION LOT		
"G"	GARDEN LOT		
	PROPOSED INLET		
— — — — —	PROPOSED STORM SEWER PIPE		
HP	PROPOSED HIGH POINT		
LP	PROPOSED LOW POINT		

**NOTE:**  
SEE SHEET 5 FOR LOT TEMPLATES  
SEE SHEET 5 FOR EROSION CONTROL DETAILS

**SF-18-038, 039, 040**

48 HOURS BEFORE YOU DIG, CALL UTILITY LOCATORS <b>811</b> UTILITY NOTIFICATION CENTER OF COLORADO ITS THE LAW		NO. REVISION	DATE	REVIEW:	 619 N. Cascade Avenue, Suite 200 Colorado Springs, Colorado 80903 (719)785-0790 (719)785-0799(Fax)	HANNAH RIDGE AT FEATHERGRASS FILING NO. 5, 6 & 7 OVERLOT GRADING AND EROSION CONTROL PLAN				
THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE CAUSED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.				PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF CLASSIC CONSULTING ENGINEERS AND SURVEYORS, LLC		DESIGNED BY	KRC	SCALE	DATE	10/12/18
				KYLE R. CAMPBELL, COLORADO P.E. #29794		DRAWN BY	KC	(H) 1"= 50'	SHEET	2 OF 11
						CHECKED BY	(V) 1"= NA	JOB NO.	1116.05	



**BMP NOTES:**

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EXISTING VEGETATION CONSISTS OF TALL NATIVE GRASSES AND WEEDS WITH SPORADIC CACTI AND YUCCAS THROUGH-OUT THE SITE.

EMERGENCY OVERFLOW SWALES FOR INLETS IN THE INTERIM UNTIL CURB AND ASPHALT IS INSTALLED WILL BE THE LOTS, FINAL WILL BE TO OVERTOP THE HIGH POINT IN ROADWAY TO THE NEXT AVAILABLE INLET OR TO PROPOSED POND.

STOCKPILE LOCATIONS FOR HOMEBUILDING TO BE ON EACH INDIVIDUAL LOT THAT IS BEING BUILT UPON.

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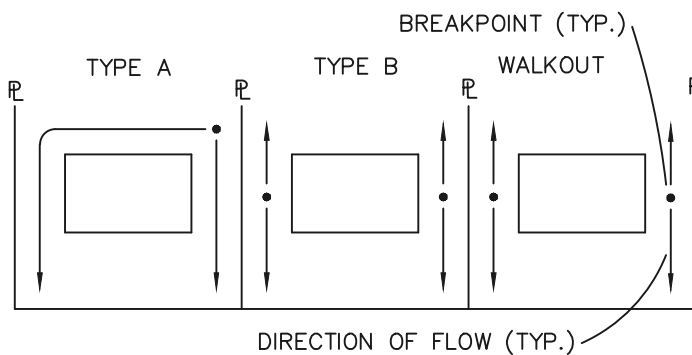
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ALL RETAINING WALLS TO BE STACKED BLOCK WALLS. BUILDING PERMIT REQUIRED FOR WALLS 4' OR TALLER.



50 25 0 50 100

SCALE: 1" = 50'



**LOT DRAINAGE TYPES**

**NOTE:**

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**LEGEND**

- |        |                           |  |                          |
|--------|---------------------------|--|--------------------------|
| (6770) | EXISTING CONTOUR          |  | PROPOSED RETAINING WALL  |
| 6770   | PROPOSED CONTOUR          |  | TEMPORARY SEDIMENT BASIN |
| ---    | FILING LINE               |  | SILT FENCE               |
| ---    | BOUNDARY/R.O.W. LINE      |  | INLET PROTECTION         |
| →      | EXISTING FLOW DIRECTION   |  | VEHICLE TRACKING CONTROL |
| →      | PROPOSED FLOW             |  | STRAW BALE BARRIER       |
| "A"    | A LOT                     |  |                          |
| "B"    | B LOT                     |  |                          |
| "W/O"  | WALKOUT LOT               |  |                          |
| "T"    | TRANSITION LOT            |  |                          |
| "G"    | GARDEN LOT                |  |                          |
|        | PROPOSED INLET            |  |                          |
| ---    | PROPOSED STORM SEWER PIPE |  |                          |
| HP     | PROPOSED HIGH POINT       |  |                          |
| LP     | PROPOSED LOW POINT        |  |                          |

**NOTE:**

SEE SHEET 5 FOR LOT TEMPLATES  
SEE SHEET 5 FOR EROSION CONTROL DETAILS

SF-18-038, 039, 040

48 HOURS BEFORE YOU DIG,  
CALL UTILITY LOCATORS

**811**

UTILITY NOTIFICATION CENTER OF COLORADO  
IT'S THE LAW

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NO. REVISION

DATE

REVIEW:

PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF  
CLASSIC CONSULTING ENGINEERS AND SURVEYORS, LLC

KYLE R. CAMPBELL, COLORADO P.E. #29794

DATE

**CLASSIC**  
CONSULTING  
ENGINEERS & SURVEYORS

619 N. Cascade Avenue, Suite 200  
Colorado Springs, Colorado 80903

(719)785-0790  
(719)785-0799(Fax)

HANNAH RIDGE AT FEATHERGRASS  
FILING NO. 5, 6 & 7

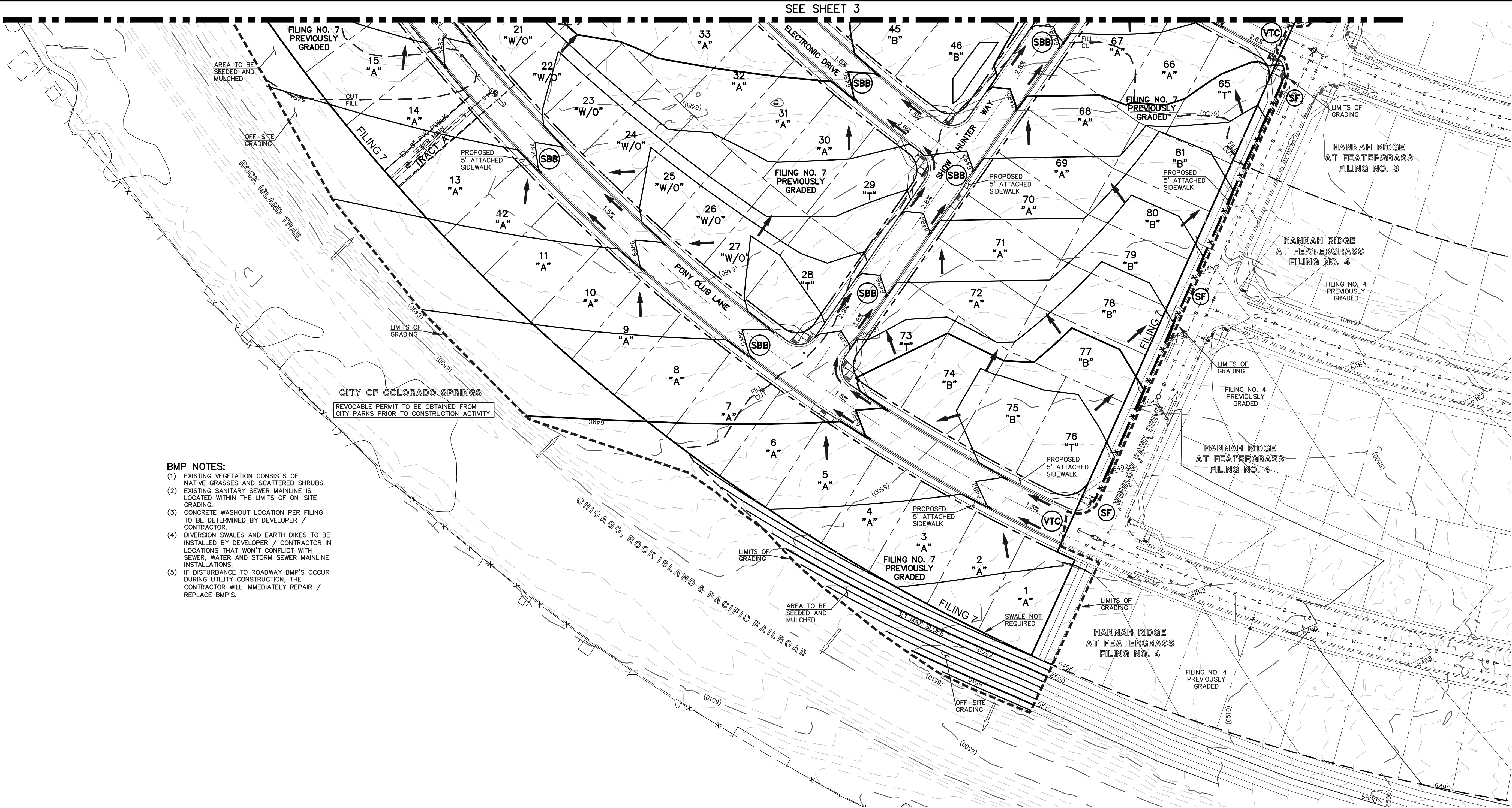
OVERLOT GRADING AND EROSION CONTROL PLAN

DESIGNED BY	KRC	SCALE	DATE	10/12/18
DRAWN BY	KC	(H) 1"= 50'	SHEET	3 OF 11
CHECKED BY		(V) 1"= NA	JOB NO.	1116.05

**CLASSIC**  
ENGINEERS & SURVEYORS



N:\11165\DRAWINGS\CONSTRUCTION\FILING 5\04-11165-01-G-03.dwg, 2/22/2019 1:27:28 PM, 1:1



- BMP NOTES:**
- (1) EXISTING VEGETATION CONSISTS OF NATIVE GRASSES AND SCATTERED SHRUBS.
  - (2) EXISTING SANITARY SEWER MAINLINE IS LOCATED WITHIN THE LIMITS OF ON-SITE GRADING.
  - (3) CONCRETE WASHOUT LOCATION PER FILING TO BE DETERMINED BY DEVELOPER / CONTRACTOR.
  - (4) DIVERSION SWALES AND EARTH DIKES TO BE INSTALLED BY DEVELOPER / CONTRACTOR IN LOCATIONS THAT WON'T CONFLICT WITH SEWER, WATER AND STORM SEWER MAINLINE INSTALLATIONS.
  - (5) IF DISTURBANCE TO ROADWAY BMP'S OCCUR DURING UTILITY CONSTRUCTION, THE CONTRACTOR WILL IMMEDIATELY REPAIR / REPLACE BMP'S.

**CITY OF COLORADO SPRINGS**  
REVOCABLE PERMIT TO BE OBTAINED FROM CITY PARKS PRIOR TO CONSTRUCTION ACTIVITY

**NOTES:**

AT LEAST TEN DAYS PRIOR TO THE ANTICIPATED START OF CONSTRUCTION, FOR PROJECTS THAT WILL DISTURB 1 ACRE OR MORE, THE OWNER OR OPERATOR OF THE CONSTRUCTION ACTIVITY SHALL SUBMIT A PERMIT APPLICATION FOR STORMWATER DISCHARGE TO THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT, WATER QUALITY DIVISION. THE APPLICATION CONTAINS CERTIFICATION OF COMPLETION OF A STORMWATER MANAGEMENT PLAN (SWMP), OF WHICH THIS GRADING AND EROSION CONTROL PLAN MAY BE A PART. FOR INFORMATION OR APPLICATION MATERIALS CONTACT:

COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT  
WATER QUALITY CONTROL DIVISION  
WOOD - PERMITS  
4300 CHERRY CREEK DRIVE SOUTH  
DENVER, CO 80246-1530  
ATTN: PERMITS UNIT

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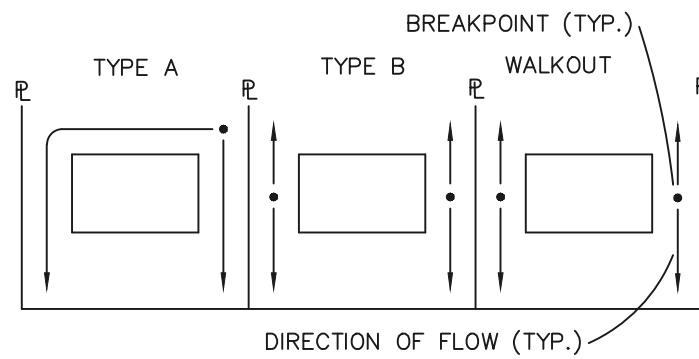
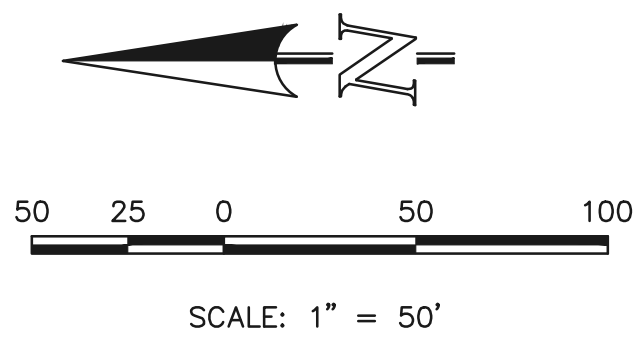
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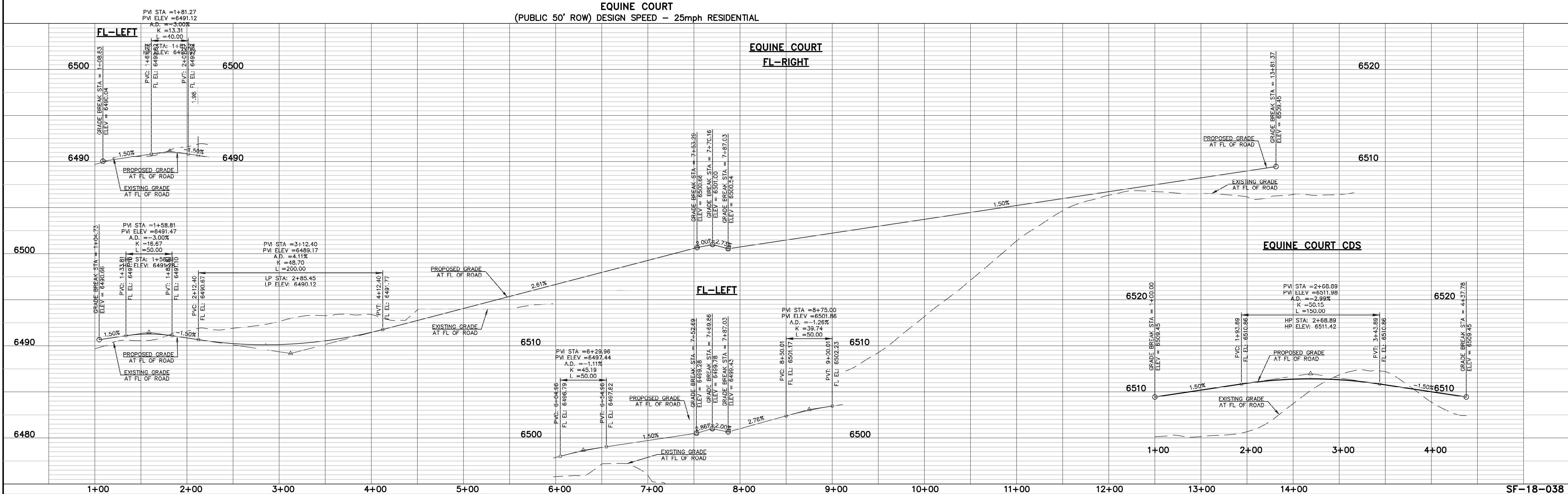
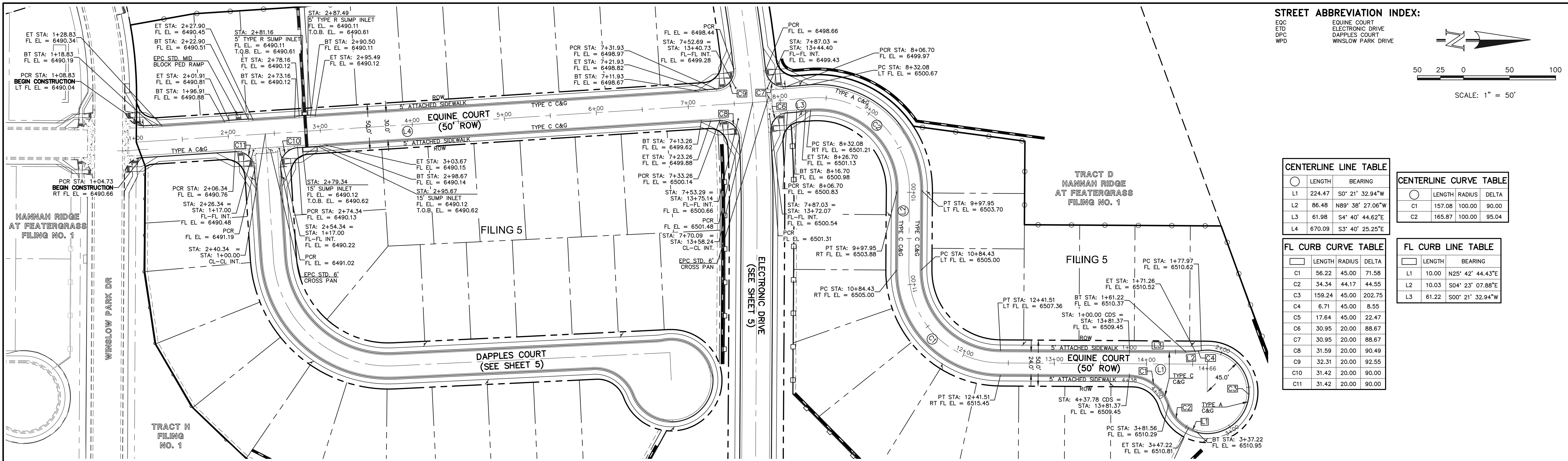
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SEE SHEET 5 FOR LOT TEMPLATES  
SEE SHEET 5 FOR EROSION CONTROL DETAILS  
**SF-18-038, 039, 040**

<b>48 HOURS BEFORE YOU DIG, CALL UTILITY LOCATORS</b> <b>811</b> UTILITY NOTIFICATION CENTER OF COLORADO IT'S THE LAW <small>THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE CAUSED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.</small>	<table><thead><tr><th>NO.</th><th>REVISION</th><th>DATE</th></tr></thead><tbody><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr></tbody></table>	NO.	REVISION	DATE																<p>REVIEW:</p> <p>PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF CLASSIC CONSULTING ENGINEERS AND SURVEYORS, LLC</p> <p>KYLE R. CAMPBELL, COLORADO P.E. #29794      DATE</p>	<div><p><b>CLASSIC</b> CONSULTING ENGINEERS &amp; SURVEYORS</p><p>619 N. Cascade Avenue, Suite 200 Colorado Springs, Colorado 80903 (719)785-0790 (719)785-0799(Fax)</p></div> <table><thead><tr><th>DESIGNED BY</th><th>KRC</th><th>SCALE</th><th>DATE</th><th>10/12/18</th></tr><tr><th>DRAWN BY</th><th>KC</th><th>(H) 1"= 50'</th><th>SHEET</th><th>4 OF 11</th></tr><tr><th>CHECKED BY</th><th>(V) 1"= NA</th><th>JOB NO.</th><th>1116.05</th><th></th></tr></thead></table>	DESIGNED BY	KRC	SCALE	DATE	10/12/18	DRAWN BY	KC	(H) 1"= 50'	SHEET	4 OF 11	CHECKED BY	(V) 1"= NA	JOB NO.	1116.05		<p><b>HANNAH RIDGE AT FEATHERGRASS</b> <b>FILING NO. 5, 6 &amp; 7</b> <b>OVERLOT GRADING AND EROSION CONTROL PLAN</b></p>
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KYLE R. CAMPBELL, COLORADO P.E. #29794

DATE

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CONSULTING  
ENGINEERS & SURVEYORS

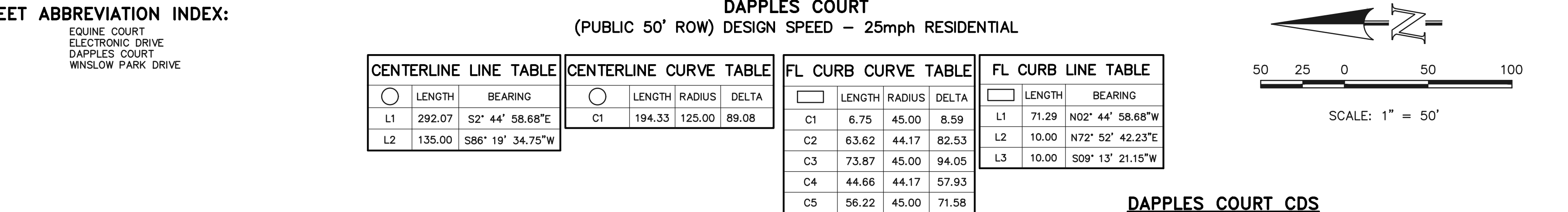
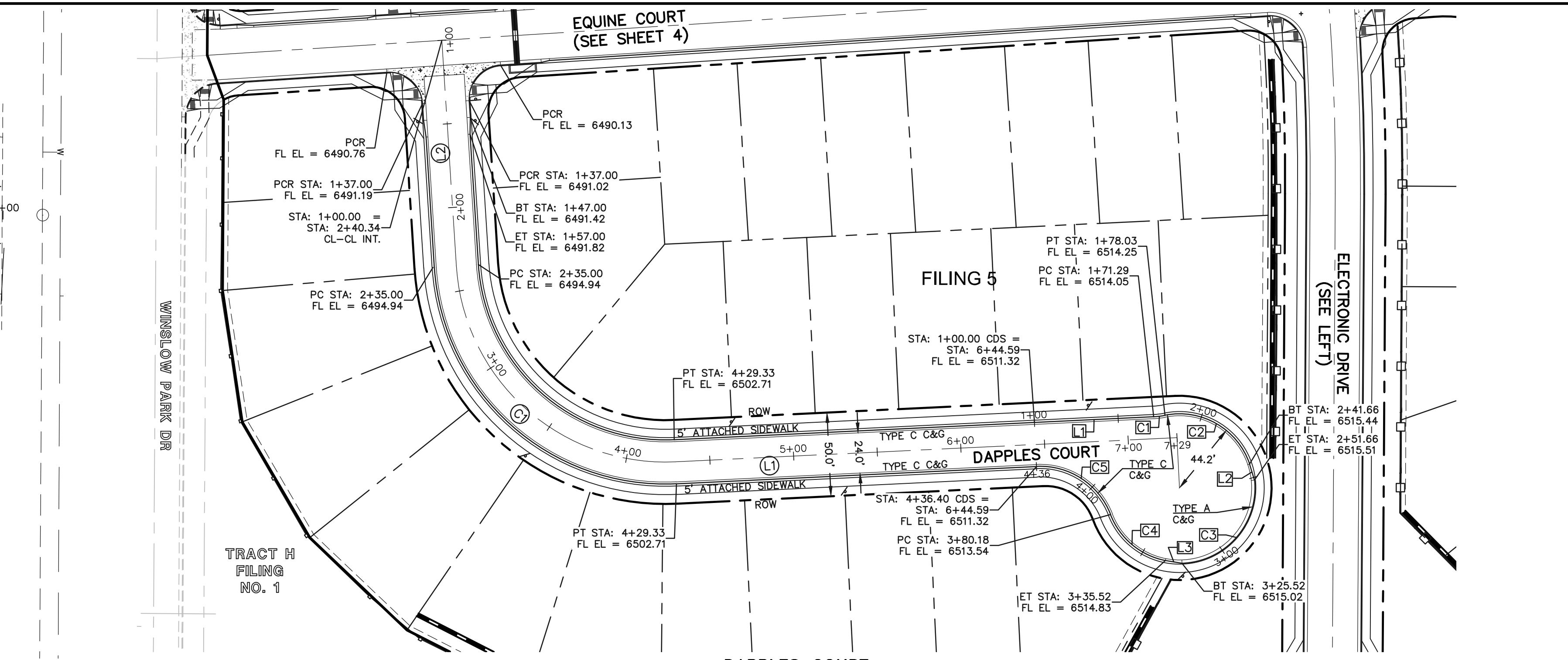
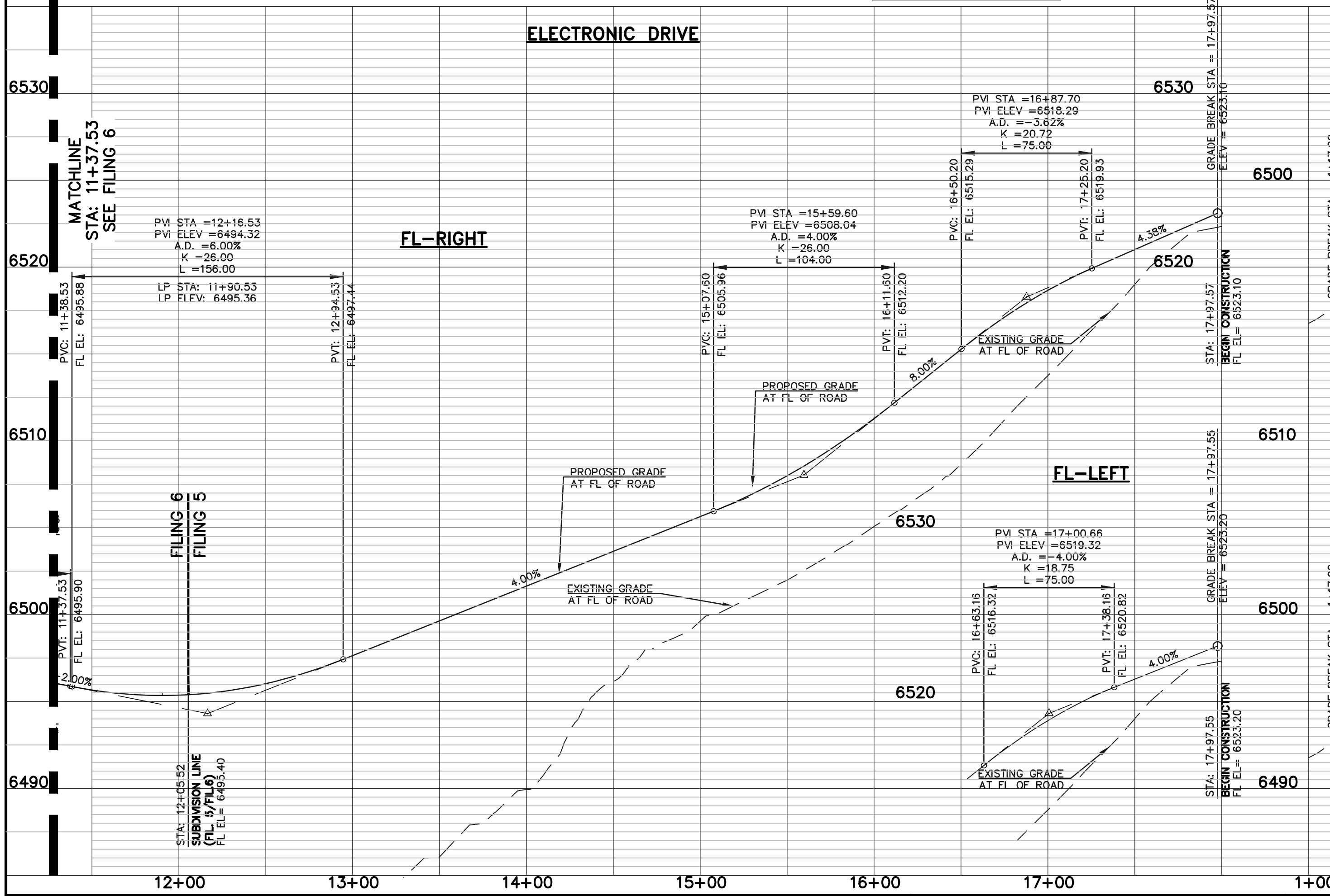
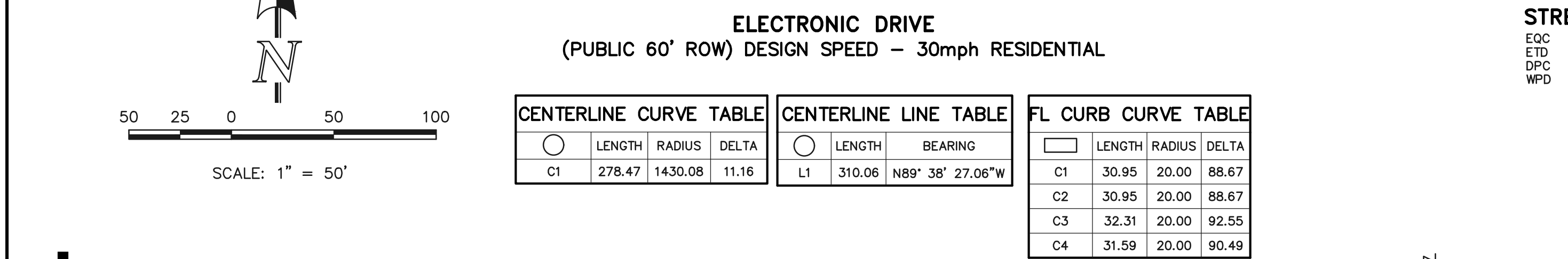
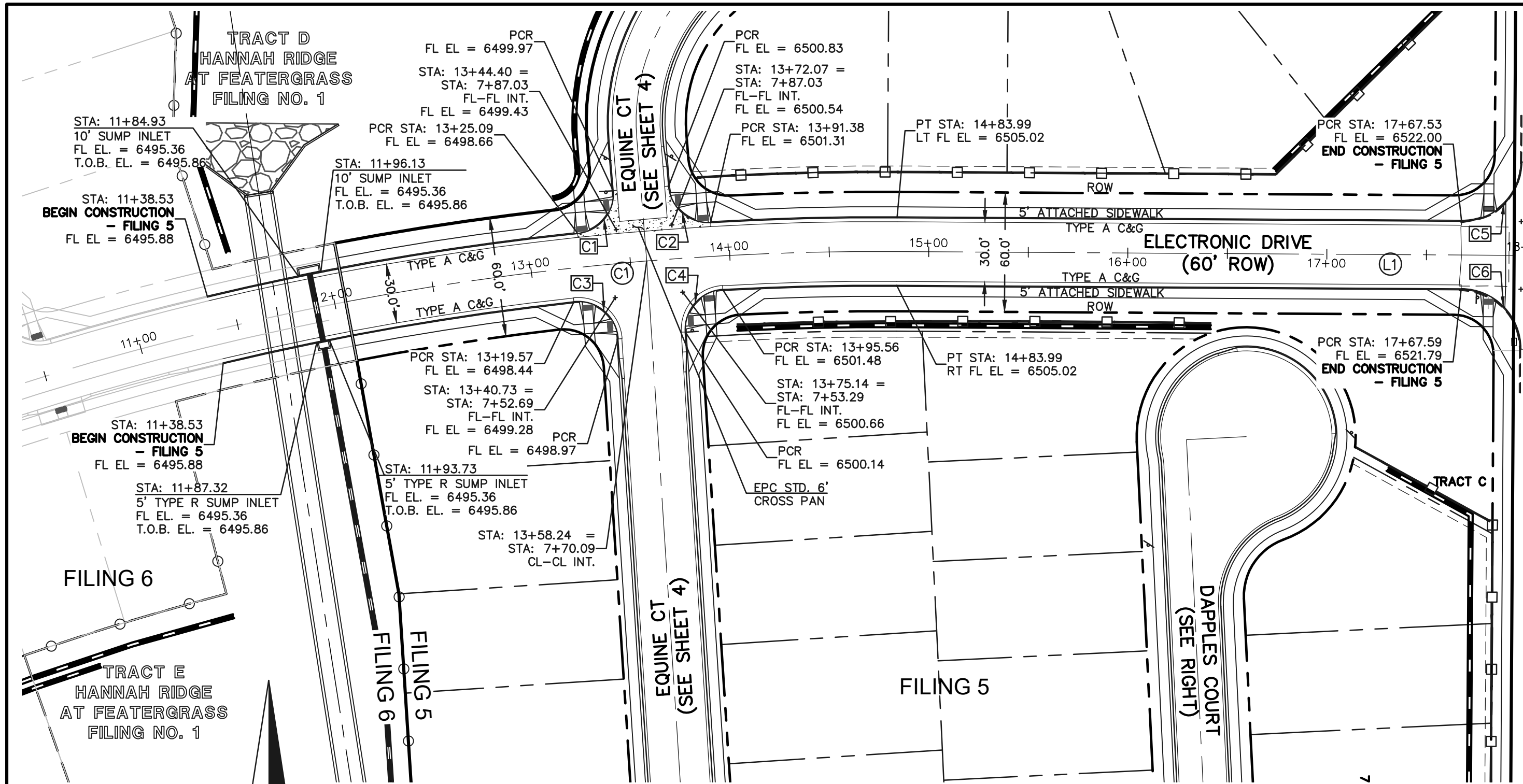
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Colorado Springs, Colorado 80903  
(719)785-0790  
(719)785-0799(Fax)

HANNAH RIDGE AT FEATHERGRASS  
FILING NO. 5  
STREET IMPROVEMENT PLANS  
EQUINE COURT

DESIGNED BY	KRC	SCALE	DATE	10/12/18
DRAWN BY	KC	(H) 1"= 50'	SHEET	6 OF 11
CHECKED BY	(V) 1"= 5'	JOB NO.	1116.05	

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HANNAH RIDGE AT FEATHERGRASS  
FILING NO. 5  
STREET IMPROVEMENT PLANS  
ELECTRONIC DRIVE/DAPPLES COURT

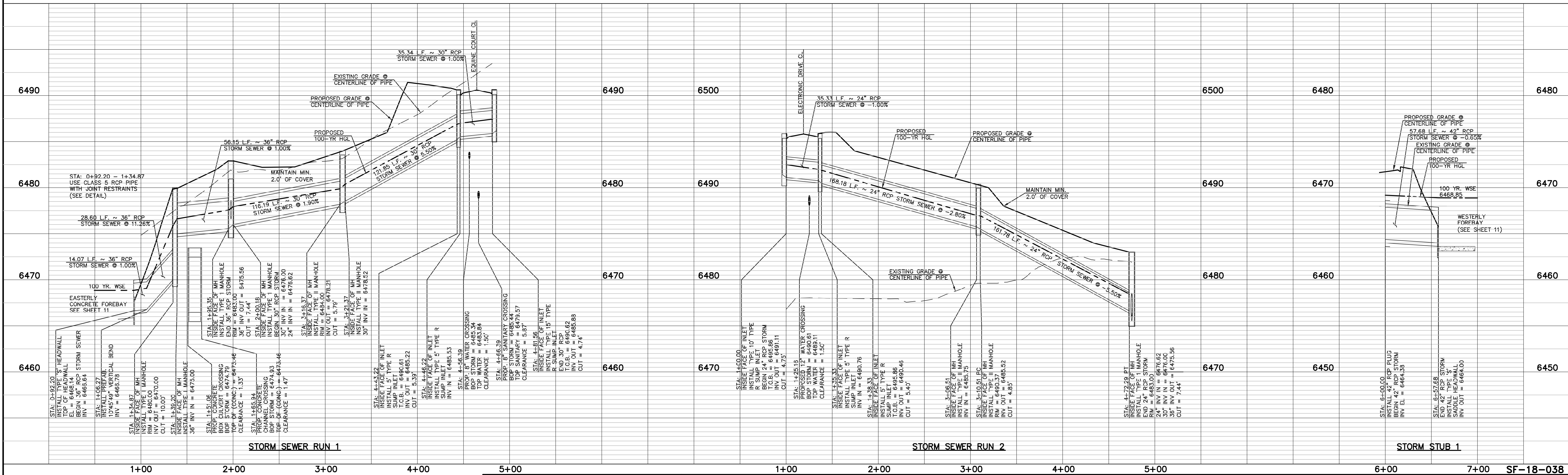
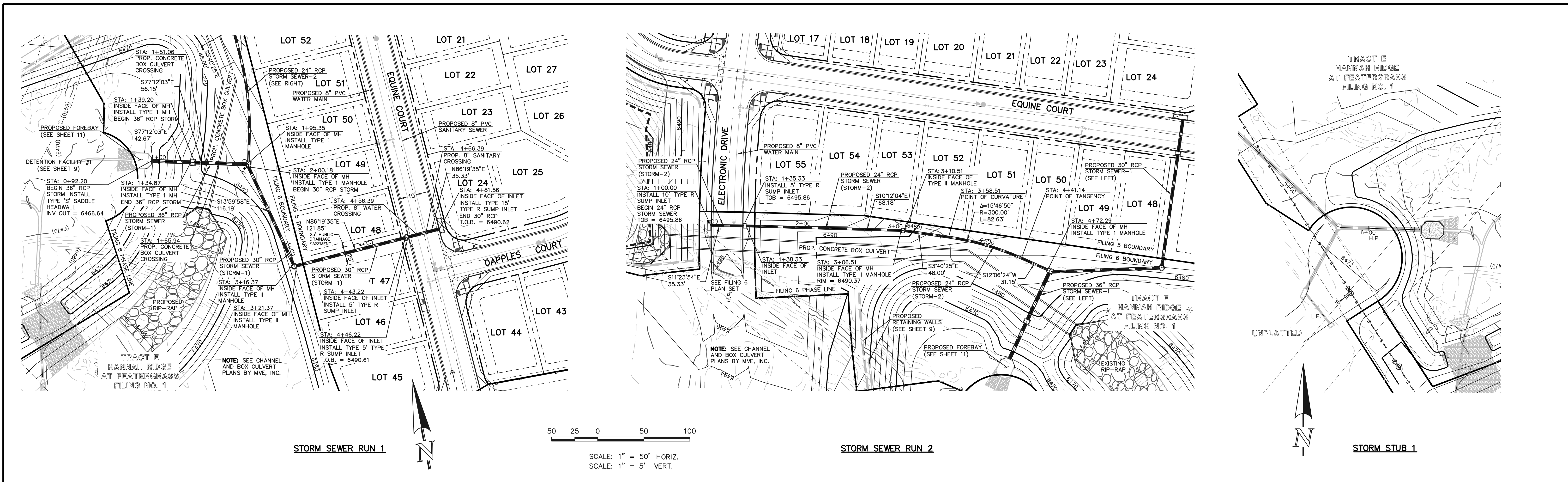
DESIGNED BY	KRC	SCALE	DATE
DRAWN BY	KC	(H) 1"= 50'	10/12/18
CHECKED BY	(V) 1"= NA	SHEET 7 OF 11	JOB NO. 1116.05

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**LEGEND**

PROPOSED FIRE HYDRANT	EXISTING FIRE HYDRANT
PROPOSED WATER MAIN	EXISTING WATER MAIN
PROPOSED SANITARY SEWER MAIN	EXISTING SANITARY SEWER MAIN
PROPOSED STORM SEWER	EXISTING STORM SEWER
PROPOSED STORM INLET	EXISTING STORM INLET
ROW/BOUNDARY LINE	EXISTING GAS MAIN
	EXISTING ELECTRIC

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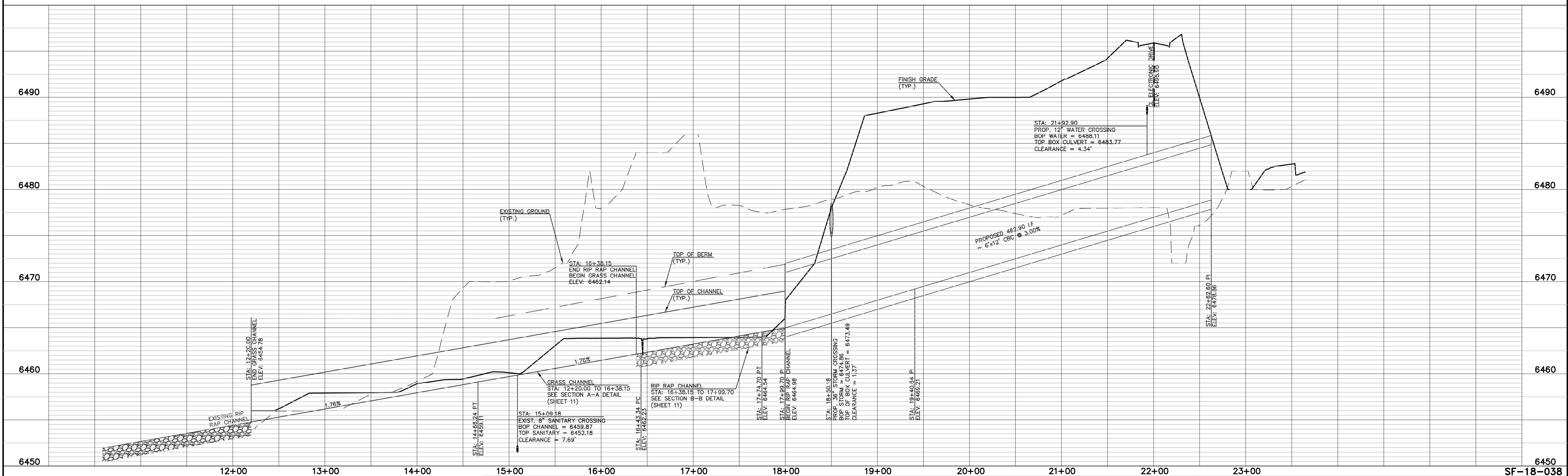
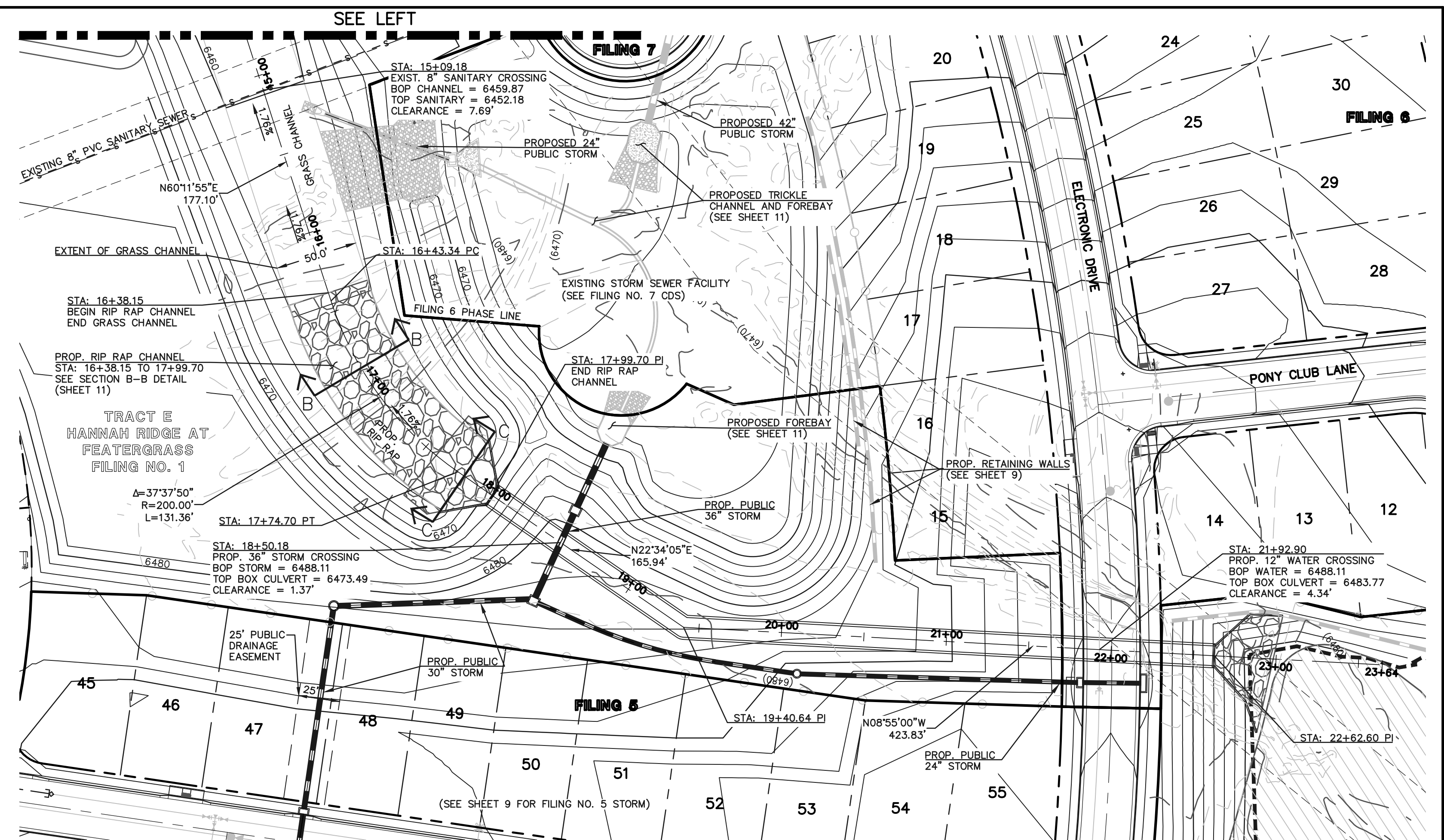
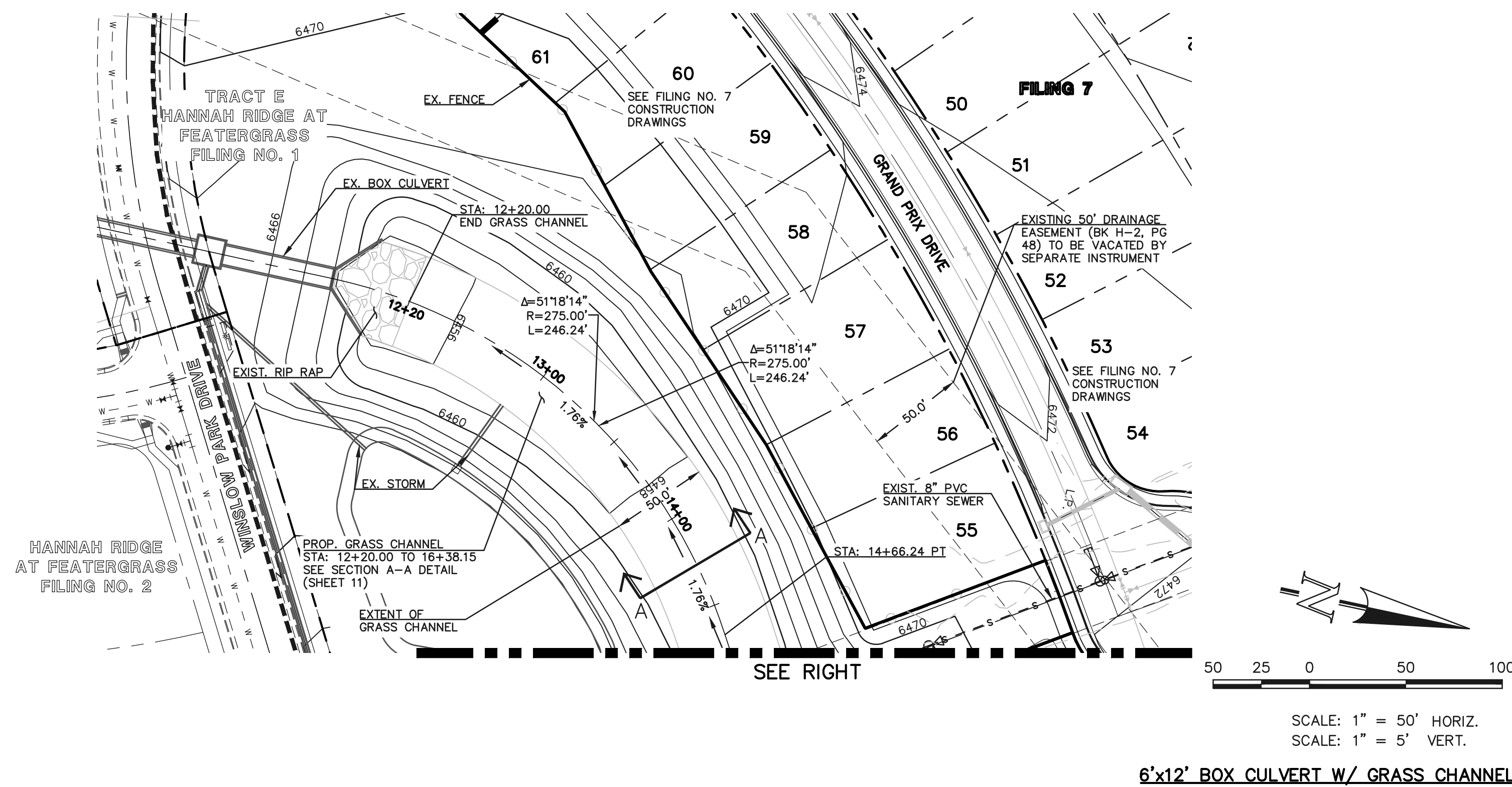
(719)785-0790  
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**HANNAH RIDGE AT FEATHERGRASS**  
FILING NO. 5  
PUBLIC STORM SEWER PLANS

DESIGNED BY	MAW	SCALE	DATE
DRAWN BY	ESO	(H) 1"= 50'	10/12/18
CHECKED BY	(V) 1"= NA	SHEET 9 OF 11	JOB NO. 1116.05

SF-18-038

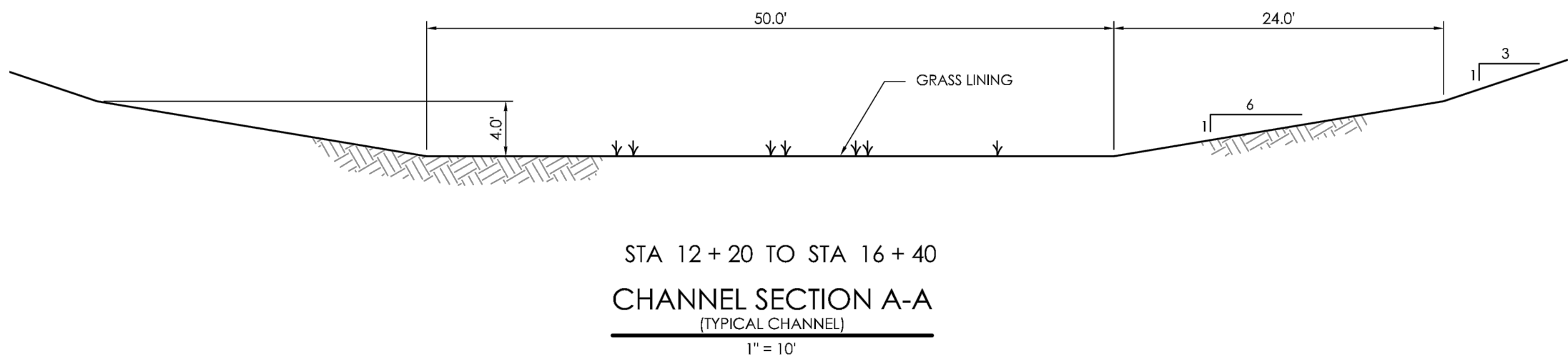




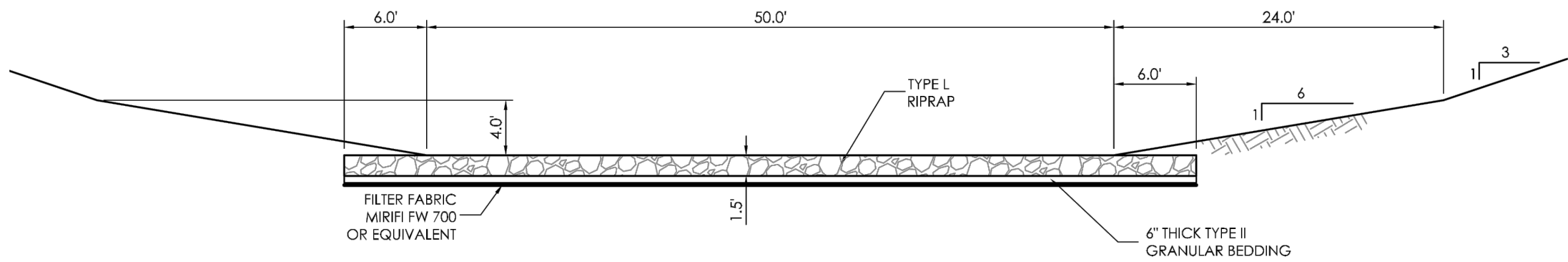
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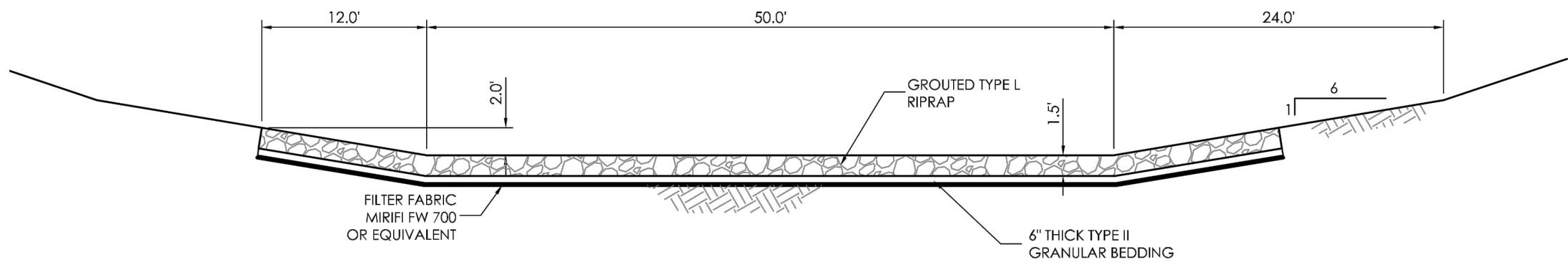
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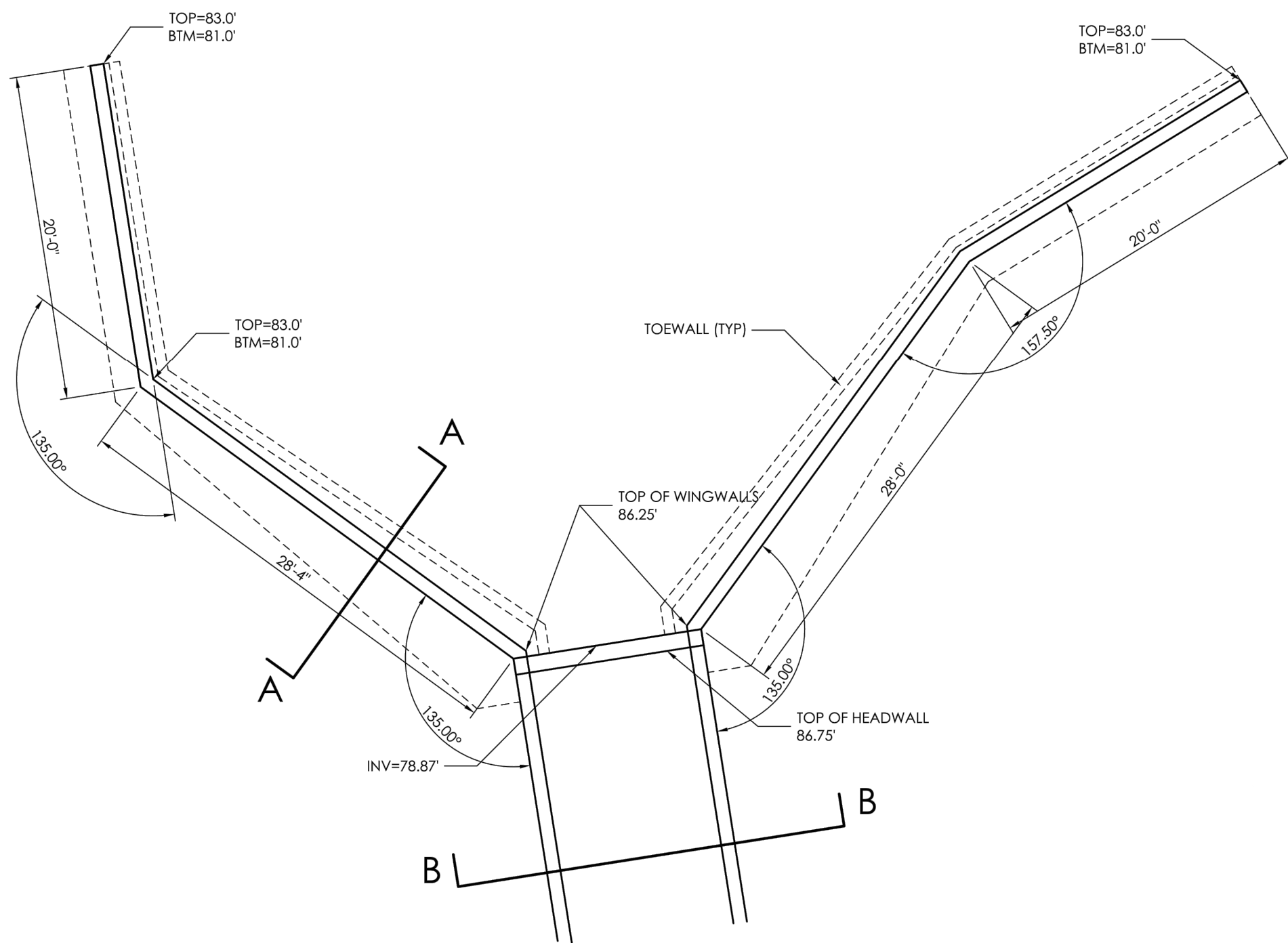
STA 12+20 TO STA 16+40  
CHANNEL SECTION A-A  
(TYPICAL CHANNEL)  
1" = 10'



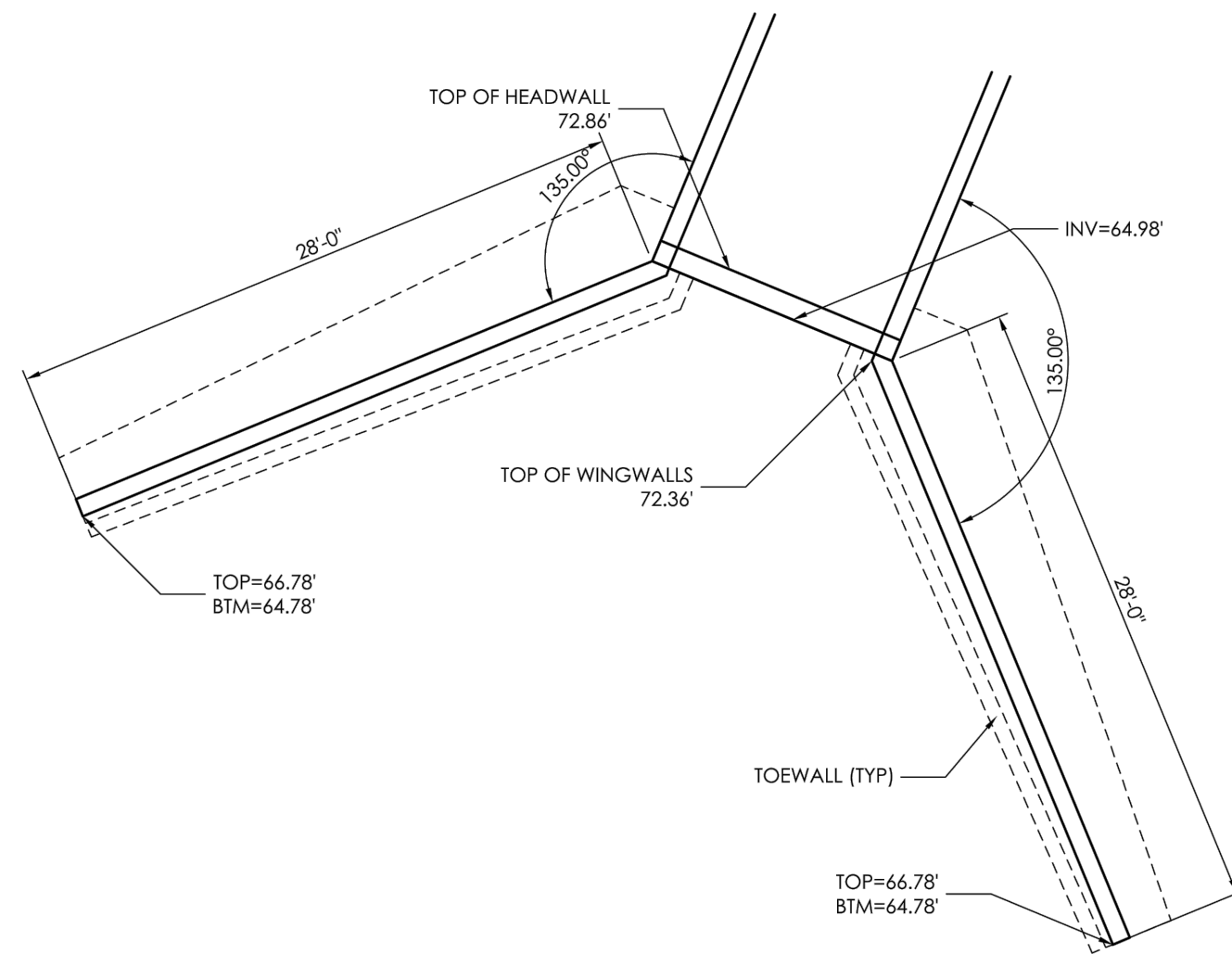
STA 11+80 TO STA 12+20  
STA 16+40 TO STA 17+60  
CHANNEL SECTION B-B  
(RIP-RAP CHANNEL)  
1" = 10'



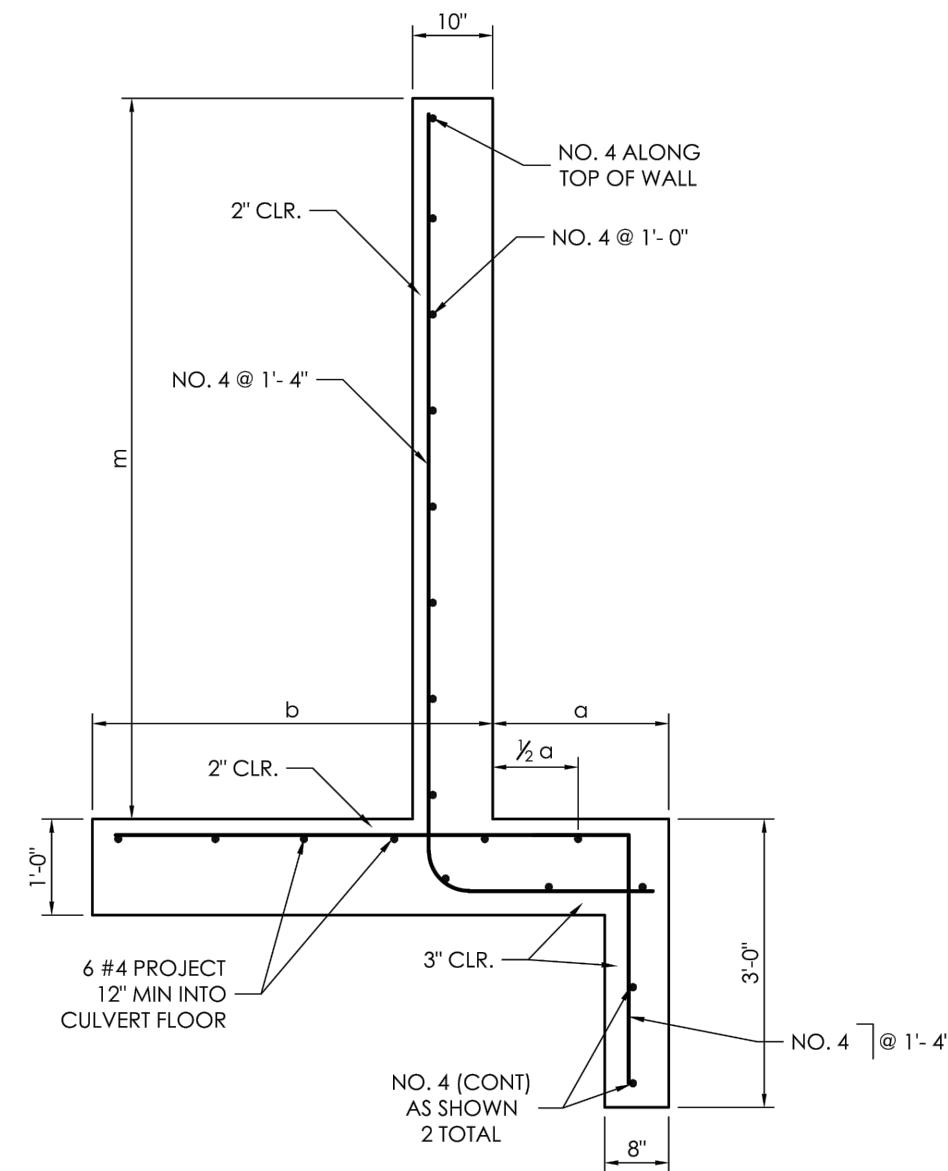
STA 12+20 TO STA 16+40  
CHANNEL SECTION C-C  
(GROUTED RIP-RAP CHANNEL)  
1" = 10'



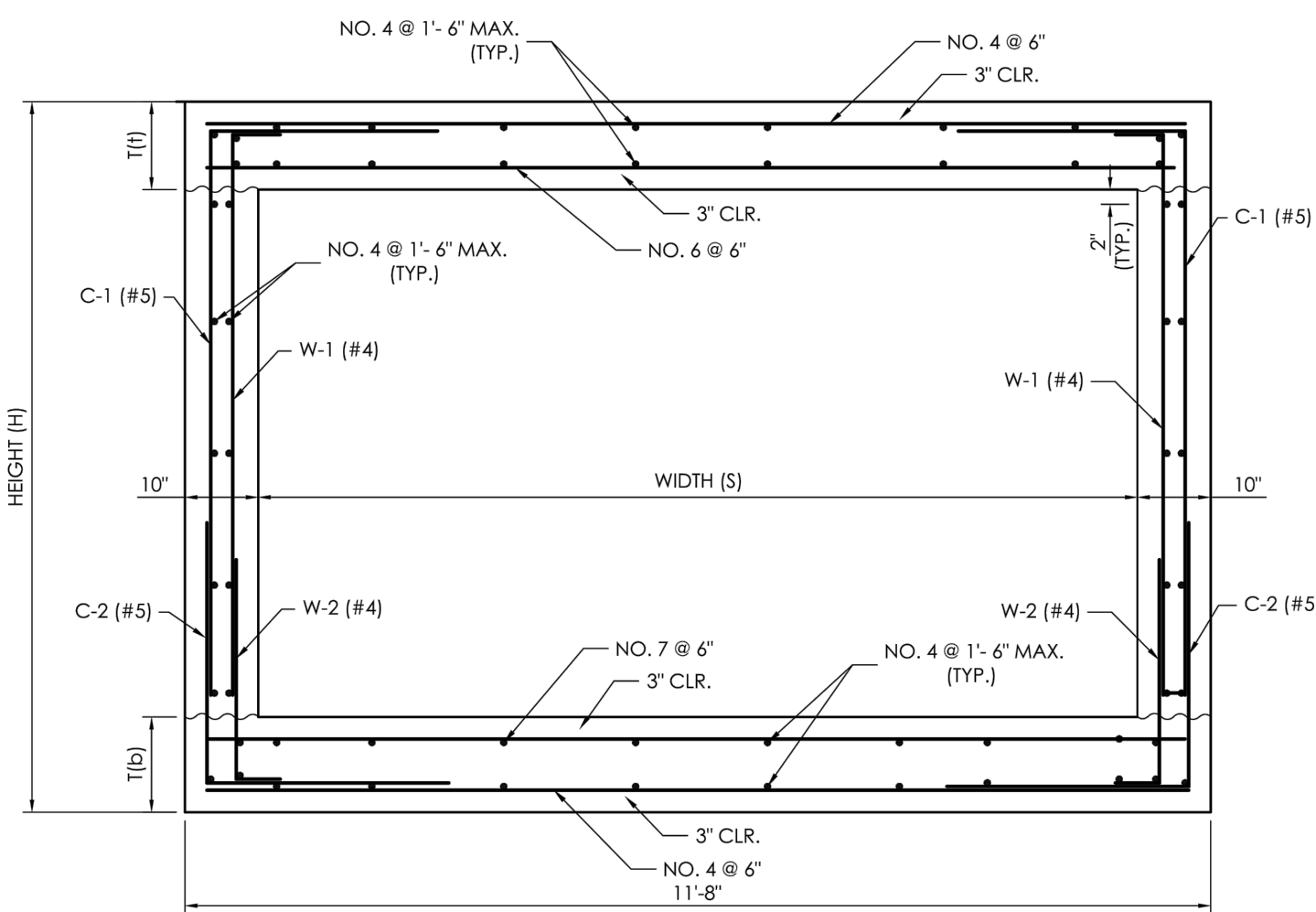
DETAIL "A"  
(6' X 12' BOX CULVERT & WINGWALLS)  
SCALE 1/8" = 1'-0"



DETAIL "B"  
(6' X 12' BOX CULVERT & WINGWALLS)  
SCALE 1/8" = 1'-0"



SECTION A-A  
SCALE 1/2" = 1'-0"



SECTION B-B  
SCALE 1/2" = 1'-0"

BOX CULVERT / HEADWALL / WINGWALL DIMENSIONS TABLE				
	A	B	C	D
HEIGHT (H)	8'-4"	8'-4"	7'-10.5"	
R	6'	6'	6'	
S	12'	12'	10'	
T(I)	13'	13'	10.5'	
T(B)	15'	15'	12'	
X1				11'-8"
Y				21'-0"
SLOPE (IN)				
K2	2'	2'	2'	7'-5"
L	28'-4"	28'-0"	28'-0"	27'-5 1/2"
L2	20'-0"			
m	7'-4.5"	7'-4.5"	7'-4.5"	8'-8"
g (MIN)	1'-0"	1'-0"	1'-0"	2'-2"
g (MAX)	2'-0"	2'-0"	2'-0"	2'-2"
b (MIN)	1'-8"	1'-8"	1'-8"	4'-0"
b (MAX)	3'-8"	3'-8"	3'-8"	4'-0"

#### GENERAL NOTES

- ALL CONCRETE SHALL BE CLASS D (BOX CULVERT).
- CONSTRUCTION JOINTS ARE NOT SHOWN ON THE PLANS. CONTRACTOR SHALL PROVIDE A PLAN DENOTING LOCATION OF CONTRACTOR'S PROPOSED CONSTRUCTION JOINTS FOR STAGED CONSTRUCTION PRIOR TO THE BEGINNING OF ANY BOX CULVERT FORMING. THE CONSTRUCTION JOINT DETAIL FOR STAGED CONSTRUCTION SHALL BE AS SHOWN IN SECTION C-C AS DEPICTED ON THESE PLANS.
- ALL CONSTRUCTION JOINTS SHALL BE THOROUGHLY CLEANED BEFORE FRESH CONCRETE IS PLACED.
- THE CONTRACTOR SHALL MAINTAIN THE STABILITY OF THE STRUCTURE DURING CONSTRUCTION.
- STRUCTURE EXCAVATION AND BACKFILL SHALL BE IN ACCORDANCE WITH STANDARD.
- BACKFILL SHALL NOT BEGIN UNTIL TOP SLAB HAS REACHED DESIGN STRENGTH = F<sub>c</sub>.
- REINFORCING STEEL SHALL BE GRADE 60, UNCOATED.
- ALL DIMENSIONS ARE PERPENDICULAR TO THE CENTERLINE OF THE BOX.
- ALL TRANSVERSE REINFORCING SHALL BE NORMAL TO THE CENTERLINE OF THE BOX.
- ALL EXPOSED CONCRETE CORNERS SHALL BE CHAMFERED 3/4 IN.
- STANDARD PLANS REFERENCED ARE COLORADO DEPARTMENT OF TRANSPORTATION STANDARD PLANS. THEY ARE M-601-1, M-601-2, M-601-10, M-601-20.
- WINGWALL FOOTINGS AND FLOOR OF BOX CULVERT SHALL BE PLACED MONOLITHICALLY.
- WINGWALL AND APRON CONCRETE SHALL BE: CONCRETE CLASS B, OR D (BOX CULVERT) FOR CBCS.
- AN ALTERNATE PRECAST CONCRETE BOX CULVERT MAY BE USED FOR THIS PROJECT IN ACCORDANCE WITH STANDARD PLAN NO. M-603-3 DATED JULY 04, 2006. TAPER SHALL BE HAND FORMED AND CONSTRUCTED ON SITE.

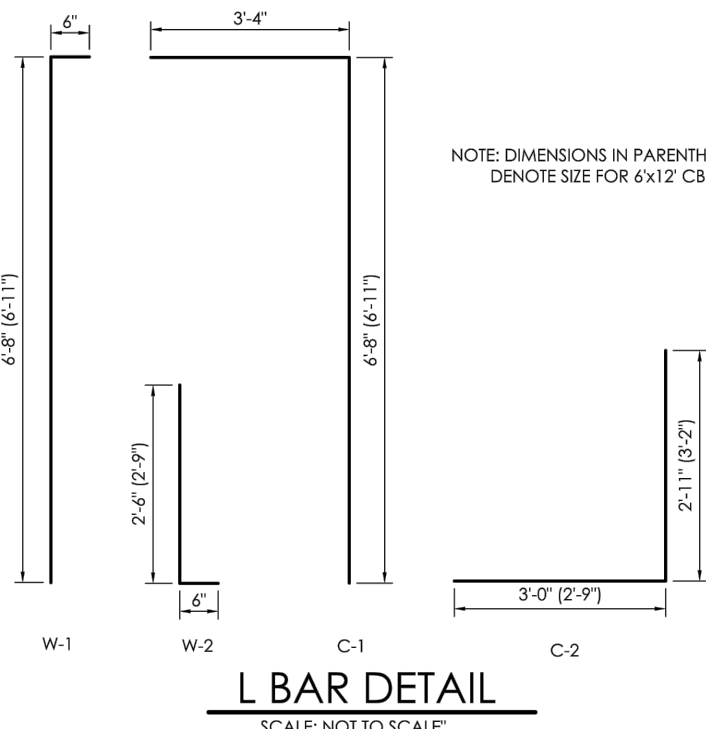
#### LOAD DATA

LIVE LOAD = AASHTO HS 20-44 AND ALTERNATE MILITARY LOADING  
DEAD LOAD CASE 1: VERTICAL EARTH LOAD = 120 LBS./CU. FT.  
HORIZONTAL EARTH LOAD = 30 LBS./CU. FT.  
DEAD LOAD CASE 2: VERTICAL EARTH LOAD = 120 LBS./CU. FT.  
HORIZONTAL EARTH LOAD = 60 LBS./CU. FT.

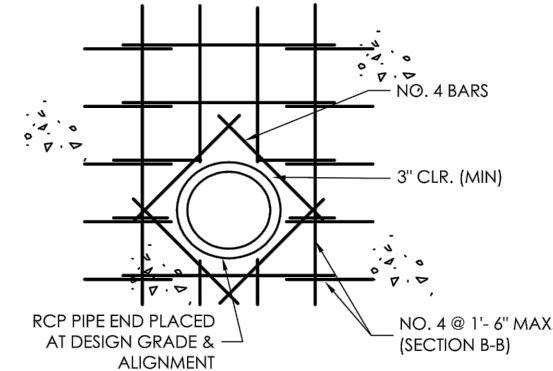
FUTURE HMA OVERLAY = 48 LBS./SQ. FT. BASED ON 4 IN. THICKNESS  
LIVE LOAD SURCHARGE ON EXTERIOR WALLS = 2 FT. OF EARTH

#### DESIGN DATA

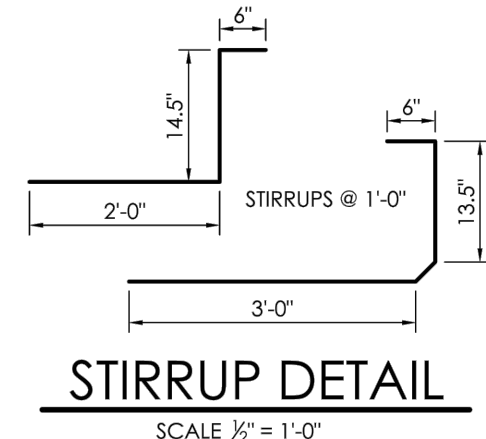
UNIT STRESS: F<sub>c</sub> = 24,000 PSI  
F<sub>t</sub> = 1,200 PSI  
F<sub>s</sub> = 9  
EQUIVALENT FLUID PRESSURE = 36 LBS./CU. FT.  
MAXIMUM TOE PRESSURE = 1 TON/SQ. FT.



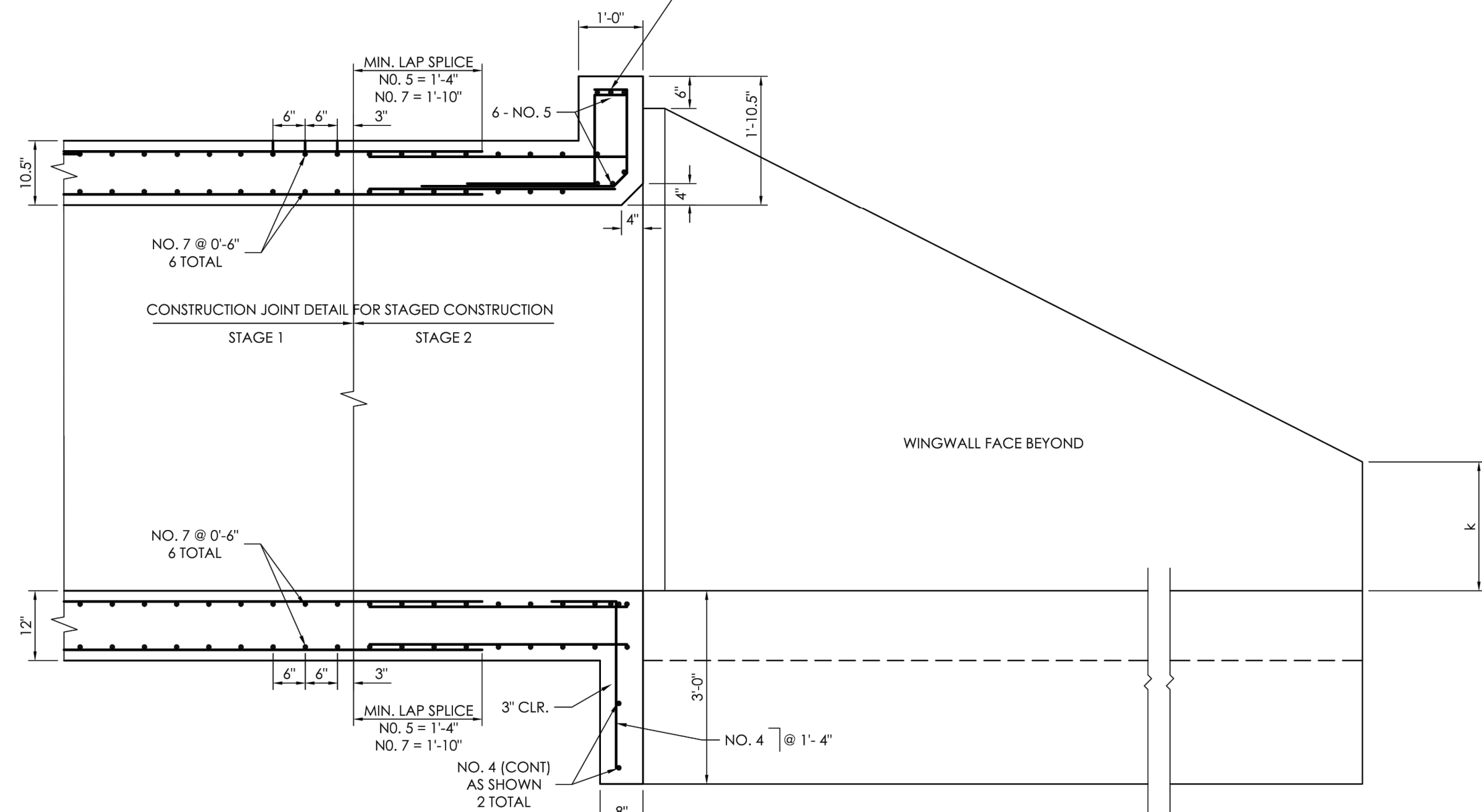
NOTE: DIMENSIONS IN PARENTHESES (I) DENOTE SIZE FOR 6x12' CBC



STORM DRAIN TO CBC  
CONNECTION DETAIL  
NOT TO SCALE



STIRRUP DETAIL  
SCALE 1/2" = 1'-0"



SECTION C-C  
SCALE 1/2" = 1'-0"

48 HOURS BEFORE YOU DIG,  
CALL UTILITY LOCATORS

811

UTILITY NOTIFICATION CENTER OF COLORADO  
IT'S THE LAW

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE CAUSED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NO.	REVISION	DATE

REVIEW:

PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF  
CLASSIC CONSULTING ENGINEERS AND SURVEYORS, LLC

KYLE R. CAMPBELL, COLORADO P.E. #29794

DATE

CLASSIC  
CONSULTING  
ENGINEERS & SURVEYORS

619 N. Cascade Avenue, Suite 200  
Colorado Springs, Colorado 80903  
(719) 785-0790  
(719) 785-0799 (Fax)

HANNAH RIDGE AT FEATHERGRASS  
FILING NO. 5

PROPOSED TRIBUTARY DRAINAGE IMPROVEMENTS  
BOX CULVERT AND GRASS CHANNEL DETAILS

DESIGNED BY	KRC	SCALE	DATE	10/12/18
DRAWN BY	LDB	(H) 1" = 50'	SHEET	11 OF 11
CHECKED BY		(V) 1" = NA	JOB NO.	1116.05

SF-18-038

CLASSIC  
ENGINEERS & SURVEYORS