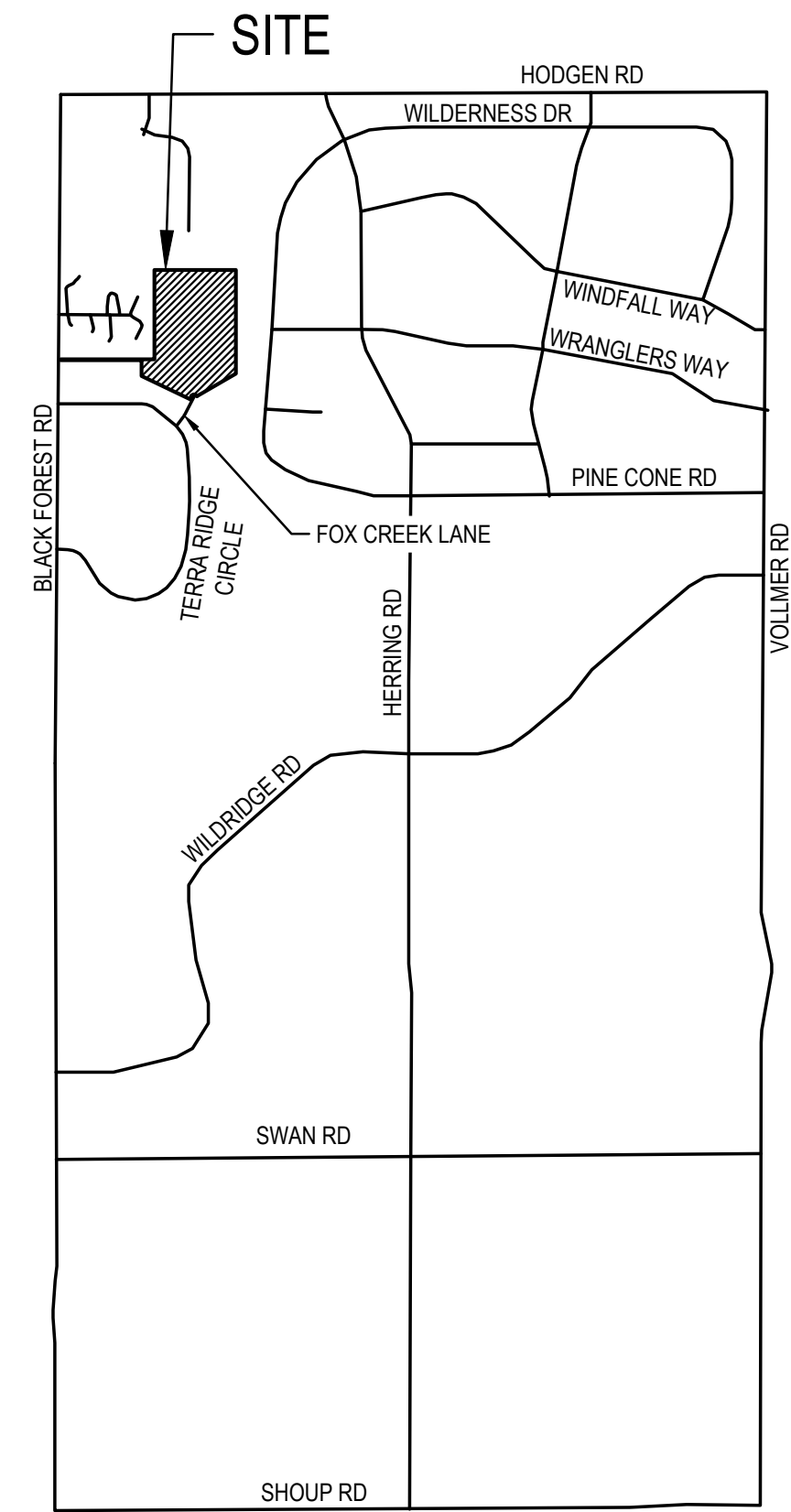


JENISHAY FARMS Preliminary Plan El Paso County, Colorado



VICINITY MAP
SCALE 1"=1/2 MILE

NOTE: THIS IS AN OVERLOT GRADING AND EROSION CONTROL PLAN ONLY. THIS PLAN DOES NOT REFLECT DETAILED/FINE GRADING ELEMENTS THAT WILL BE PART OF FINAL CONSTRUCTION DOCUMENTS FOR SITE DEVELOPMENT AND PAVING OPERATIONS ARE PROVIDED FOR REFERENCE ONLY AND ARE SUBJECT TO CHANGE.



KEYMAP
SCALE NTS

Prepared For:
Phillip S. & Jennifer Miles
15630 Fox Creek Lane
Colorado Springs, CO 80908

Prepared By:
Lodestar Engineering, LLC
P.O. Box 88461
Colorado Springs, CO 80908
January, 2021

Legal Description:
Lots 5 and 6 in Terra Ridge Filing No. 1, County of El Paso, State of Colorado and a portion of the Southwest Quarter of Section 29, Township 11 South, Range 65 West of the 6th P.M., County of El Paso, State of Colorado, more particularly described as follows:

Beginning at the Northwest corner of the Southwest Quarter of said Southwest Quarter; thence S89°46'29"E along the South line of Whispering Hills Estates as recorded in Plat Book Z-2 at Page 2 of said county records, 1407.75 feet to the Southeast corner thereof; thence N00°58'34"E, 1327.96 feet to the Northeast corner thereof; thence S89°47'26"E, 1245.16 feet to the Northeast corner of said Southwest Quarter, said Northeast corner also being on the West line of Wildwood Village Unit 3 as recorded in Plat Book H-3 at Page 57 of said county records; thence S00°59'16"W along the East line of said Southwest Quarter and the West Line of said Wildwood Village Unit 3 and Wildwood Village Unit 4 as recorded in Plat Book M-3 at Page 46 of said county records, 1366.91 feet; thence N89°46'29"W, 945.48 feet; thence N00°58'34"E, 8.50 feet; thence N89°46'29"W, 1708.14 feet to a point on the west line of said Southwest Quarter; thence N00°58'34"E, 30.00 feet to the point of beginning, County of El Paso, State of Colorado., said described tract contains 52.63 Acres +/-

AGENCIES/CONTACTS

DEVELOPER:	SHAY MILES 15630 FOX CREEK LANE COLORADO SPRINGS, CO 80908 (719) 352-8886	GAS DEPARTMENT:	BLACK HILLS ENERGY MR. SEBASTIAN SCHWENDER (719) 359-3716
SURVEYOR:	JOHN KEILERS & ASSOCIATES, LLC 9920 OTERO AVENUE COLORADO SPRINGS, CO 80920 (719) 649-9243	ELECTRIC DEPARTMENT:	MOUNTAIN VIEW ELECTRIC ASSOCIATION' 11140 E. WOODMEN ROAD COLORADO SPRINGS, CO 80908MR. DAVE WALDNER (719) 495-2283
CIVIL ENGINEER:	LODESTAR ENGINEERING, LLC P.O. BOX 88461 COLORADO SPRINGS, CO 80908 (719) 352-8886	TELEPHONE COMPANY:	N/A
LOCAL ROADS & DRAINAGE:	EL PASO COUNTY PCD 2880 INTERNATIONAL CIRCLE COLORADO SPRINGS, CO 80910 MR. GILBERT LAFORCE, P.E. (719) 520-7945	FIRE DEPARTMENT:	BLACK FOREST FIRE PROTECTION DISTRICT (719) 650-2276

PROJECT DRAWING LIST	
SHEET NUMBER	SHEET DESCRIPTION
C1	COVER SHEET
C2	NOTES & DETAIL SHEET
C3	PLAN
C4	PRELIMINARY GRADING

DESIGN ENGINEER'S STATEMENT:

THIS GRADING AND EROSION CONTROL PLAN WAS PREPARED UNDER MY DIRECTION IN SUPERVISION AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I HAVE BEEN PREPARED ACCORDING TO THE CRITERIA ESTABLISHED BY THE EL PASO COUNTY ENGINEER. I ACCEPT RESPONSIBILITY FOR ANY ERRORS OR OMISSIONS ON MY PART IN PREPARING THIS PLAN.

PHILLIP SHAY MILES, P.E. #40462 DATE

OWNER/DEVELOPER'S STATEMENT:

I, THE OWNER/DEVELOPER HAVE READ AND WILL COMPLY WITH ALL OF THE REQUIREMENTS SPECIFIED IN THESE DETAILED PLANS AND SPECIFICATIONS.

SHAY MILES DATE
15630 FOX CREEK LANE
COLORADO SPRINGS, CO 80908

EL PASO COUNTY:

COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS, AND/OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE COUNTY THROUGH THE APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY FOR COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT.

FILED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2, AND ENGINEERING CRITERIA MANUAL AS AMENDED.

IN ACCORDANCE WITH ECM SECTION 1.12, THESE CONSTRUCTION DOCUMENTS WILL BE VALID FOR CONSTRUCTION FOR A PERIOD OF 2 YEARS FROM THE DATE SIGNED BY THE EL PASO COUNTY ENGINEER. IF CONSTRUCTION HAS NOT STARTED WITHIN THOSE 2 YEARS, THE PLANS WILL NEED TO BE RESUBMITTED FOR APPROVAL, INCLUDING PAYMENT OF REVIEW FEES AT THE PLANNING AND COMMUNITY DEVELOPMENT DIRECTORS DISCRETION.

JENNIFER IRVINE, P.E. DATE
COUNTY ENGINEER / ECM
ADMINISTRATOR

NOTE: NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL VOLUME 2. ANY DEVIATIONS FROM REGULATIONS AND STANDARDS MUST BE REQUESTED AND APPROVED IN WRITING TO BE ACCEPTABLE.

BASIS OF BEARINGS:
AS MONUMENTED AND SHOWN, AND WAS ASSUMED S00°12'10"E.

BENCHMARK:
THE MONUMENT AT THE NORTHWEST PROPERTY CORNER, HAVING AN ELEVATION OF 7441.73'. DATUM IS NAVD '88



ISSUED	REVISIONS

JENISHAY FARMS
15630 FOX CREEK LANE
COLORADO SPRINGS, COLORADO

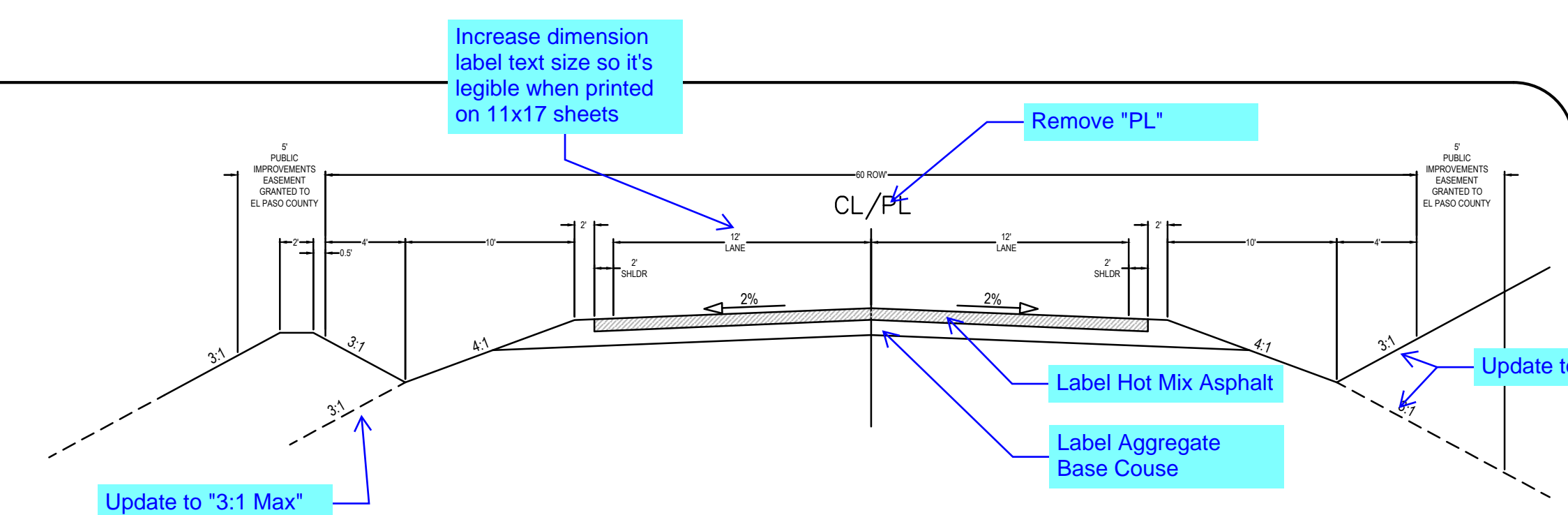
EL PASO COUNTY
PRE-DEVELOPMENT
COVER SHEET

C1
SHEET NO.

PROJECT GENERAL NOTES

- EXISTING CONTOUR DATA PROVIDED BY OWNER CONSISTS OF AERIAL TOPOGRAPHIC SURVEY DATA PROVIDED BY LODESTAR ENGINEERING, LLC.
- STATIONING IS AT CENTER LINE UNLESS OTHERWISE NOTED. ALL ELEVATIONS ARE AT EDGE OF ASPHALT (EOA) UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE FROM EDGE OF ASPHALT TO EDGE OF ASPHALT UNLESS OTHERWISE NOTED.
- PROPOSED CONTOURS SHOWN ARE TO FINISH GRADE.
- CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING STRUCTURES, DEBRIS, WASTE AND OTHER UNSUITABLE FILL MATERIAL FOUND WITHIN THE LIMITS OF EXCAVATION.
- MATCH INTO EXISTING GRADES AT 3:1 MAX CUT AND FILL SLOPES.
- REVEGETATION OF ALL DISTURBED AREAS SHALL BE DONE WITH SPECIFIED SEED MIX WITHIN 60 DAYS AFTER FINE GRADING IS COMPLETE.
- EROSION CONTROL SHALL CONSIST OF SILT FENCE AND HAY BALES AS SHOWN ON THE DRAWING AND TOPSOIL WAS GRASS SEED, WHICH SHALL BE WATERED UNTIL VEGETATION HAS BEEN REESTABLISHED.
- THE EROSION CONTROL MEASURES OUTLINED ON THIS PLAN ARE THE RESPONSIBILITY OF THE DEVELOPER TO MONITOR AN REPLACE, RE GRADE, AND REBUILD AS NECESSARY UNTIL VEGETATION IS REESTABLISHED.
- EROSION CONTROL MEASURES SHALL BE IMPLEMENTED IN A MANNER THAT WILL PROTECT ADJACENT PROPERTIES IN PUBLIC FACILITIES FROM THE ADVERSE EFFECTS OF EROSION AND SEDIMENT AS A RESULT OF CONSTRUCTION IN EARTHWORK ACTIVITIES WITHIN THE PROJECT SITE.
- ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED AS DETERMINED BY SITE CONDITIONS.
- THE CONTRACTOR WILL TAKE THE NECESSARY PRECAUTIONS TO PROTECT EXISTING UTILITIES FROM DAMAGE DUE TO THIS OPERATION. ANY DAMAGE TO THE UTILITIES WILL BE REPAIRED AT THE CONTRACTOR'S EXPENSE, AND ANY SERVICE DISRUPTION WILL BE SETTLED BY THE CONTRACTOR.
- ALL BACKFILL, SUBBASE, AND OR BASE COURSE MATERIALS SHALL BE COMPACTED PER EL PASO COUNTY AND CDOT STANDARDS AND SPECIFICATIONS.
- ALL FINISHED GRADES SHALL HAVE A MINIMUM OF 1.0% SLOPE TO PROVIDE POSITIVE DRAINAGE.
- WHERE PROPOSED SLOPES CONFLICT WITH PROPOSED SPOT ELEVATIONS, SPOT ELEVATIONS SHALL GOVERN.
- CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO BEGINNING WORK.
- ELECTRONIC FILE OF SITE DRAWING IS AVAILABLE FROM ENGINEER FOR CONSTRUCTION STAKING PURPOSES.
- THE POTENTIAL EXISTS THAT MOISTURE CHANGES IN DEEPER UNSTABLE MATERIALS WILL CAUSE SOME MOVEMENT IN THE OVERLYING FILL AND STRUCTURE. VERTICAL SLAB MOVEMENT OF 1 TO 3 INCHES IS CONSIDERED NORMAL OF SOILS OF LOW TO MODERATE EXPANSION POTENTIAL AND FOR COMPACTED STRUCTURAL FILL AFTER THE REMOVAL OF THE EXPANSIVE SOILS. IN SOME CASES VERTICAL MOVEMENT MAY EXCEED THIS RANGE. IF MOVEMENT IN ASSOCIATED DAMAGE TO BASEMENT FLOORS CANNOT BE TOLERATED, A STRUCTURAL FLOOR SYSTEM SHALL BE INSTALLED.

Please note that construction notes are not typically included on the preliminary plan. Staff recommends removing notes 7, 8, 9, 10, 11.



NOTE: SUBGRADE UNDERCUT GRADING ONLY IS PERMITTED WITH THIS PREDEVELOPMENT CONSTRUCTION PLAN. ASPHALT AND AGGREGATE BASE COURSE SHALL NOT BE CONSTRUCTED WITH THE PREDEVELOPMENT GRADING.

**RURAL LOCAL – PAVED
TYPICAL SECTION**
SCALE N.T.S.

GENERAL LOT DRAINAGE NOTES

- FINAL LOT IN HOME SITE GRADING IS THE RESPONSIBILITY OF THE INDIVIDUAL LOT OWNERS AND BUILDERS.
- INDIVIDUAL BUILDERS SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM STRUCTURES AN ACCOUNT FOR POTENTIAL CROSS SLOT DRAINAGE IMPACTS WITHIN EACH LOT.
- BUILDERS AND PROPERTY OWNERS SHALL IMPLEMENT AN DOWNSTREAM PROPERTIES AND FACILITIES INCLUDING P BOUNDARIES.

Add the following general notes:

- Floodplain statement
- The following lots have been found to be impacted by geologic hazards. Mitigation measures and a map of the hazard area can be found in the report Geology and Soil Study with Wastewater Study by RMG Rocky Mountain Group dated September 18, 2020 in file SP-20-009 available at the El Paso County Planning and Community Development Department:
 - Downslope Creep: (name lots or location of area)
 - Rockfall Source:(name lots or location of area)
 - Rockfall Runout Zone:(name lots or location of area)
 - Potentially Seasonally High Groundwater:(name lots or location of area)
 - Other Hazard:
 [For note 2 coordinate with the geotech engineer to update the list with the appropriate geologic hazards found within the development.]
- All roadway and drainage facilities located dedicated county right-of-ways shall be constructed to El Paso County Standards and shall be owned and maintained by El Paso County
- The Preliminary Plan identifies general locations for "no build" easements within the lots that are impacted by wetlands, geologic hazards, or are required for drainage. These areas will be defined more precisely in future Final Plat(s). The easements will restrict building of principal and accessory structures, and the storage of materials.
- Purchasers of lots within this subdivision are hereby alerted that these lots contain stormwater conveyance paths. Said purchasers acknowledge acceptance of these flows onto and through these lots. The purchaser shall be responsible for maintaining these paths and for providing measures to eliminate erosion, if it should occur.
- Access to lots 4, 5, and 6 will be limited to the shared/common driveway access. easement A maintenance agreement will be recorded with the final plat.
- Individual lot purchasers are responsible for constructing driveways, including necessary drainage culverts from Fox Creek Lane per Land Development Code Section 6.3.3.C.2 and 6.3.3.C.3. Due to their length, some of the driveways will need to be specifically approved by the Black Forest Fire Protection District.
- All property within this subdivision is subject to road impact fees in accordance with the El Paso County Road Impact Fee Program (Resolution No. 19-471), as amended at the time of building permit application. All properties shall pay required and applicable traffic impact fees at time of building permit.
- The following reports have been submitted in association with the preliminary plan for this subdivision and are filed at the County Planning and Community Development: Traffic Impact Study, Drainage Report, Geology and Soils Report, Water Resources Report, Fire Protection Report, Natural Features Report, [Include other reports submitted].
- Unless otherwise indicated, all front, side and rear lot lines to be platted with final plat on either side with a minimum 10 foot public utility and drainage easement. All exterior subdivision boundaries are to be platted with final plat with a minimum 20 foot public utility and drainage easement. The sole responsibility for maintenance of these easements is to be vested with the individual property owners.
- No driveway shall be established unless an access permit has been granted by El Paso County
- Mailboxes shall be installed in accordance with El Paso County and US Postal Service Regulations.
- Developer shall comply with federal and state laws, regulations, ordinances, review and permit requirements, and other agency requirements, if any, of applicable agencies including, but not limited to, the Colorado Division of Wildlife, Colorado Department of Transportation, U.S. Army Corps of Engineers and the U.S. Fish and Wildlife Service regarding the Endangered Species Act, particularly as it relates to the listed species (e.g., Preble's Meadow Jumping Mouse)
- Tract A shall be utilized as a drainage tract. Ownership and maintenance of Tract A shall be vested to the JeniShay Farms Homeowners Association. Tract A of this property will be subject to a Private Detention Basin/Stormwater Quality BMP Maintenance Agreement and Easement to be recorded with the final plat.

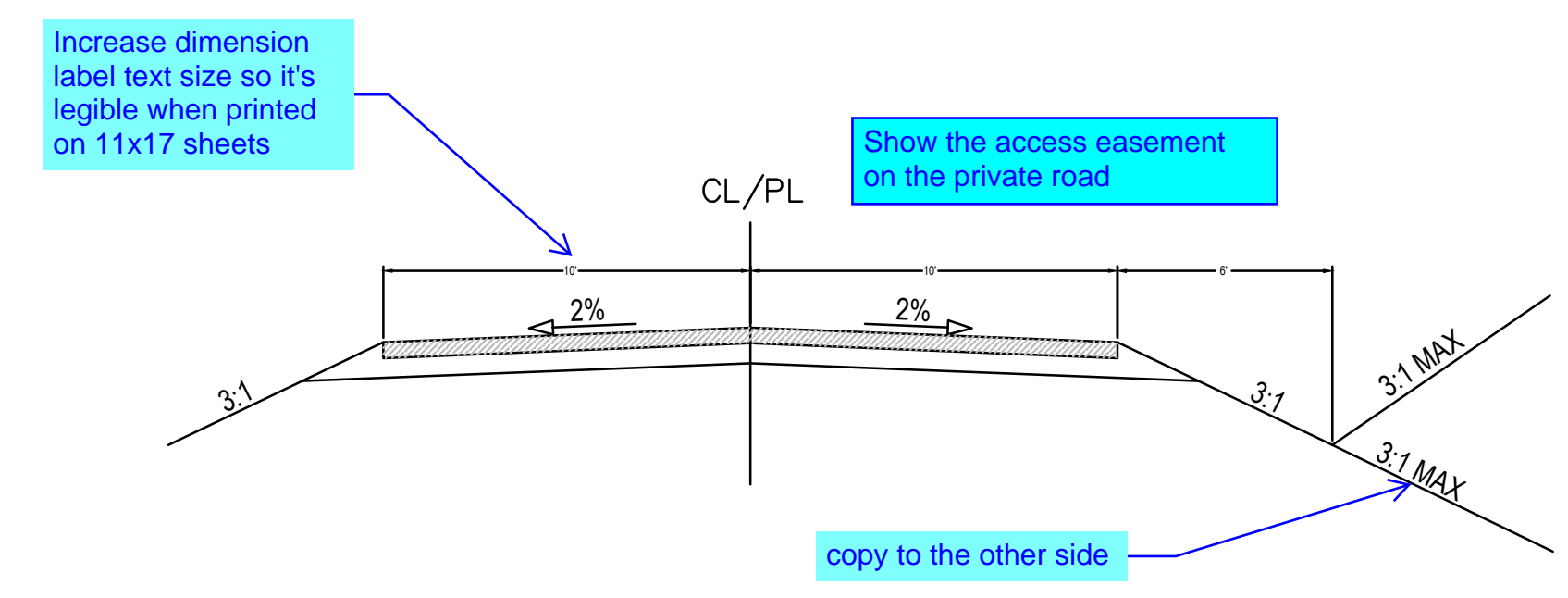
DESIGN DATA

ROAD CLASSIFICATION:	RURAL LOCAL RESIDE
DESIGN SPEED:	30 MPH
POSTED SPEED:	30 MPH
ROADWAY WIDTH (ASPHALT):	28' EOA-EOA
MIN HORIZONTAL RADIUS:	300'
MIN GRADE:	1.0%
MAX GRADE:	5.96%
MIN K-VALUE (CREST):	19
MIN K-VALUE (SAG):	37

LEGEND

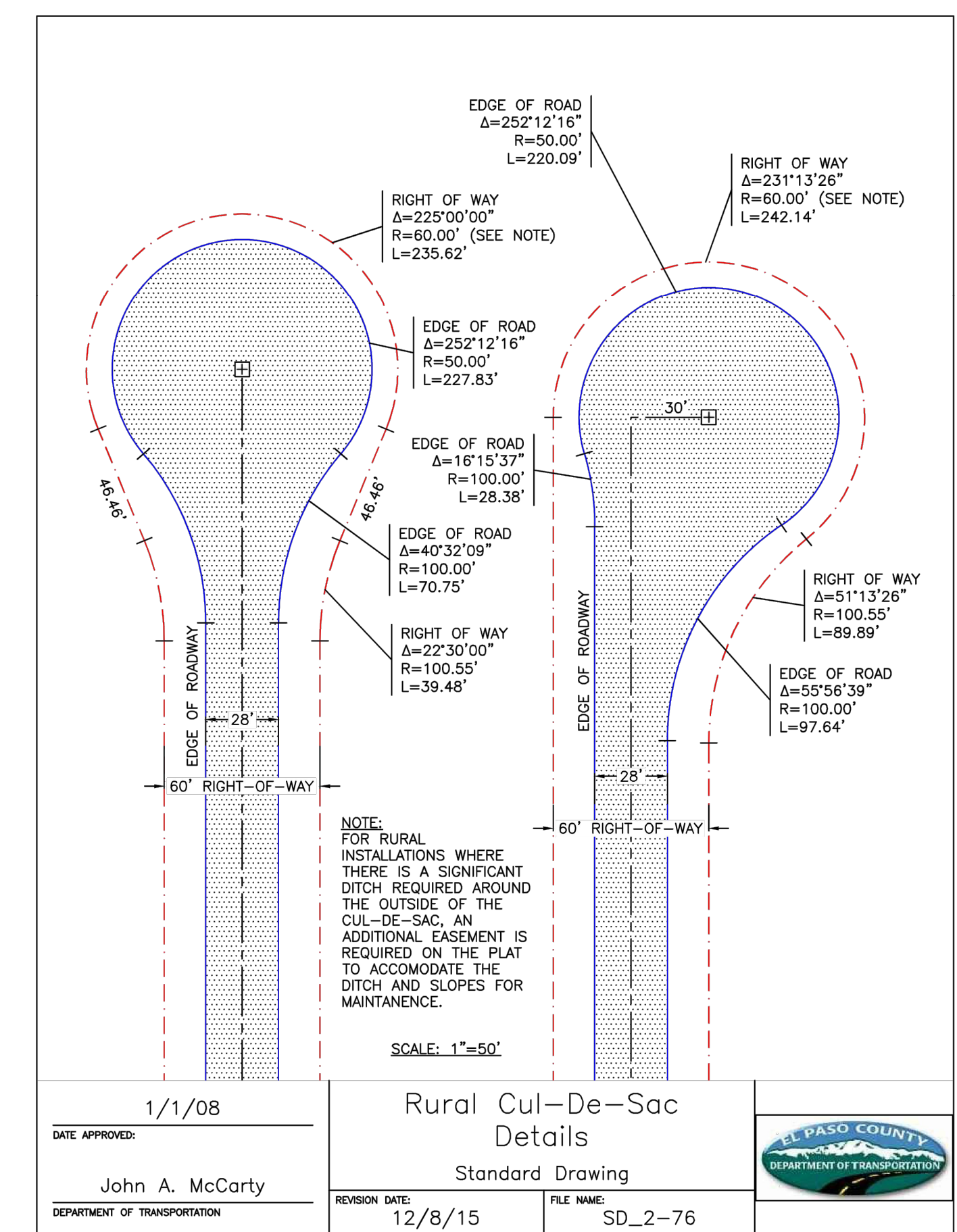
NEW	EXISTING	DETAIL
		EASEMENT LINE
		CONTOUR LINE
		PROPERTY LINE
		DRAINAGE ARROW
		ROAD CENTER LINE
		ASPHALT PAVEMENT
		RIPRAP
		CONCRETE
		GRAVEL

Update the preliminary plan (sheet 3) to provide consistent line types shown on the legend



NOTE: SUBGRADE UNDERCUT GRADING ONLY IS PERMITTED WITH THIS PREDEVELOPMENT CONSTRUCTION PLAN. ASPHALT AND AGGREGATE BASE COURSE SHALL NOT BE CONSTRUCTED WITH THE PREDEVELOPMENT GRADING.

**PRIVATE DRIVEWAY – PAVED
TYPICAL SECTION**
SCALE: NTS



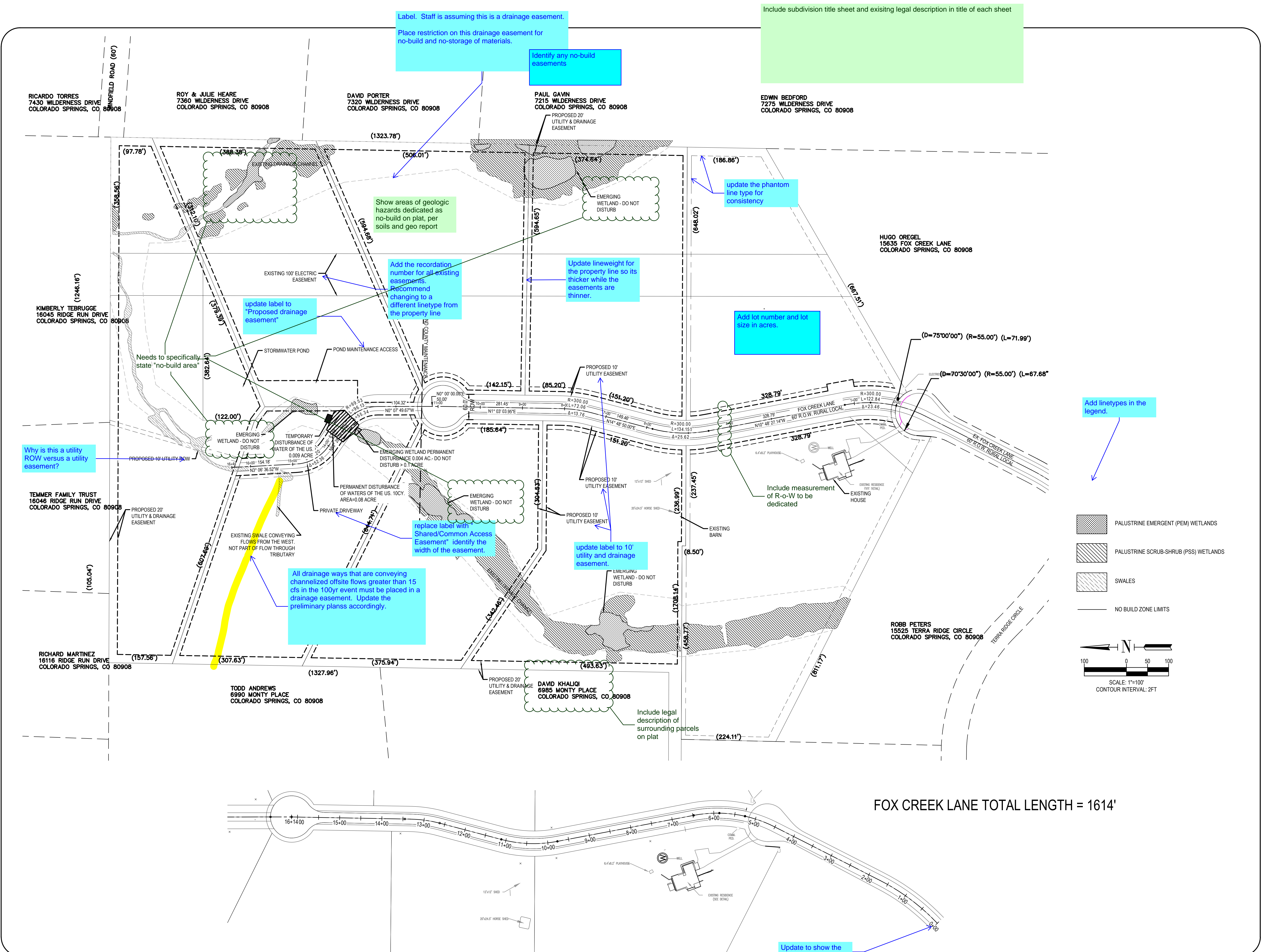
1/1/08	Rural Cul-De-Sac Details	EL PASO COUNTY
DATE APPROVED:	Standard Drawing	DEPARTMENT OF TRANSPORTATION
John A. McCarty	REVISION DATE: 12/8/15	FILE NAME: SD_2-76
DEPARTMENT OF TRANSPORTATION		



ISSUED	REVISIONS

JENISHAY FARMS
15630 FOX CREEK LANE
COLORADO SPRINGS, COLORADO

EL PASO COUNTY
PRE-DEVELOPMENT
PRELIMINARY PLAN
NOTES



Include subdivision title sheet and existing legal description in title of each sheet

Label. Staff is assuming this is a drainage easement.
Place restriction on this drainage easement for no-build and no-storage of materials.

Identify any no-build easements

Show areas of geologic hazards dedicated as no-build on plat, per soils and geo report

update the phantom line type for consistency

update label to "Proposed drainage easement"

Add the recordation number for all existing easements. Recommend changing to a different linetype from the property line

Update lineweight for the property line so its thicker while the easements are thinner.

Add lot number and lot size in acres.

Needs to specifically state "no-build area"

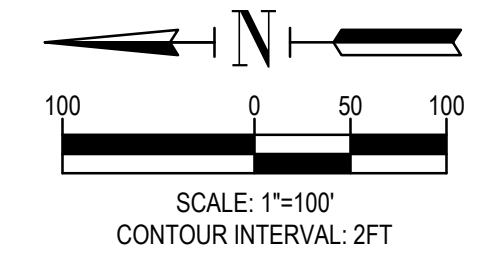
Why is this a utility ROW versus a utility easement?

Add linetypes in the legend.

replace label with "Shared/Common Access Easement" identify the width of the easement.

All drainage ways that are conveying channelized offsite flows greater than 15 cfs in the 100yr event must be placed in a drainage easement. Update the preliminary plans accordingly.

- PALUSTRINE EMERGENT (PEM) WETLANDS
- PALUSTRINE SCRUB-SHRUB (PSS) WETLANDS
- SWALES
- NO BUILD ZONE LIMITS



FOX CREEK LANE TOTAL LENGTH = 1614'

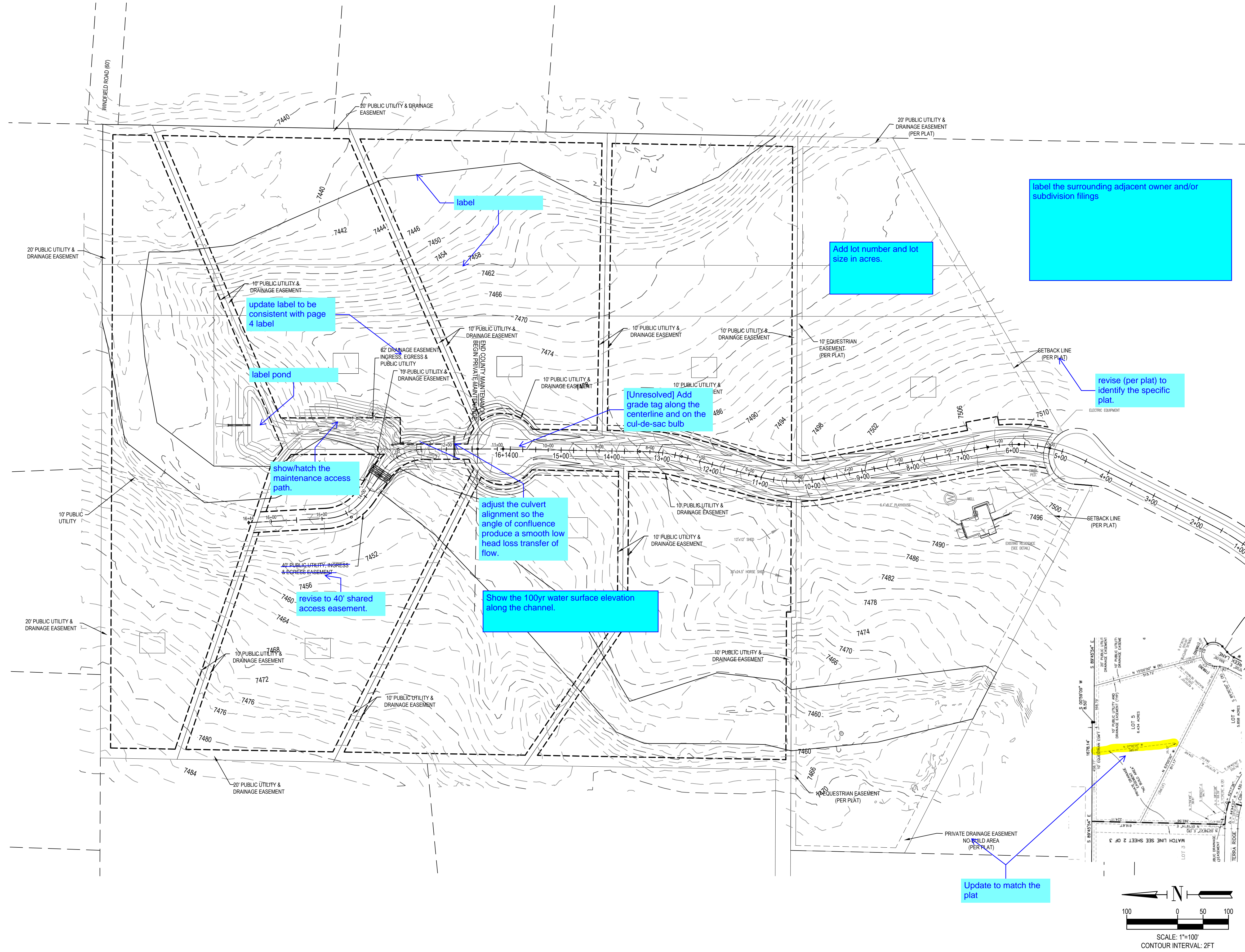
Update to show the intersection.

ISSUED
REVISIONS

JENISHAY FARMS
15630 FOX CREEK LANE
COLORADO SPRINGS, COLORADO

EL PASO COUNTY
PRE-DEVELOPMENT
PRELIMINARY PLAN
PLAN SHEET

C3 SHEET NO.



ISSUED	
REVISIONS	

JENISHAY FARMS
 15630 FOX CREEK LANE
 COLORADO SPRINGS, COLORADO

EL PASO COUNTY
 PRE-DEVELOPMENT
 PRELIMINARY PLAN
 PRELIMINARY GRADING SHEET

C4
 SHEET NO.