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ACCESSIBLE NOTE:

"NOTICE AND WARNING" COMPLIANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA) AND OTHER FEDERAL AND STATE ACCESSIBILITY LAWS IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER. THEREFORE, COMPLIANCE WITH CITY CODES DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS.
THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE AMERICANS WITH DISABILITIES ACT (ADA) DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE.
APPROVAL OF THIS PLAN BY THE CITY OF FOUNTAIN DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.

BENCHMARK:

ELEVATIONS ARE BASED ON COLORADO SPRINGS UTILITIES FACILITIES INFORMATION SYSTEM (FIMS) "BLT 167", A 2" ALUMINUM CAP IN CONCRETE LOCATED ON AN ELECTRIC TRANSFORMER PAD AT THE SOUTHEAST CORNER OF E. WOODMEN ROAD AND MERIDIAN ROAD, WITH AN ELEVATION OF 6873.18 (NGVD 29).

FLOOD ZONE:

THE EFFECTIVE FLOODPLAIN ZONE A LIMITS ARE DEFINED ON THE FIRM FOR EL PASO COUNTY, COLORADO AND UNINCORPORATED AREAS, MAP NUMBER 08041C0553G, EFFECTIVE DATE DECEMBER 7, 2018. A CLOMR TO MODIFY THE FLOODPLAIN HAS BEEN SUBMITTED AND APPROVED BY FEMA, CASE NO. 17-08-0074R (MAY 26, 2017).

EXISTING TOPOGRAPHY AND SURVEY INFORMATION NOTE:

DREXEL, BARRELL & CO. ENGINEERING FIRM HAS PROVIDED AN ELECTRONIC TOPOGRAPHIC FILE TO BARGHAUSEN CONSULTING ENGINEERS, INC. BARGHAUSEN CONSULTING ENGINEERS, INC. HAS NOT VERIFIED THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. SITE DESIGN HAS BEEN BASED ON ABOVE REFERENCED TOPOGRAPHIC FILE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE OWNER TO HAVE ALL IMPROVEMENTS FIELD VERIFIED PRIOR TO CONSTRUCTION. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF BARGHAUSEN CONSULTING ENGINEERS, INC. PRIOR TO WORK.

HORIZONTAL CONTROL NOTE:

CONTRACTOR SHALL HAVE ALL PROPERTY LINES, CURB, SIDEWALK, STRUCTURES, CONCRETE PADS AND ANY OTHER ABOVE GROUND PERMANENT STRUCTURE DEPICTED ON THESE PLANS STAKED FOR CONSTRUCTION BY A LICENSED SURVEYOR. LICENSED SURVEYOR SHALL STAKE ALL ITEMS USING COORDINATE GEOMETRY (RECTIFIED TO SITE CONTROL) CONTAINED IN CAD DRAWING FILES PROVIDED BY BARGHAUSEN CONSULTING ENGINEERS, INC. IT IS THE CONTRACTOR'S RESPONSIBILITY TO RETRIEVE LATEST CAD FILES FROM BARGHAUSEN CONSULTING ENGINEERS INC., REFLECTING ANY ISSUED PLAN REVISIONS. BARGHAUSEN CONSULTING ENGINEERS SHALL IMMEDIATELY BE NOTIFIED OF ANY DISCREPANCIES PRIOR TO THE START OF CONSTRUCTION.

GEOTECHNICAL REPORT NOTES:

- THE FOLLOWING GEOTECHNICAL REPORTS FOR THE SITE SHALL BE CONSIDERED PART OF THESE CONSTRUCTION DOCUMENTS:

GEOTECHNICAL ENGINEERING STUDY
KUMAR & ASSOCIATES, INC.
PROJECT NO. 21-2-189
DATE: AUGUST 5, 2021
6735 KUMAR HEIGHTS
COLORADO SPRINGS, CO 80918
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL PROVISIONS OF THE SOILS REPORT FOR THE SITE BE OBSERVED AND COMPLIED WITH DURING ALL PHASES OF THE SITE PREPARATION, GRADING OPERATIONS, FOUNDATION, SLAB, AND PAVING CONSTRUCTION.
- ANY PROVISIONS OF THE SOILS REPORT WHICH CONFLICT WITH INFORMATION SHOWN ELSEWHERE ON THESE DRAWINGS, OR WHICH REQUIRE FURTHER CLARIFICATION, SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER FOR DETERMINATION.
- A REPRESENTATIVE OF THE SOILS ENGINEER SHALL BE AVAILABLE TO OBSERVE AND APPROVE THE EARTHWORK OPERATIONS AND TO VERIFY FIELD CONDITIONS AS WORK PROCEEDS. THE SOILS ENGINEER SHALL SUBMIT FIELD REPORTS CERTIFYING THAT THE METHODS AND MATERIALS OF THE EARTHWORK OPERATIONS WERE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE SOILS INVESTIGATION AND THAT THE WORK WAS PERFORMED TO HIS/HER SATISFACTION.
- THE SOILS ENGINEER SHOULD BE NOTIFIED AT LEAST FIVE (5) WORKING DAYS PRIOR TO ANY SITE CLEARING OR GRADING.

LEGAL DESCRIPTION:

THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 1, TOWNSHIP 13 SOUTH, RANGE 65 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOGETHER WITH THAT PORTION OF BLOCK 1, TOWN OF FALCON, LYING WITHIN THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 1, TOWNSHIP 13 SOUTH, RANGE 65 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF EL PASO, STATE OF COLORADO.

EXCEPT THOSE PORTIONS CONVEYED TO WOODMEN ROAD MUNICIPAL DISTRICT BY WARRANTY DEED RECORDED APRIL 19, 2004 AT RECEPTION NO. 204062427 AND PERSONAL REPRESENTATIVE'S DEED RECORDED SEPTEMBER 7, 2007 AT RECEPTION NO. 207116129, EL PASO COUNTY, COLORADO RECORDS.

LEGEND:

PROPOSED	EXISTING
CURB AND GUTTER	CURB
BARRIER CURB	PAINT STRIPE
CONCRETE	CONCRETE
ASPHALT	CONTOUR
SAWCUT	WATER
CONTOUR	SANITARY
WATER	STORM
WATER METER	OVERHEAD POWER
STORM	GAS
SANITARY	DOUBLE CHECK VALVE
GAS	ASPHALT
POWER	BUILDING LINE
PAINT STRIPE	OH/UG TEL. LINE
TYPE 1 CATCH BASIN	TREE
TYPE 2 CATCH BASIN	
SANITARY SEWER CLEANOUT	

DUTCH BROS. COFFEE - CO0707 - PEYTON, CO COVER SHEET

FALCON MARKETPLACE DEVELOPMENT

NW CORNER OF E. WOODMEN ROAD AND MERIDIAN ROAD
SITUATED IN THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 1, TOWNSHIP 13 SOUTH.
RANGE 65 WEST OF THE 6TH P.M., CITY OF FALCON, EL PASO COUNTY, COLORADO

AGENCIES/CONTACTS:

COUNTY: EL PASO COUNTY PLANNING & COMMUNITY DEVELOPMENT
KARI PARSONS, PROJECT MANAGER/PLANNER II
2880 INTERNATIONAL CIRCLE, SUITE 110
COLORADO SPRINGS, CO 80910

FIRE: FALCON FIRE DEPARTMENT
TRENT HARWIG, FIRE CHIEF - 719.495.4050
7030 OLD MERIDIAN ROAD
FALCON, CO 80831

WATER: WOODMEN HILLS METROPOLITAN DISTRICT
JERRY JACOBSON, DIRECTOR OF WATER - 719.495.2500
8046 EASTONVILLE ROAD
FALCON, CO 80831

WASTEWATER: WOODMEN HILLS METROPOLITAN DISTRICT
GENE COZZOLINO, DIRECTOR OF WASTEWATER - 719.495.2500
8046 EASTONVILLE ROAD
FALCON, CO 80831

ELECTRIC: MOUNTAIN VIEW ELECTRIC ASSOCIATION
LES ULFERS - 719.495.2283
11140 E. WOODMEN ROAD
FALCON, CO 80831

GAS: COLORADO SPRINGS UTILITIES
TODD STURTEVANT - 719.668.3556
1521 HANCOCK EXPRESSWAY
COLORADO SPRINGS, CO 80947

TELEPHONE: CENTURY LINK
SALLY KLEIN - 719.636.4329
CENTURY LINK LOCATORS - 719.597.8418
AT&T LOCATORS - 719.835.3674

CABLE: COMCAST
DALE STEWART - 719.442.4733
213 N. UNION BLVD.
COLORADO SPRINGS, CO 80909

PETROLEUM: MUSTAR
CHAD RENSLow - 719.391.0942
7810 DRENNAN ROAD
COLORADO SPRINGS, CO 80925

OTHER: WOODMEN ROAD METROPOLITAN DISTRICT
TERRY SCHOOER - 719.447.1777
20 BOULDER CRESCENT, SUITE 200
COLORADO SPRINGS, CO 80903

OWNER

EVERGREEN-DEVCO, INC.
2390 EST CAMELBACK ROAD SUITE 410
PHOENIX, AZ 85016
CONTACT: KAREN LEVITT ORTIZ
TEL: (602) 567-7099

BUILDING ARCHITECT

ONICH ARCHITECTURE STUDIO
1001 SE SANDY BOULEVARD, SUITE 100
PORTLAND, OR 97214
TEL: (503) 552-9079
CONTACT: DUSTIN HENION

DEVELOPER

DUTCH BROS COFFEE
110 SW 4TH STREET
GRANTS PASS, OR 97526
TEL: (916) 765-7270
CONTACT: RUSS ORSI

ENGINEER

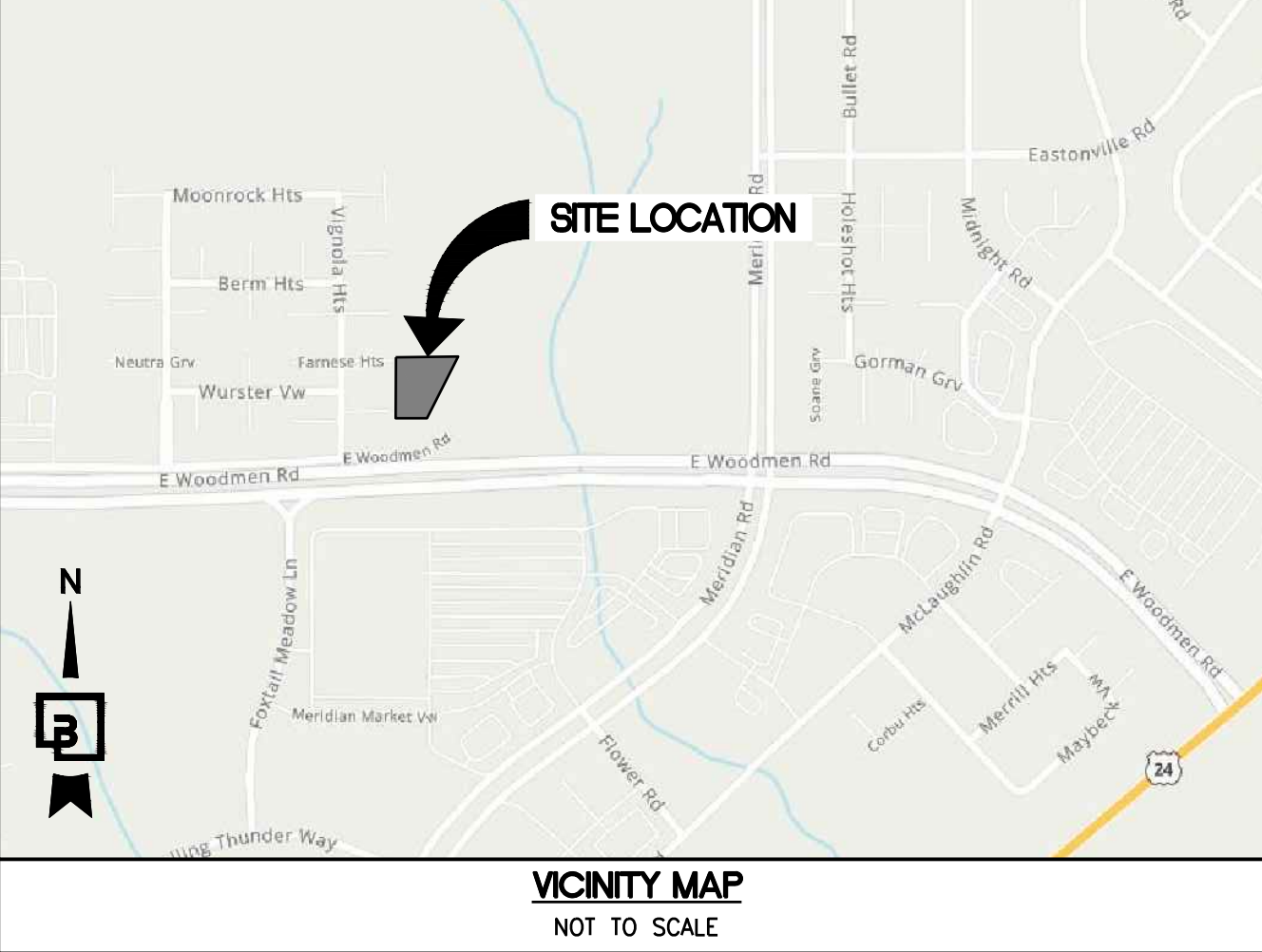
BARGHAUSEN CONSULTING ENGINEERS, INC.
18215 72ND AVE. SOUTH
KENT, WA 98032
TEL: (425) 251-6222
CONTACT: HAL P. GRUBB, P.E.

GEOTECHNICAL

KUMAR & ASSOCIATES, INC.
PROJECT NO. 21-2-189
6735 KUMAR HEIGHTS
COLORADO SPRINGS, CO 80918
TEL: (719) 632-7009
CONTACT: ARBEN F. KALAVESHI, P.E.

LANDSCAPE ARCHITECT

EVERGREEN DESIGN GROUP
1600 BROADWAY, SUITE 1600
DENVER, CO 80202
TEL: (800) 680-6630
CONTACT: ERIC SHEPLEY, PLA, ASLA



PROJECT DATA:

LOCATION: DEVELOPMENT LOCATED THE INTERSECTION OF E. WOODMEN ROAD AND MERIDIAN ROAD. ACCESS PROVIDED VIA PRIVATE ROAD (FALCON MARKET PLACE) OFF OF E. WOODSMEN ROAD.

JURISDICTION: EL PASO COUNTY, CO

A.P.N.: LEGAL DESCRIPTION: FALCON MARKETPLACE DEVELOPMENT, LOT 11

ZONING: CR, REGIONAL COMMERCIAL DISTRICT

PARCEL AREA: 30,925 SF (0.71 ACRES)
PARCEL DISTURBANCE AREA: 25,795 SF (0.59 ACRES)

LANDSCAPING SETBACKS:
FRONT YARD: 25 FEET
REAR YARD: 15 FEET

MAXIMUM BUILDING HEIGHT: 40 FEET
PROPOSED BUILDING HEIGHT: 24 FEET

PARKING CALCULATIONS: (1 PER 100 SQ FT) 950/100 = 9.5 SPACES

PARKING SPACES REQUIRED: 10 PARKING SPACES
ACCESSIBLE PARKING PROVIDED: 1 SPACE
TOTAL SPACES PROVIDED: 14 PARKING SPACES (INCLUDING 1 ADA)
BIKE PARKING PROVIDED: 1 RACK TWO (2) SPACES

PROPOSED GROUND COVER SUMMARY:
MINIMUM LANDSCAPE AREA - 5%
MAXIMUM IMPERVIOUS AREA - 81%

BUILDING:	950 S.F.	(3.68%)
TRASH ENCLOSURE:	240 S.F.	(0.93%)
PARKING AND MANEUVERING:	14,305 S.F.	(55.5%)
WALKWAYS:	1,883 S.F.	(7.30%)
LANDSCAPE:	8,418 S.F.	(32.6%)
	25,797 S.F.	

MONUMENT PROTECTION NOTE:

ALL EXISTING SURVEY MONUMENTS ARE TO BE PRESERVED PER COLORADO REVISED STATUTES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT MONUMENTS ARE PROPERLY PROTECTED AND/OR PERPETUATED. IF ANY OF THE MONUMENTS ARE DISTURBED OR ARE NEAR THE AREA OF CONSTRUCTION, A LICENSED SURVEYOR MUST CONFIRM THAT THE MONUMENTS HAVE BEEN PROTECTED AND/OR PERPETUATED AND THE APPROPRIATE DOCUMENTATION HAS BEEN RECORDED. CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR OBTAINING PERMITS FROM ANY JURISDICTIONS HAVING AUTHORITY FOR REMOVING AND REPLACING ALL SURVEY MONUMENTATION THAT MAY BE AFFECTED BY CONSTRUCTION ACTIVITY. UPON COMPLETION OF CONSTRUCTION, ALL MONUMENTS DISPLACED, REMOVED, OR DESTROYED SHALL BE REPLACED BY A REGISTERED LAND SURVEYOR, AT THE COST AND AT THE DIRECTION OF THE CONTRACTOR, PURSUANT TO THESE REGULATIONS. THE APPROPRIATE FORMS FOR REPLACEMENT OF SAID MONUMENTATION SHALL ALSO BE THE RESPONSIBILITY OF THE CONTRACTOR.

DEVELOPER'S / OWNER'S STATEMENT:

I, THE OWNER/DEVELOPER HAVE READ AND WILL COMPLY WITH THE REQUIREMENTS OF THE GRADING AND EROSION CONTROL PLAN AND THE OF THE REQUIREMENTS SPECIFIED IN THESE DETAILS PLANS AND SPECIFICATIONS. I ACKNOWLEDGE THE RESPONSIBILITY TO DETERMINE WHETHER THE CONSTRUCTION ACTIVITIES ON THESE PLANS REQUIRE COLORADO DISCHARGE PERMIT SYSTEM (CDPS) PERMITTING FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY.

PRINTED NAME: RUSS ORSI

SIGNATURE: DATE:

ENGINEER'S STATEMENT:

THESE DETAILS PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECTION AND SUPERVISION. SAID PLANS AND SPECIFICATIONS HAVE BEEN PREPARED ACCORDING TO CRITERIA ESTABLISHED BY THE COUNTY FOR THE DETAILED DRAINAGE, GRADING, AND EROSION CONTROL PLAN AND SPECIFICATIONS, AND SAID PLANS AND SPECIFICATIONS ARE IN CONFORMITY WITH APPLICABLE MASTER DRAINAGE PLANS. SAID PLANS ARE SPECIFICATIONS MEET THE PURPOSES FOR WHICH THE PARTICULAR DRAINAGE FACILITIES ARE DESIGNED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS, ERRORS OR OMISSIONS, ON MY PART IN PREPARATION OF THESE DETAILS PLANS AND SPECIFICATIONS.

PRINTED NAME: HAL P. GRUBB

SIGNATURE: DATE:

CIVIL SHEET LIST:

- C1.0 COVER SHEET
- C1.1 GENERAL NOTES
- 1 OF 2 ALTA-NSPS LAND TITLE SURVEY
- 2 OF 2 ALTA-NSPS LAND TITLE SURVEY
- C1.2 INITIAL EROSION CONTROL PLAN
- C1.3 EROSION CONTROL DETAILS
- C1.4 EROSION CONTROL DETAILS
- C1.5 FINAL EROSION CONTROL PLAN
- C2.0 SITE PLAN
- C2.1 HORIZONTAL CONTROL PLAN
- C3.0 GRADING PLAN
- C3.1 DRAINAGE PLAN
- C4.0 UTILITY PLAN
- C5.0 CIVIL DETAILS
- C5.1 CIVIL DETAILS
- C6.0 AGENCY DETAILS

LANDSCAPE SHEET LIST:

- LI-1 LANDSCAPE IRRIGATION
- LI-2 IRRIGATION DETAILS AND SPECIFICATIONS
- LI-3 IRRIGATION DETAILS
- LP-1 LANDSCAPING PLANTING
- LP-2 LANDSCAPING PLANTING SPECIFICATIONS AND DETAILS

ESTIMATED EARTHWORK QUANTITIES:

CUT: 60 CY

FILL: 655 CY

NET: 30 CY (CUT) - AFTER PAVING SECTIONS

AREA TO BE DISTURBED - 0.59 ACRES

- THE QUANTITIES LISTED DO INCLUDE PROPOSED PAVING SECTIONS AS LISTED BY THE GEOTECHNICAL ENGINEER.
- EARTHWORK QUANTITIES ARE APPROXIMATE AND DO NOT ACCOUNT FOR CLEARING AND GRUBBING, TRENCHING, OR OVER EXCAVATION ETC. AS REQUIRED BY THE GEOTECHNICAL REPORT.
- THE CONTRACTOR IS RESPONSIBLE TO VERIFY EXISTING SITE CONDITIONS AND CALCULATE THEIR OWN EARTH WORK QUANTITIES FOR THE PROJECT PRIOR TO BID
- CONTRACTOR SHALL REFER TO THE GEOTECHNICAL INVESTIGATION REPORT FOR THIS SITE DATED: 08/05/2021
PREPARED BY: KUMAR & ASSOCIATES, INC.

COVER SHEET
7520 FALCON MARKET PLACE
PEYTON, CO 80831

DUTCH BROS.

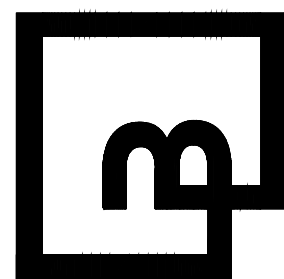
For:



Scale: Horizontal 1" = 20' Vertical N/A

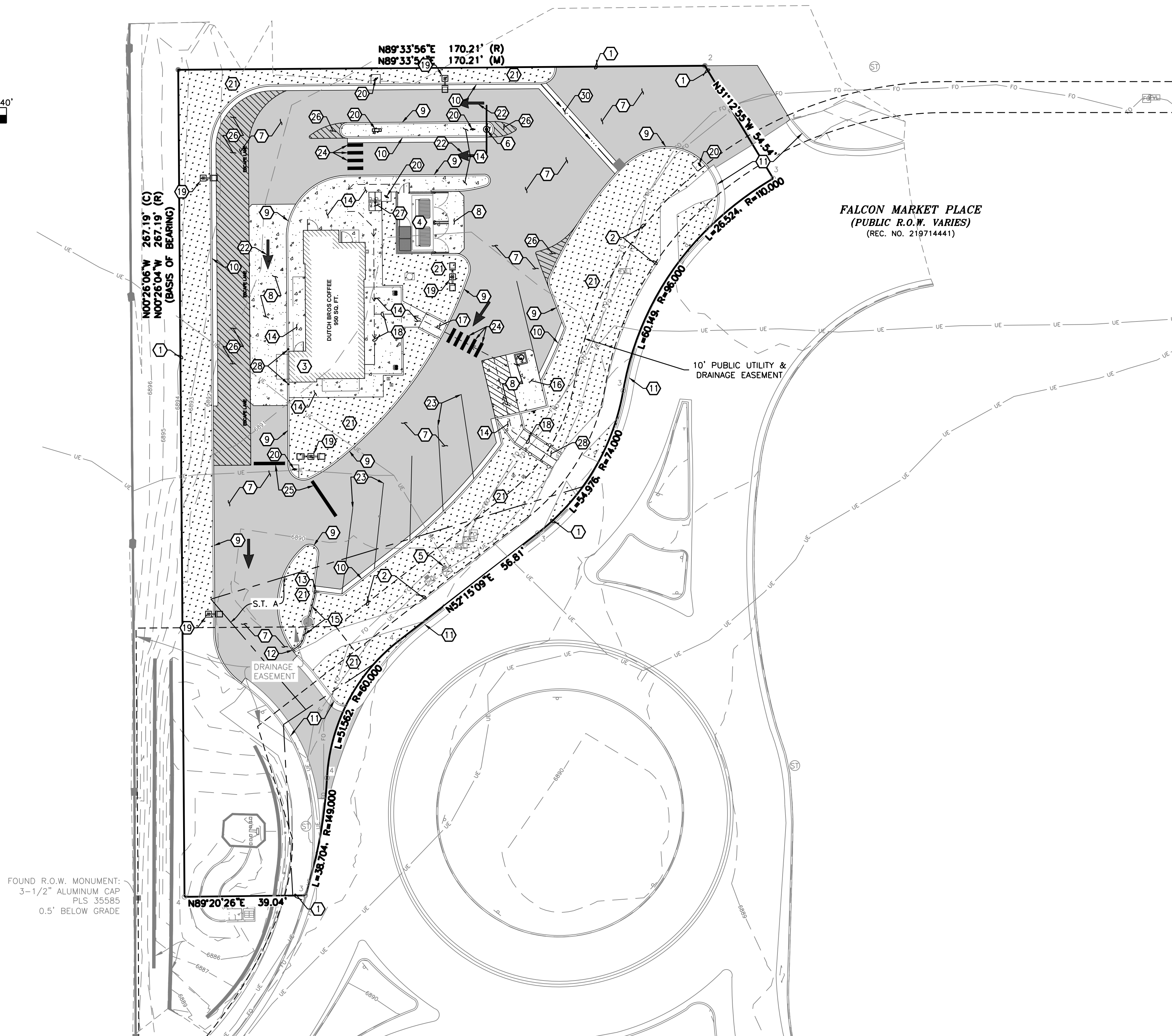
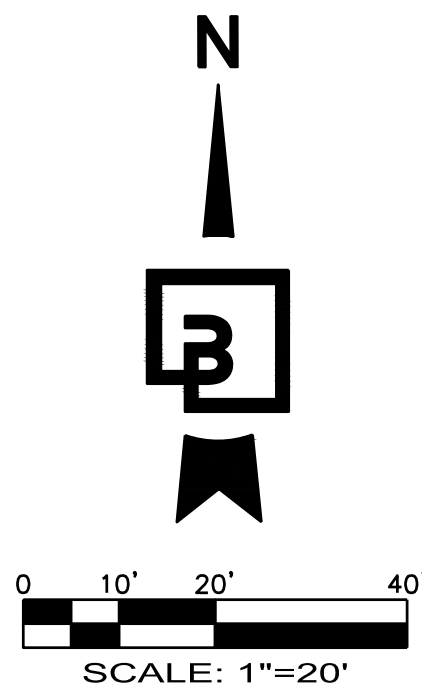
Designed: CKX
Drawn: JAH
Checked: JAH
Approved: HPG
Date: 08/24/21

Barghausen Consulting Engineers, Inc.
18215 72nd Avenue South
Kent, WA 98032
425.251.6222
barghausen.com



Job Number 21917
Sheet C1.0
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THE PROPOSED DEVELOPMENT HAS MULTIPLE INSTALLATIONS OF EXISTING UTILITIES WITHIN THE BOUNDS OF THE PROJECT. THE CONTRACTOR SHALL VERIFY THE DEPTH OF ALL UTILITIES PRIOR TO ANY EARTHMOVING ACTIVITIES SHALL BEGIN. IF THE PROPOSED ELEVATION WOULD REDUCE THE COVER OVER AN EXISTING UTILITY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE HORIZONTAL AND VERTICAL LOCATION OF THE UTILITY. IF THE ELEVATION IS ALLOWED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT BY POTHOLES, THE UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION OF THE UTILITY. SECTION 100.00, PART 1, SUBSECTION 1.01, SPECIAL SPECIFICATIONS 1.00-332-2344, AND THEN POTHOLES ALL OF THE EXISTING UTILITIES.

1. EXISTING PROPERTY LINE, TYPICAL.
2. EXISTING PUBLIC UTILITY EASEMENT, TYPICAL.
3. LOCATION OF BUILDING(S) AS NOTED; CONFIRM ALL DIMENSIONS AND REQUIREMENTS WITH ARCHITECTURAL DRAWINGS.
4. CONSTRUCT SOLID WASTE ENCLOSURE; CONFIRM ALL DIMENSIONS AND REQUIREMENTS WITH ARCHITECTURAL AND STRUCTURAL DRAWINGS.
5. LOCATION OF EXISTING TRANSFORMER. CONFIRM EXISTING PRECAST CONCRETE TRANSFORMER PAD MEETS THE APPLICABLE ELECTRICAL PURVEYORS SPECIFICATIONS. IF NOT, MODIFY EXISTING PAD AS REQUIRED.
6. INSTALL VERTICAL CLEARANCE BAR; REFER TO SIGN PLANS FOR EXACT PLACEMENT AND ADDITIONAL INFORMATION.
7. CONSTRUCT ASPHALT PAVING, SECTION PER DETAIL 1/C5.1, TYPICAL.
8. CONSTRUCT CONCRETE PAVING, SECTION PER DETAIL 2/C5.1, TYPICAL.
9. CONSTRUCT CONCRETE BARRIER CURB, PER DETAIL 5/C5.1, TYPICAL.
10. CONSTRUCT CONCRETE CURB AND GUTTER WITH 18" GUTTER, PER DETAIL 6/C5.1, TYPICAL.
11. EXISTING CURB AND GUTTER, INSTALLED AT PART OF GREATER DEVELOPMENT.
12. CONSTRUCT CONCRETE IN-LINE CURB CUT PER DETAIL 5A/C5.0.
13. CONSTRUCT CONCRETE CORNER CURB CUT PER DETAIL 5B/C5.0.
14. CONSTRUCT CONCRETE SIDEWALK, WIDTH VARIES, SECTION PER DETAIL 4/C5.1, TYPICAL.
15. CONSTRUCT CONCRETE SWALE PER DETAIL 3/C5.1, TYPICAL.
16. CONSTRUCT STANDARD SINGLE SPACE VAN ACCESSIBLE PARKING SPACE, PER DETAIL 1/C5.0. WITH ALL APPLICABLE STRIPING AND SIGNAGE.
17. CONSTRUCT ACCESSIBLE COMPLIANT CURB RAMP, PER CASE 'D' OF DETAIL 2/C5.0.
18. PROPOSED ACCESSIBLE ROUTE THROUGH THE SITE, TYPICAL.
19. INSTALL SITE LIGHT, REFER TO STRUCTURAL DRAWINGS FOR LIGHT POLE FOUNDATION REQUIREMENTS; REFER TO PHOTOMETRIC DRAWING FOR POLE AND FIXTURE SPECIFICATIONS.
20. LOCATION OF SIGN, REFER TO ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION. CONSTRUCT CONCRETE PAD (PER PLAN) IF IN LANDSCAPED AREA.
21. LANDSCAPING AREA; REFER TO LANDSCAPE PLANS FOR ADDITIONAL INFORMATION, TYPICAL.
22. PAINT DIRECTIONAL ARROWS WHERE SHOWN PER DETAIL 7/C5.1, TYPICAL.
23. PAINT 4" WIDE WHITE REFLECTIVE PAINT PARKING STALL STRIPES, TYPICAL; ALL STRIPING TO CONFORM WITH CITY OF REQUIREMENTS.
24. PAINT CONTINENTAL STYLE PEDESTRIAN CROSSWALK STRIPING; 1 FOOT WIDE STRIPES AT 2 1/2' FEET ON CENTER.
25. PAINT 1" WIDE STOP BAR STRIPING PER PLAN.
26. PAINT STRIPING 2 FEET ON CENTER FOR STRIPED OUT AREA AS SHOWN, TYPICAL. ALL STRIPING TO CONFORM WITH CITY STANDARDS.
27. BICYCLE PARKING SPACE, TYPICAL OF 2. INSTALL "MADRAS" U-TYPE BIKE RACK MODEL NUMBER "U-238" TO BE SURFACE MOUNTED, WITH 3" MINIMUM DEPTH ANCHORS. REFER TO DETAIL 6/C5.0 FOR ADDITIONAL INFORMATION. COORDINATE COLOR REQUIREMENTS WITH OWNER PRIOR TO ORDERING.
28. INSTALL ACCESSIBLE RAMP AND 3-BAR SAFETY RAIL PER ARCHITECTURAL DRAWINGS.
29. INSTALL GUARD POST. REFER TO ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION.
30. CONSTRUCT 3'-WIDE CONCRETE SWALE SIMILAR TO DETAIL 3/C5.1.

WALKWAYS ALONG ACCESSIBLE ROUTES OF TRAVEL SHALL BE CONTINUOUSLY ACCESSIBLE, BE A MINIMUM OF 48" IN WIDTH, HAVE A MAXIMUM CONSTRUCTED CROSS SLOPE OF 2.0%, AND SHALL HAVE RAMPS COMPLYING WITH ALL LOCAL AND STATE ACCESSIBILITY STANDARDS WHERE NECESSARY TO CHANGE ELEVATION AT A LONGITUDINAL SLOPE EXCEEDING 5% (1:20).

--- -- ← --- -- ACCESSIBLE PATH

ACCESSIBLE PATH

7520 FALCON MARKET PLACE
PEYTON, CO 80831

Dutch Bros
Coffee

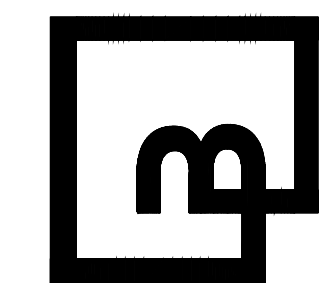
For:



Scale:
Horizontal
 $1'' = 20'$
Vertical

Designed	CKK
Drawn	JAH
Checked	JAH
Approved	HPG
Date	08/24/21

Barghausen
Consulting Engineers, Inc.
18215 72nd Avenue South
Kent, WA 98032
425.251.6222 **barghausen.com**



Job Number
21917

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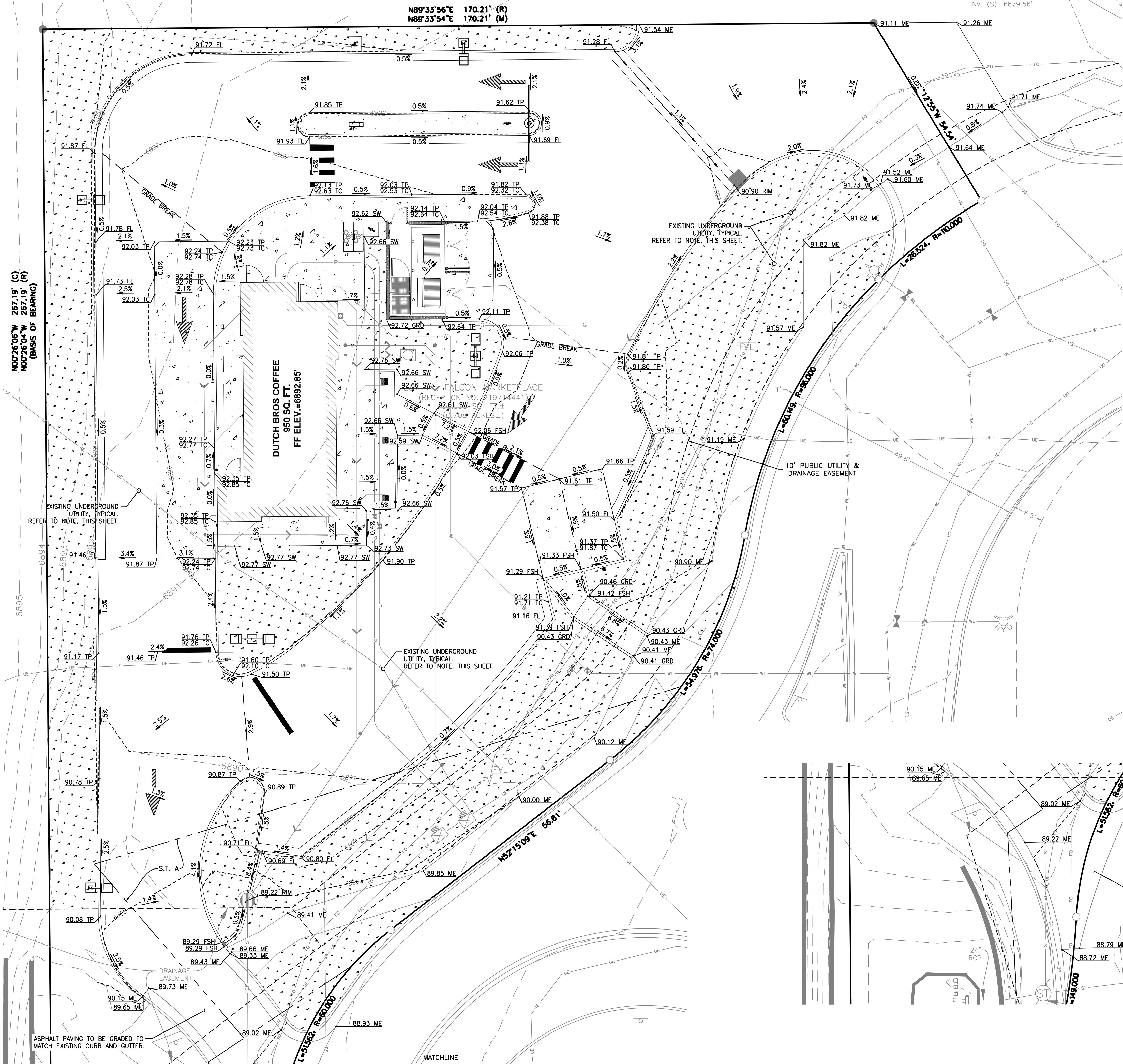
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nchising USA, LL

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DUTCH BROS. COFFEE - CO0707 - PEYTON, CO GRADING PLAN



GRADING GENERAL NOTES:

- ALL GRADING SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROVISIONS OF THE CURRENT CITY ORDINANCE AND STANDARD PLANS. THE GRADING IS SUBJECT TO THE OBSERVATION AND APPROVAL OF THE PUBLIC WORKS DEPARTMENT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL PROPOSED GRADES IN RELATIONSHIP TO SURVEYED BASIS OF ELEVATION.
- ALL EXISTING UTILITY STRUCTURES AND ASSOCIATED LIDS THAT FALL WITHIN THE AREA OF WORK SHALL BE ADJUSTED TO FINISHED GRADE ELEVATIONS. CONTRACTOR SHALL CONFIRM THE FEASIBILITY OF ADJUSTING EXISTING UTILITY STRUCTURE LIDS TO FINISHED GRADE PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
- CONTRACTOR TO PROTECT AND MAINTAIN EROSION CONTROL FACILITIES DURING GRADING OPERATIONS.
- CONTRACTOR TO OBTAIN ANY NECESSARY RIGHT-OF-WAY PERMITS IF REQUIRED FOR WORK SHOWN ON PLANS.
- CONTRACTOR SHALL MATCH EXISTING ELEVATIONS AT ALL SAWCUT LOCATIONS.
- ALL SPOT ELEVATIONS SHOWN ARE TO FINISH SURFACE (TOP OF ASPHALT OR TOP OF CONCRETE PAVEMENT, NOT TOP OF CURB/SIDEWALK) UNLESS OTHERWISE NOTED.
- ALL SPOT ELEVATIONS SHOWN HAVE BEEN 'TRUNCATED' TO IMPROVE VISUAL CLARITY. ALL ELEVATIONS SHOWN ARE PLUS 6800', EG. 6880.25 = 80.25.

STANDARD ELEVATION: 6880.25
TRUNCATED ELEVATION: 80.25

FF - FINISHED FLOOR
FL - FLOWLINE
FSH - FLUSH
GRD - GROUND
MA - MATCH OFFSITE TIE IN ELEVATION
ME - MATCH EXISTING
TC - TOP OF CURB/SIDEWALK
TP - TOP OF PAVING
RM - RIM/GRADE ELEVATION OF STRUCTURE

OVER-EXCAVATION NOTE:

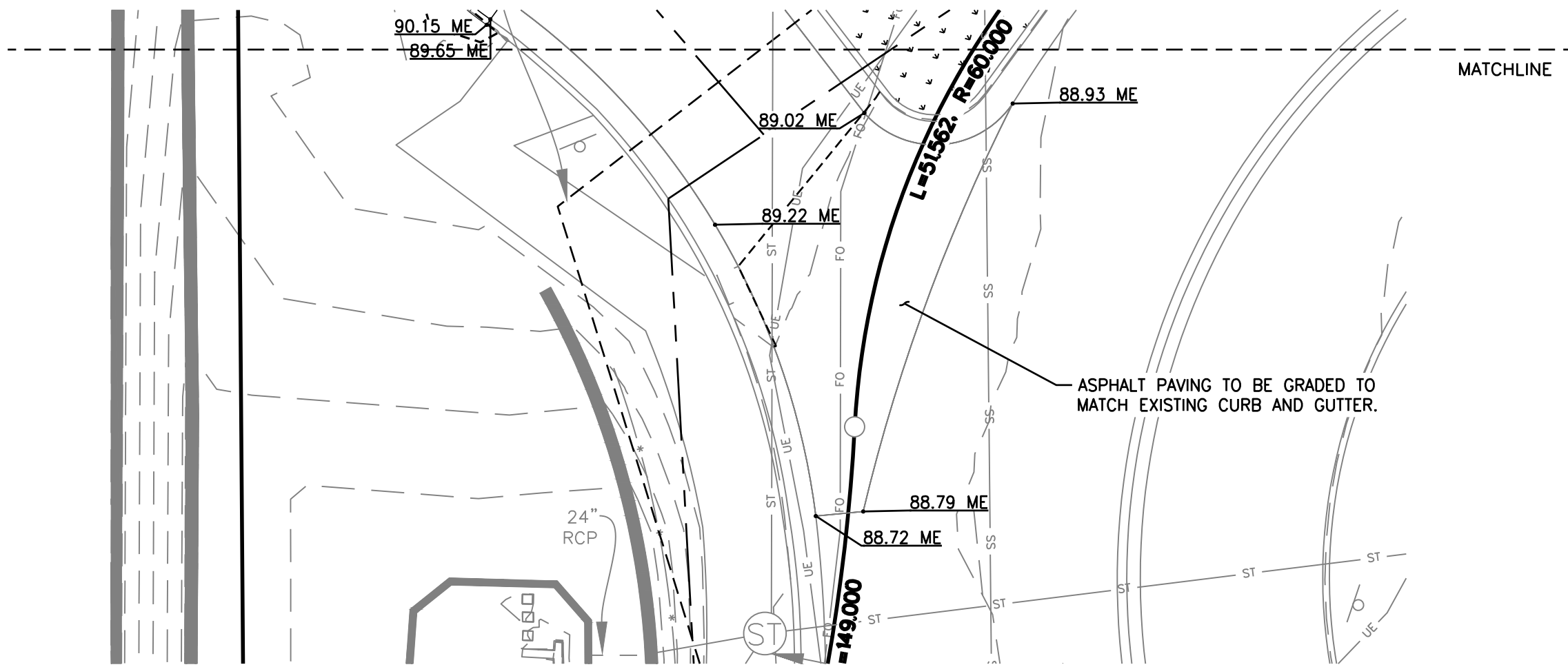
PER THE GEOTECHNICAL INVESTIGATION, PERFORMED BY KUMAR AND ASSOCIATES ON AUGUST 5, 2021, A SIGNIFICANT AMOUNT OF OVER-EXCAVATION WILL BE REQUIRED FOR THE SITE.

IN SUMMARY, FOR ALL FOUNDATION SYSTEMS, AN OVER-EXCAVATION DEPTH OF FIVE (5) FEET IS RECOMMENDED. FOR SLAB-ON-GRADE (SOG) SYSTEMS, AN OVER-EXCAVATION DEPTH OF SEVEN (7) FEET IS RECOMMENDED. ALL HARDSCAPES WITHIN TEN (10) FEET OF PROPOSED STRUCTURES SHOULD BE OVER-EXCAVATED TO SEVEN (7) FEET OF DEPTH TO PREVENT EXCESSIVE MOVEMENT AND CRACKING.

IN ADDITION, FOR ALL OTHER LOCATIONS OF HARDSCAPE INSTALLATION, THE TOP TWELVE (12) INCHES OF THE EXISTING SOIL IS TO BE IMPROVED USING EITHER IN-PLACE SCARIFICATION OR MOISTURE CONDITIONING.

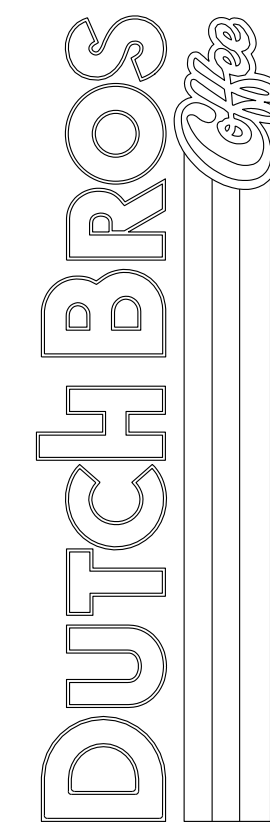
UNDERGROUND UTILITY NOTE:

THE PROPOSED DEVELOPMENT HAS MULTIPLE INSTALLATIONS OF EXISTING UTILITIES WITHIN THE BOUNDS OF THE PROJECT. THE CONTRACTOR SHALL VERIFY THE DEPTH OF ALL UTILITIES PRIOR TO ANY EARTHMOVING ACTIVITIES SHALL BEGIN. IF THE PROPOSED ELEVATION WOULD REDUCE THE COVER OVER AN EXISTING UTILITY, THE CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY AND DETERMINE IF CONTINUED EXCAVATION IS ALLOWED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT BY POT-HOLING THE UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UTILITY LOCATE 1-800-332-2344 AND THEN POT-HOLING ALL OF THE EXISTING UTILITIES.

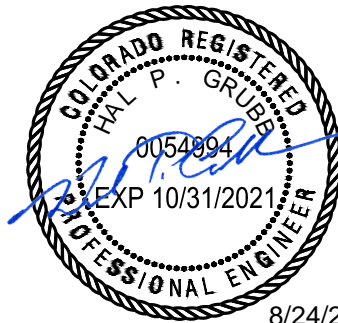


GRADING PLAN
7520 FALCON MARKET PLACE
PEYTON, CO 80831

Title:



For:



Scale:

Horizontal

Vertical

1" = 10'

N/A

Designed

Drawn

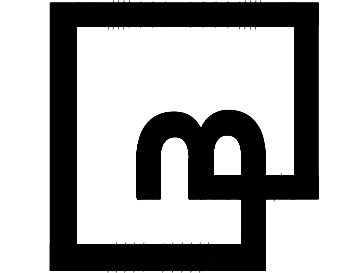
Checked

Approved

Date

08/24/21

Barghausen Consulting Engineers, Inc.
18215 72nd Avenue South
Kent, WA 98032
425.251.6222
barghausen.com



Job Number

21917

Sheet

C3.0

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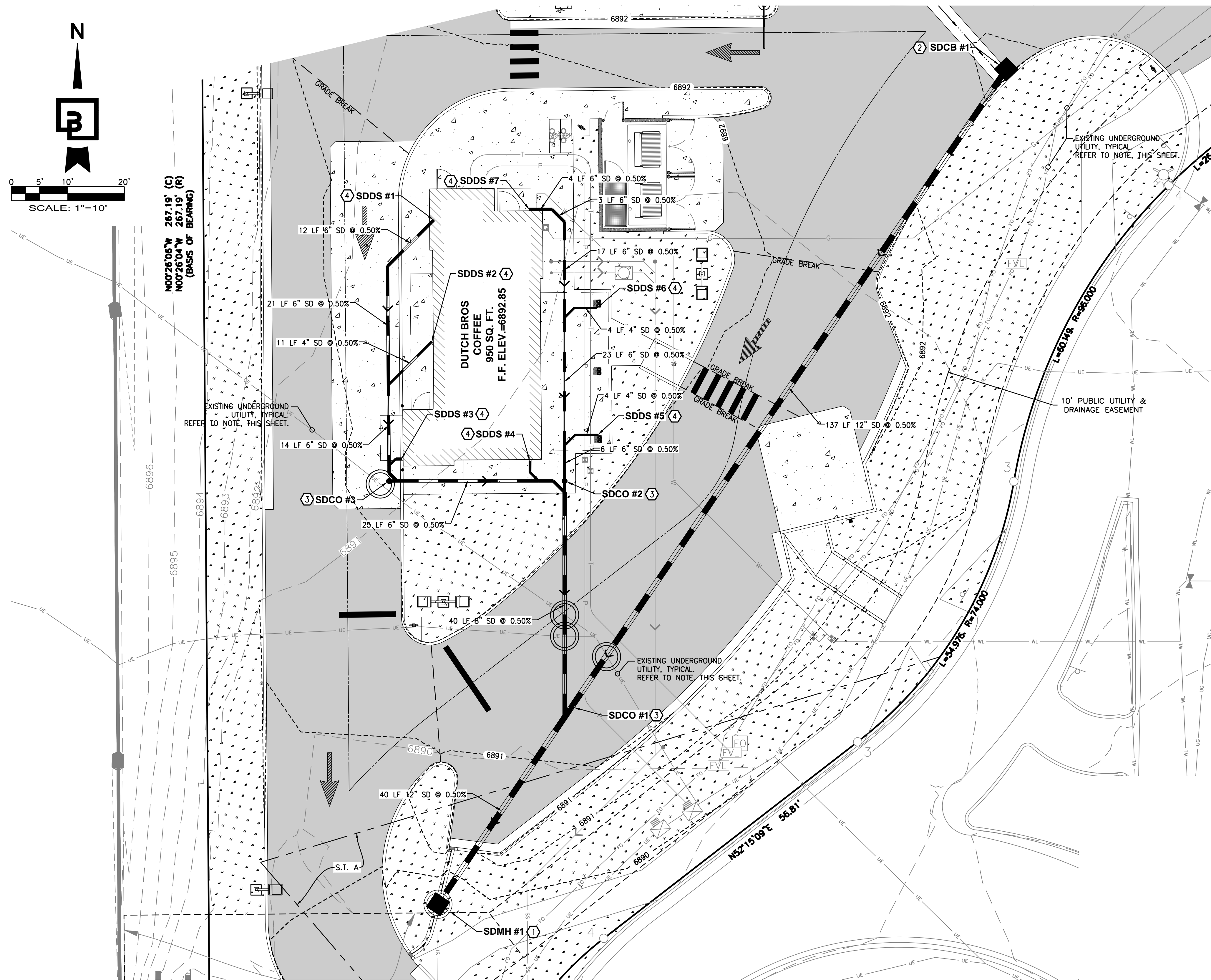
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DUTCH BROS. COFFEE - CO0707 - PEYTON, CO DRAINAGE PLAN



STORM DRAIN GENERAL NOTES:

1. ALL STRUCTURE ELEVATIONS SHOWN ARE TO CENTER OF STRUCTURE AT FINISH SURFACE (TOP OF ASPHALT OR TOP OF CONCRETE PAVEMENT, NOT TOP OF CURB/SIDEWALK) UNLESS OTHERWISE NOTED.
2. ALL STORM DRAINAGE STRUCTURES EXPOSED TO TRAFFIC SHALL BE TRAFFIC RATED INCLUDING STRUCTURE, LID, GRATE, ETC.
3. ALL STORM DRAIN PIPING DENOTED AS 'PVC' SHALL CONFORM TO ASTM D3034, SDR 35.
4. ALL STORM DRAIN PIPING DENOTED AS 'DIP' SHALL BE CLASS 52 MEETING ANSI/AWWA C151/A21.51.
5. ALL STORM PIPING INSTALL WITH LESS THAN 2 FEET OF COVER SHALL BE BACKFILLED WITH A CONTROLLED DENSITY FILL (SLURRY).
6. ALL STORM DRAINAGE STRUCTURES WITH LIDS EXPOSED TO PEDESTRIAN TRAFFIC SHALL BE HEEL PROOF AND SLIP RESISTANT IN ACCORDANCE WITH ACCESSIBILITY REQUIREMENTS.
7. PROVIDE ALL INCIDENTAL FITTINGS, BENDS, WYES, TEES, COUPLINGS, GASKETS, ETC. REQUIRED TO CONSTRUCT THE INFRASTRUCTURE DEPICTED.
8. ALL TRENCHING SHALL CONFORM TO THE REQUIREMENTS OF THE APPLICABLE SURVEYOR.
9. PROVIDE MARKING TAPE AND LOCATE WIRE WITH ALL TRENCH INSTALLATIONS.
10. CONTRACTOR TO OBTAIN ANY NECESSARY RIGHT-OF-WAY PERMITS IF REQUIRED FOR WORK SHOWN ON PLANS.
11. CONTRACTOR TO RAISE AND ADJUST ALL EXISTING AND PROPOSED CATCH BASIN RIMS TO FINAL GRADE AS NECESSARY. CATCH BASINS WITHIN ADA ACCESSIBLE PATHS SHALL BE ADJUSTED TO FINAL ELEVATIONS IN COMPLIANCE WITH CURRENT ADA REQUIREMENTS.

CONSTRUCTION NOTES:

1. PROPOSED POINT OF CONNECTION: CONNECT TO PROPOSED STORM SYSTEM BY OTHERS. CONSTRUCT PROPOSED MANHOLE PER EL PASO COUNTY STANDARD DETAIL SD_3-1/C6.0. MANHOLE TO BE INSTALLED TO ALLOW FOR CONNECTION TO EXISTING 24" RCP PIPE PROVIDED BY DEVELOPER. POTHOLE AND FIELD LOCATE CONNECTION LOCATION AND INVERT ELEVATION. MANHOLE RIM TO BE INSTALLED PER EL PASO COUNTY DETAIL SD_3-5/C6.0 USING THE SECTION A VARIANT.
2. INSTALL PRECAST CONCRETE 24"x24" CATCH BASIN WITH STANDARD GRATE PER DETAIL 10/C5.1. INVERT AND RIM ELEVATIONS AS NOTED IN THE STRUCTURE TABLE.
3. INSTALL STANDARD CLEANOUT PER DETAIL 8/C5.1.
4. CONSTRUCT BUILDING/AWNING DOWNSPOUT CONNECTION: INSTALL STANDARD CLEANOUT PER DETAIL 8/C5.1.
5. INSTALL SDR 35 PVC STORM DRAINAGE PIPE, SLOPE, SIZE AND INVERTS PER PLAN AND STRUCTURE TABLE.

STORMWATER STRUCTURE TABLE	
②	SDCB #1 RIM=6890.99 IE=6889.44 (12" SW)
③	SDCO #1 RIM=6891.22 IE=6888.76 (12" NE) IE=6888.76 (12" SW)
③	SDCO #2 RIM=6892.77 IE=6888.96 (6" S) IE=6888.96 (6" N)
③	SDCO #3 RIM=6892.25 IE=6889.11 (6" E)
④	SDDS #1 RIM=6892.85 IE=6889.35 (6" SW)
④	SDDS #2 RIM=6892.85 IE=6889.24 (4" SW)
④	SDDS #3 RIM=6892.60 IE=6889.13 (4" W)
④	SDDS #4 RIM=6892.85 IE=6888.99 (4" S)
④	SDDS #5 RIM=6892.70 IE=6889.02 (4" W)
④	SDDS #6 RIM=6892.70 IE=6889.13 (4" W)
④	SDDS #7 RIM=6892.85 IE=6889.22 (6" E)
①	SDMH #1 RIM=6889.81 IE=6888.55 (12" NE)

UTILITY CROSSING NOTE:

CONTRACTOR SHALL MAINTAIN MINIMUM VERTICAL SEPARATION BETWEEN UTILITIES AS REQUIRED BY JURISDICTION HAVING AUTHORITY. CONTRACTOR TO VERIFY SEPARATION REQUIREMENTS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.

UTILITY CONFLICT NOTE:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT BY POTHOLES. THE UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UTILITY LOCATE @ 1-800-332-2344 AND THEN POTHOLES ALL OF THE EXISTING UTILITIES AT LOCATIONS OF NEW UTILITY CROSSINGS TO PHYSICALLY VERIFY WHETHER OR NOT CONFLICTS EXIST. LOCATIONS OF SAID UTILITIES AS SHOWN ON THESE PLANS ARE BASED UPON THE UNVERIFIED PUBLIC INFORMATION AND ARE SUBJECT TO VARIATION. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL CONSULT BARGHAUSEN CONSULTING ENGINEERS, INC. TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.

STORMWATER NOTES:

ALL STORMWATER QUALITY REQUIREMENTS AND ALL STORMWATER DETENTION REQUIREMENTS ARE BEING MET AND PROVIDED OFF-SITE.

UTILITY OWNERSHIP NOTE:

ALL UTILITIES SHOWN HEREIN WITHIN THE 41' FOOT PUBLIC DRAINAGE AND UTILITY EASEMENT EG. 24" STORM WATER MAIN, 8" SANITARY SEWER MAIN, 8" WATER MAIN, ALL SERVICE LATERALS, AND ANY STRUCTURES OR APPURTENANCES, ARE OWNED AND OPERATED BY THE CITY OF FOUNTAIN, OR FOUNTAIN SANITATION DISTRICT.

UTILITY POTHOLES NOTE:

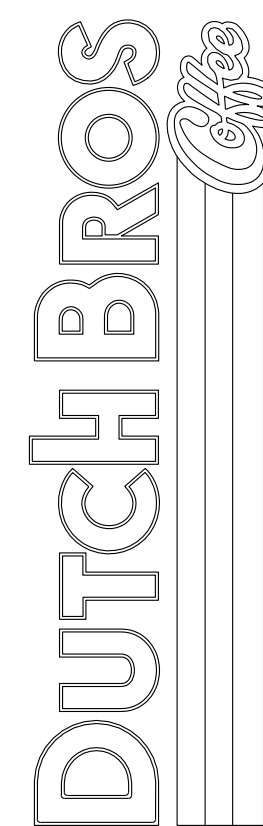
THE CIRCLED LOCATIONS ARE REQUIRED TO BE POTHOLED TO VERIFY VERTICAL AND HORIZONTAL LOCATION OF EXISTING UTILITY AND/OR POTENTIAL CONFLICTS WITH EXISTING UTILITIES. POTHOLES SHALL BE PERFORMED PRIOR TO INSTALLING ANY PROPOSED UTILITIES. CONTRACTOR SHALL NOTIFY BARGHAUSEN CONSULTING ENGINEERS, INC. OF ANY CONFLICTS.

UNDERGROUND UTILITY NOTE:

THE PROPOSED DEVELOPMENT HAS MULTIPLE INSTALLATIONS OF EXISTING UTILITIES WITHIN THE BOUNDS OF THE PROJECT. THE CONTRACTOR SHALL VERIFY THE DEPTH OF ALL UTILITIES PRIOR TO ANY EARTHMOVING ACTIVITIES SHALL BEGIN. IF THE PROPOSED ELEVATION WOULD REDUCE THE COVER OVER AN EXISTING UTILITY, THE CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY AND DETERMINE IF CONTINUED EXCAVATION IS ALLOWED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT BY POTHOLES. THE UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UTILITY LOCATE @ 1-800-332-2344 AND THEN POTHOLES ALL OF THE EXISTING UTILITIES.

DRAINAGE PLAN
7520 FALCON MARKET PLACE
PEYTON, CO 80831

Title:



For:

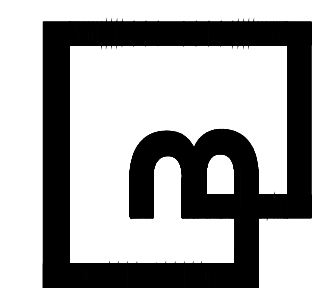


8/24/21

Scale:
Horizontal
1" = 10'
Vertical
N/A

Designed: CCK
Drawn: JAH
Checked: JAH
Approved: HPG
Date: 08/24/21

Barghausen Consulting Engineers, Inc.
18215 72nd Avenue South
Kent, WA 98032
425.251.6222
barghausen.com



Job Number
21917

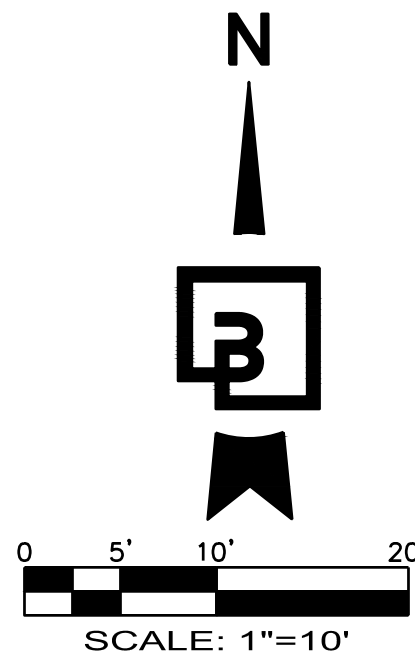
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DUTCH BROS. COFFEE - CO0707 - PEYTON, CO UTILITY PLAN



NW 40' W 40' 12" (V)
(BASIS OF BEARING)

EXISTING UNDERGROUND
UTILITY, TYPICAL
REFER TO NOTE, THIS SHEET.

6894
6893
6892

6891

6890

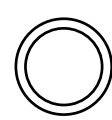
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UTILITY CROSSING NOTE:

CONTRACTOR SHALL MAINTAIN MINIMUM VERTICAL SEPARATION BETWEEN UTILITIES AS REQUIRED BY JURISDICTION HAVING AUTHORITY. CONTRACTOR TO VERIFY SEPARATION REQUIREMENTS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.

UTILITY CONFLICT NOTE:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT BY POTHOLES. THE UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UTILITY LOCATE @ 1-800-332-2344 AND THEN POTHOLES ALL OF THE EXISTING UTILITIES AT LOCATIONS OF NEW UTILITY CROSSINGS TO PHYSICALLY VERIFY WHETHER OR NOT CONFLICTS EXIST. LOCATIONS OF SAID UTILITIES AS SHOWN ON THESE PLANS ARE BASED UPON THE UNVERIFIED PUBLIC INFORMATION AND ARE SUBJECT TO VARIATION. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL CONSULT BARGHAUSEN CONSULTING ENGINEERS, INC. TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.



UTILITY PITHOLING NOTE:

THE CIRCLED LOCATIONS ARE REQUIRED TO BE POTHOLED TO VERIFY VERTICAL AND HORIZONTAL LOCATION OF EXISTING UTILITY AND/OR POTENTIAL CONFLICTS WITH EXISTING UTILITIES. POTHOLES SHALL BE PERFORMED PRIOR TO INSTALLING ANY PROPOSED UTILITIES. CONTRACTOR SHALL NOTIFY BARGHAUSEN CONSULTING ENGINEERS, INC. OF ANY CONFLICTS.

UNDERGROUND UTILITY NOTE:

THE PROPOSED DEVELOPMENT HAS MULTIPLE INSTALLATIONS OF EXISTING UTILITIES WITHIN THE BOUNDS OF THE PROJECT. THE CONTRACTOR SHALL VERIFY THE DEPTH OF ALL UTILITIES PRIOR TO ANY EARTHMOVING ACTIVITIES SHALL BEGIN. IF THE PROPOSED ELEVATION WOULD REDUCE THE COVER OVER AN EXISTING UTILITY, THE CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY AND DETERMINE IF CONTINUED EXCAVATION IS ALLOWED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT BY POTHOLES. THE UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UTILITY LOCATE @ 1-800-332-2344 AND THEN POTHOLES ALL OF THE EXISTING UTILITIES.

GENERAL UTILITY NOTES:

- ALL STRUCTURE ELEVATIONS SHOWN ARE TO CENTER OF STRUCTURE AT FINISH SURFACE (TOP OF ASPHALT OR TOP OF CONCRETE PAVEMENT, NOT TOP OF CURB/SIDEWALK) UNLESS OTHERWISE NOTED.
- ALL UTILITY STRUCTURES EXPOSED TO TRAFFIC SHALL BE TRAFFIC RATED INCLUDING STRUCTURE, LID, ETC.
- ALL UTILITY STRUCTURES WITH LIDS EXPOSED TO PEDESTRIAN TRAFFIC SHALL BE SLIP RESISTANT IN ACCORDANCE WITH ACCESSIBILITY REQUIREMENTS.
- PROVIDE ALL INCIDENTAL FITTINGS, BENDS, WYES, TEES, COUPLINGS, GASKETS, ETC. REQUIRED TO CONSTRUCT THE INFRASTRUCTURE DEPICTED.
- ALL TRENCHING SHALL CONFORM TO THE REQUIREMENTS OF THE APPLICABLE PURVEYOR.
- PROVIDE MARKING TAPE AND LOCATE WIRE WITH ALL TRENCH INSTALLATIONS.
- ALL SANITARY SEWER PIPING SHALL BE PVC UNLESS DENOTED OTHERWISE. ALL PVC SEWER PIPE SHALL BE SDR-35 CONFORMING TO ASTM D3034.
- ALL WATER PIPING DENOTED AS PVC SHALL CONFORM TO ASTM D1785, SCHEDULE 40.
- ALL SANITARY SEWER MUST MEET THE REQUIREMENTS OF THE WOODMEN HILLS METROPOLITAN DISTRICT.

SANITARY CONSTRUCTION NOTES:

- POINT OF CONNECTION: CONSTRUCT CONNECTION TO PROPOSED SANITARY SEWER STUB. STUB PROVIDED BY OVERALL DEVELOPER. ELEVATION NOTED IS APPROXIMATE ONLY. CONTRACTOR TO ADJUST SLOPE FROM SSCO#1 TO CONNECTION POINT TO MATCH ELEVATIONS.
- INSTALL 6" SANITARY SEWER STANDARD CLEANOUT PER DETAIL 8/C5.1. RIM AND INVERT ELEVATIONS AS NOTED IN THE SANITARY SEWER STRUCTURE TABLE.
- APPROXIMATE LOCATION OF CONNECTION TO BUILDING, INSTALL 6" SANITARY SEWER CLEANOUT PER DETAIL 8/C5.1. REFER TO PLUMBING PLANS BY OTHERS FOR FINAL LOCATION. RIM AND INVERTS PER SANITARY SEWER STRUCTURE TABLE.
- APPROXIMATE LOCATION OF CONNECTION TO BUILDING, INSTALL 4" SANITARY SEWER CLEANOUT PER DETAIL 8/C5.1. REFER TO PLUMBING PLANS BY OTHERS FOR FINAL LOCATION. RIM AND INVERTS PER SANITARY SEWER STRUCTURE TABLE.
- INSTALL GREASE INTERCEPTOR WITH SAMPLE BOX; INVERT AND RIM ELEVATIONS AS NOTED IN THE SANITARY SEWER STRUCTURE TABLE. REFER TO ARCHITECTURAL AND PLUMBING PLANS FOR SIZE, TYPE AND VENDOR. PROVIDE VENT LINE; REFER TO ALL PLUMBING PLANS FOR ADDITIONAL INFORMATION.
- INSTALL SANITARY SEWER PIPE SDR-35, LENGTH AD SIZE AS NOTED.

WATER CONSTRUCTION NOTES:

- APPROXIMATE LOCATION OF 1-1/2" WATER SERVICE LINE STUB BY OTHERS.
- INSTALL 1-1/2" DOMESTIC WATER SERVICE METER, COORDINATE WITH WOODMEN HILLS METROPOLITAN DISTRICT FOR METER INSTALLATION REQUIREMENTS.
- INSTALL 1-1/2" x 1/2" TEE AND 1-1/2" x 1" REDUCER.
- INSTALL 1" DOMESTIC WATER SERVICE LINE.
- INSTALL 3/4" REDUCED PRESSURE BACKFLOW DEVICE. COORDINATE WITH WOODMEN HILLS METROPOLITAN DISTRICT FOR APPROVED DEVICES. INSTALL HOT BOX IS REQUIRED BY PURVEYOR.
- INSTALL 3/4" IRRIGATION SERVICE LINE.
- APPROXIMATE LOCATION OF WATER SERVICE CONNECTION TO BUILDING. REFER TO PLUMBING PLANS BY OTHERS FOR FINAL LOCATION.
- APPROXIMATE LOCATION IRRIGATION SERVICE STUB.

GAS CONSTRUCTION NOTES:

- APPROXIMATE LOCATION OF EXISTING GAS STUB. REFER TO OVERALL DEVELOPMENT UTILITY DRAWINGS FOR EXACT LOCATION.
- APPROXIMATE ROUTING FOR GAS SERVICE LINE. COORDINATE EXACT ROUTING, SIZE AND ALL TRENCHING/BORING REQUIREMENTS WITH PURVEYOR PRIOR TO CONSTRUCTION.
- APPROXIMATE LOCATION OF GAS CONNECTION TO BUILDING. FINAL LOCATION OF GAS METER TO BE COORDINATED WITH PLUMBING PLANS AND PURVEYOR PRIOR TO CONSTRUCTION.

DRY UTILITIES CONSTRUCTION NOTES:

- APPROXIMATE LOCATION OF EXISTING TRANSFORMER. CONTRACTOR TO INSTALL UNDERGROUND POWER SERVICE LINE, COMMON TRENCHED AS APPLICABLE. CONTRACTOR SHALL INSTALL CONDUIT(S) WITH PULL TAPE FOR INSTALLATION; ALL DIRECTION CHANGES MUST INCORPORATE A RADIUS SWEEP PER PURVEYORS SPECIFICATIONS. CONTRACTOR TO COORDINATE SCOPE OF WORK AND CONDUIT SIZE AND QUANTITY WITH MEP PLANS AND PURVEYOR PRIOR TO CONSTRUCTION.
- APPROXIMATE LOCATION OF UNDERGROUND DATA/COMMUNICATIONS/TELEPHONE SERVICE VAULT. CONTRACTOR TO INSTALL CONDUIT AND PULL TAPE, COMMON TRENCHED AS APPLICABLE. ALL DIRECTION CHANGES MUST INCORPORATE A RADIUS SWEEP PER PURVEYORS SPECIFICATIONS. CONTRACTOR TO COORDINATE SCOPE OF WORK AND CONDUIT SIZE AND QUANTITY WITH MEP PLANS AND PURVEYOR PRIOR TO CONSTRUCTION.
- APPROXIMATE LOCATION OF POWER CONNECTION TO BUILDING.
- APPROXIMATE LOCATION OF DATA/COMM/TELEPHONE CONNECTION TO BUILDING.
- INSTALL STANDARD PULL BOX THAT MEETS APPLICABLE PURVEYORS STANDARDS. CONTRACTOR TO COORDINATE WITH OVERALL DEVELOPER FOR LOCATIONS OF STUBS

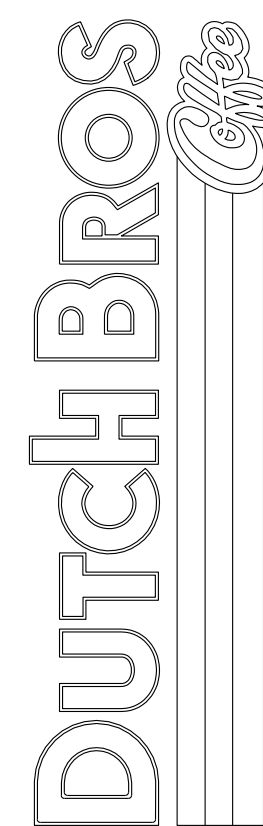
SANITARY SEWER STRUCTURE TABLE	
①	CONNECTION TO (EX) SEWER STUB IE=6886.52 (6" OUT NE)
⑤	GREASE INTERCEPTOR RIM=6892.75 IE=6888.93 (4" OUT W) IE=6888.93 (4" OUT E)
②	SSCO #1 RIM=6891.20 IE=6886.37 (6" IN SW)
②	SSCO #2 RIM=6892.74 IE=6888.35 (6" IN S)
④	SSCO #3 RIM=6892.85 IE=6889.16 (4" IN E)
③	SSCO #4 RIM=6892.85 IE=6889.25 (6" IN E)

UTILITY CROSSING TABLE				
① BOTTOM UTILITY	TOP	TOP UTILITY	INVERT	CLEAR
1 STORM SEWER	±6886.32	SANITARY SEWER	±6889.08	±2.75'
2 STORM SEWER	±6886.24	SANITARY SEWER	±6887.73	±12"

UTILITY CROSSING NOTE:
CONTRACTOR SHALL MAINTAIN MINIMUM VERTICAL SEPARATION BETWEEN UTILITIES AS REQUIRED BY JURISDICTIONS HAVING AUTHORITY. CONTRACTOR TO VERIFY SEPARATION REQUIREMENTS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.

UTILITY PLAN
7520 FALCON MARKET PLACE
PEYTON, CO 80831

Title:



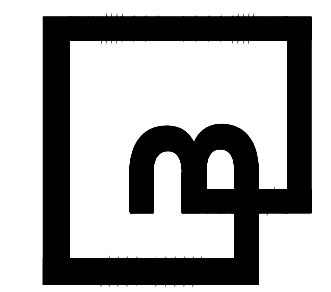
For:



Scale:
Horizontal
1" = 10'
Vertical
N/A

Designed: CCK
Drawn: JAH
Checked: JAH
Approved: HPG
Date: 08/24/21

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Consulting Engineers, Inc.
18215 72nd Avenue South
Kent, WA 98032
425.251.6222
barghausen.com



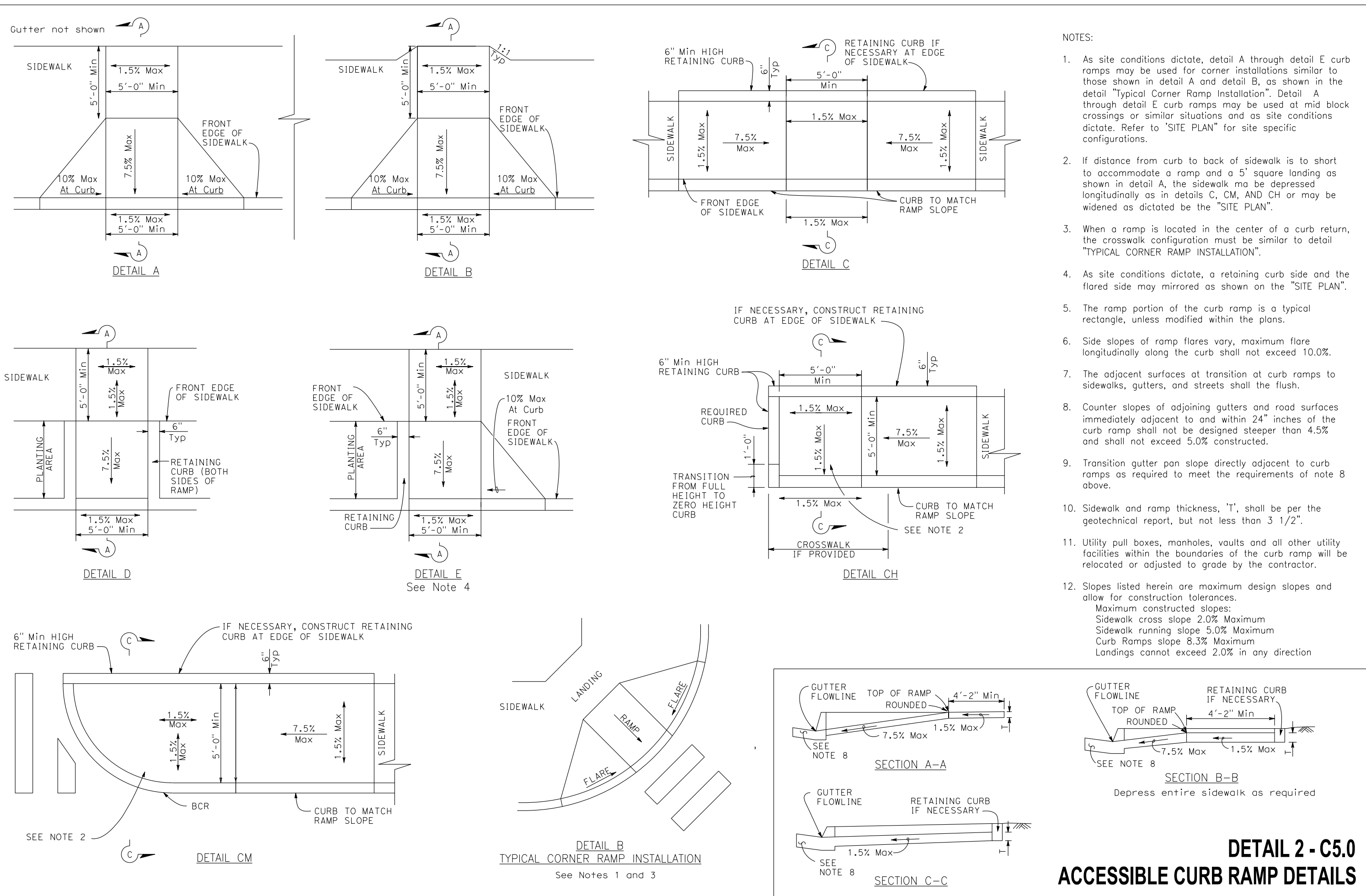
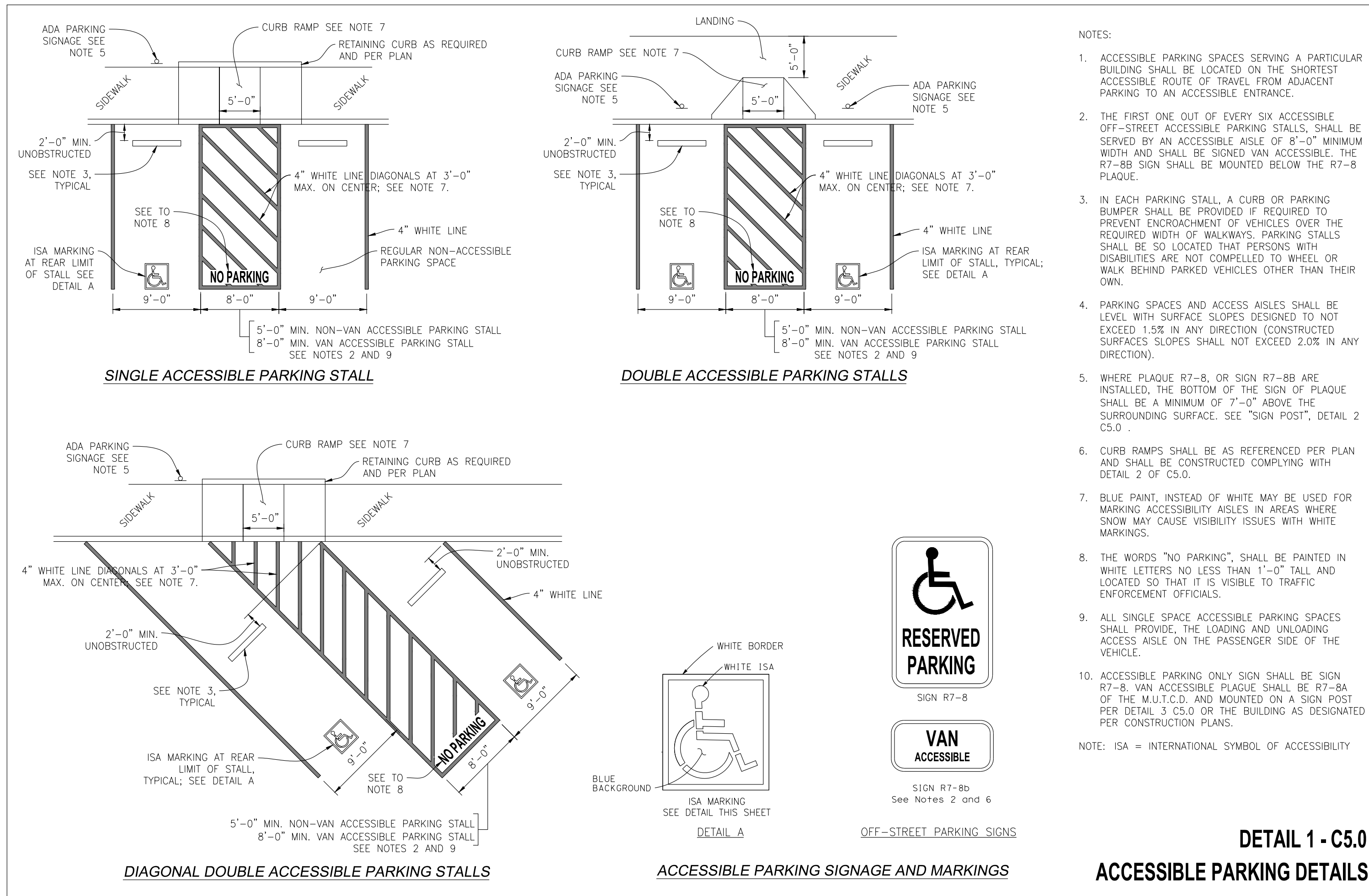
Job Number
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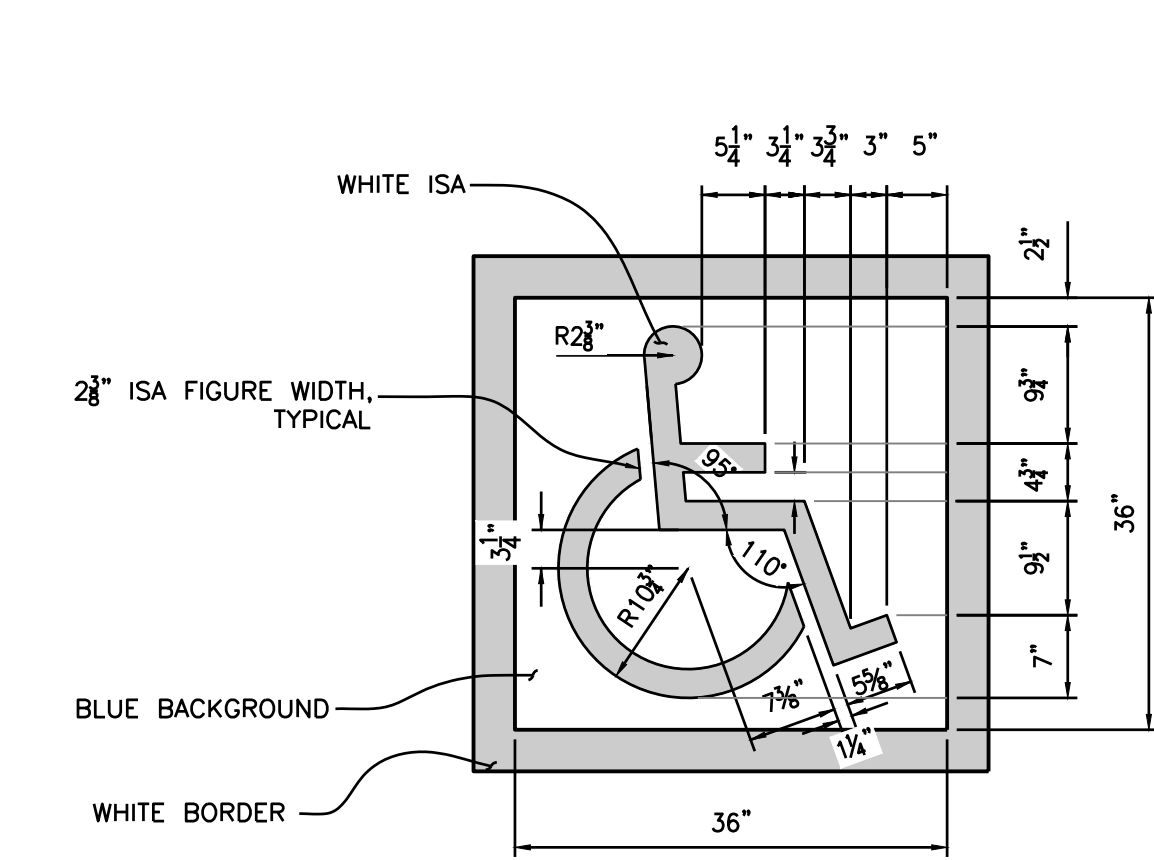
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DUTCH BROS. COFFEE - CO0707 - PEYTON, CO CIVIL DETAILS

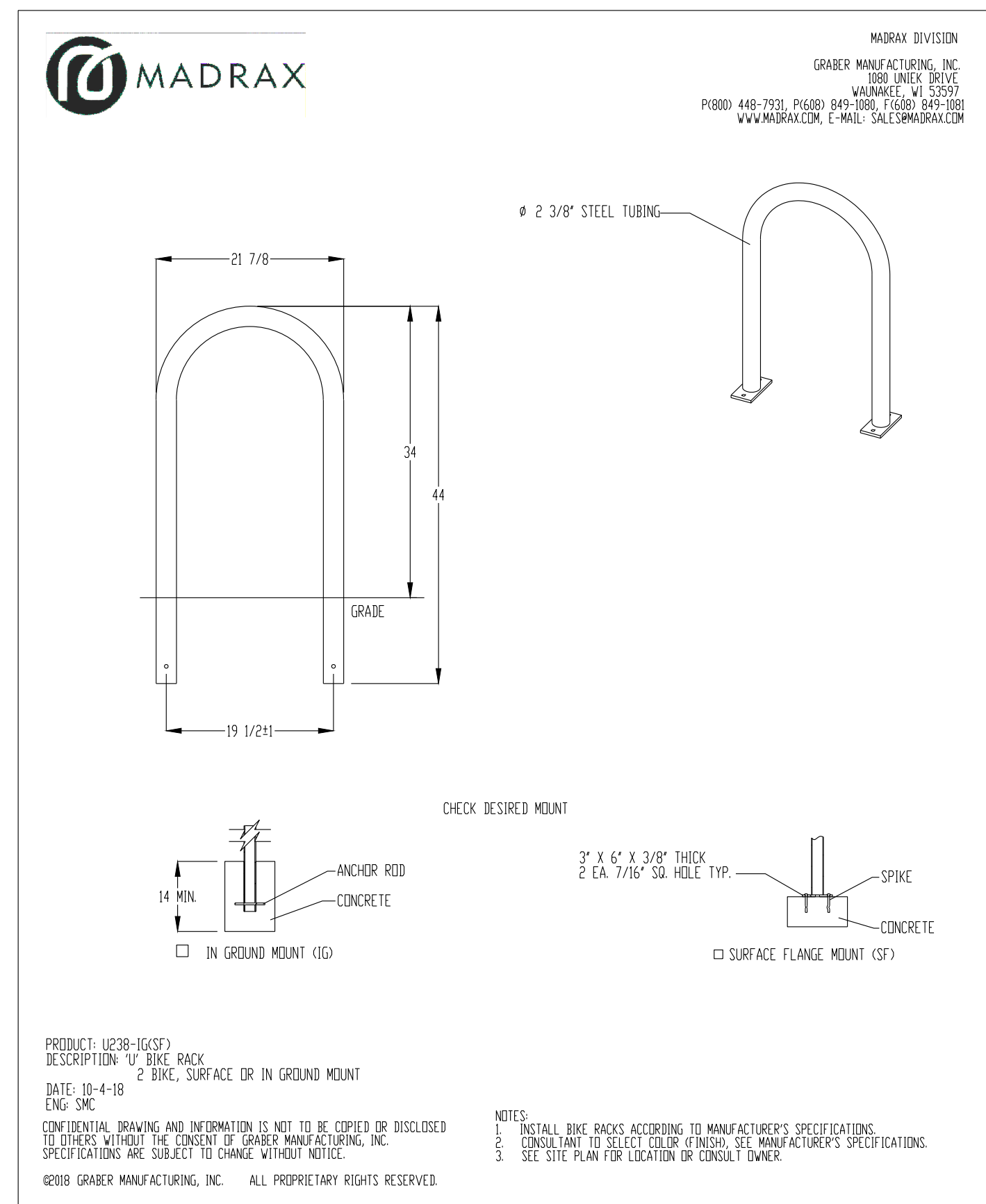
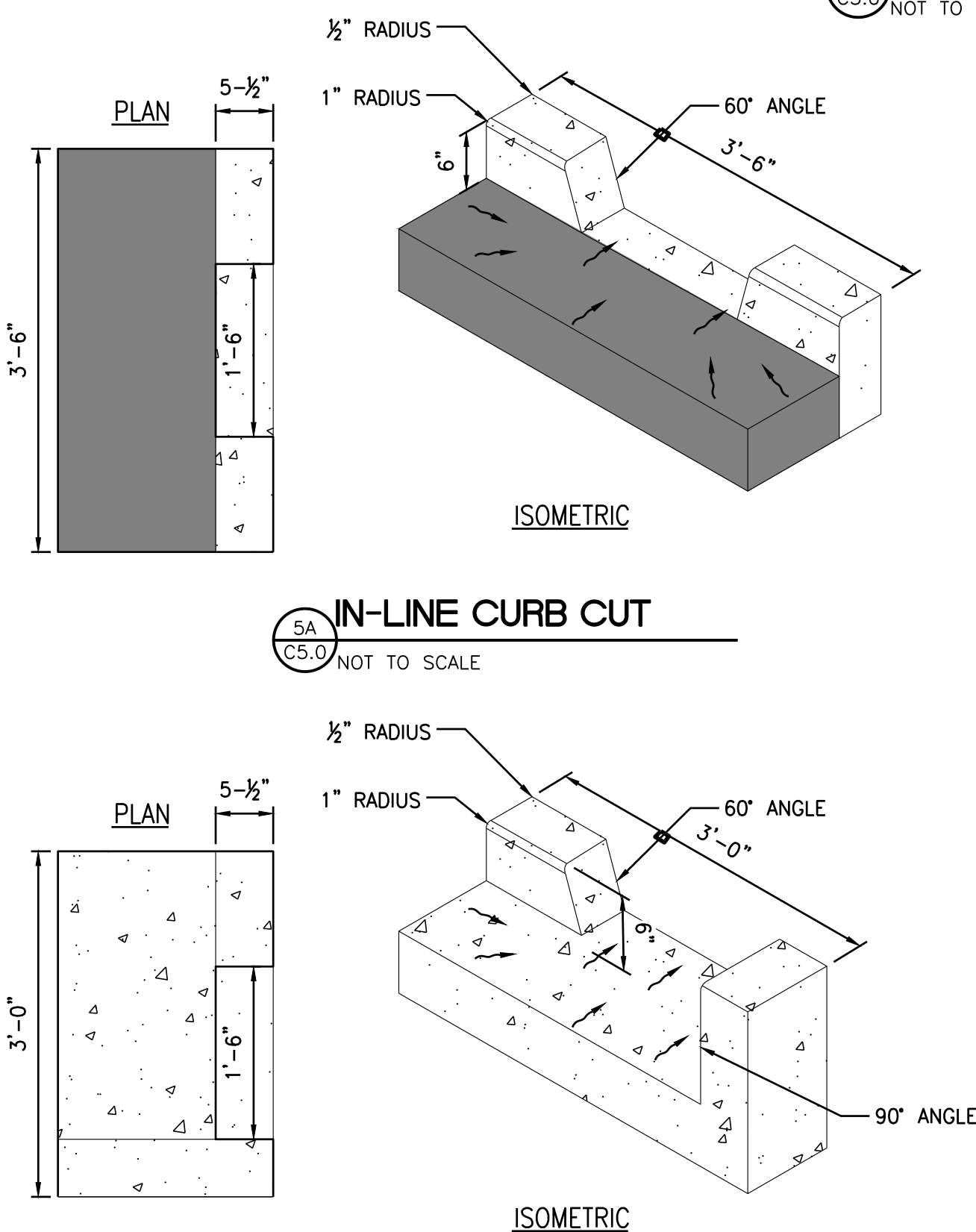
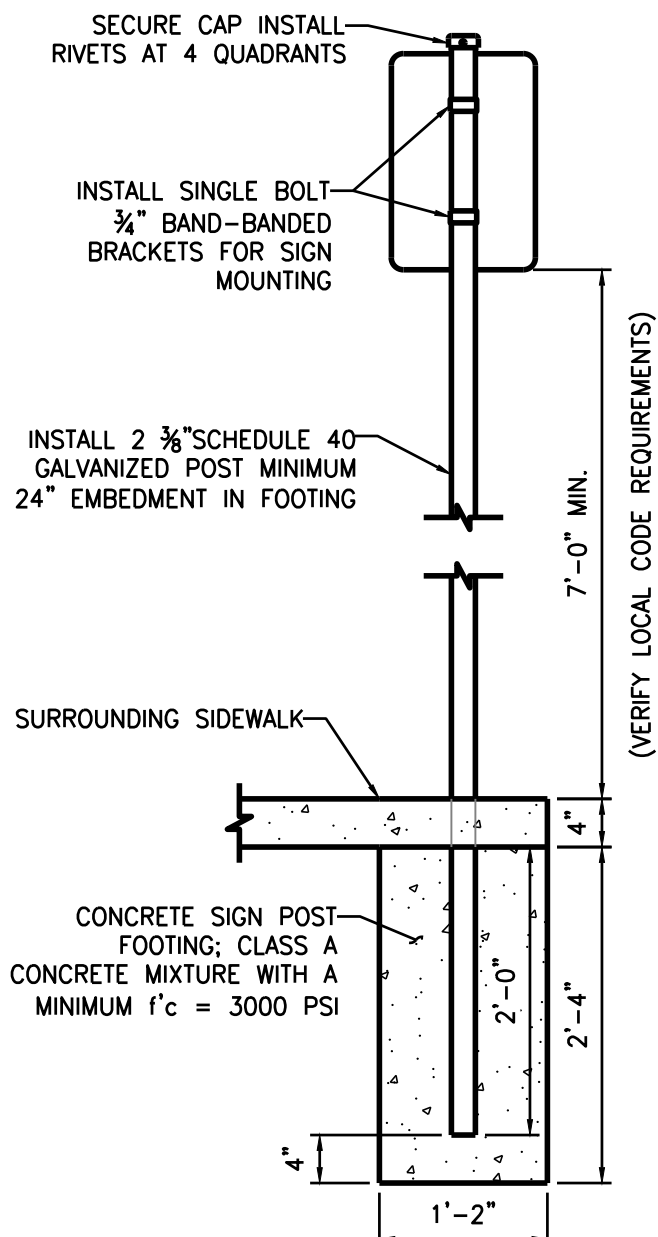


1 ACCESSIBLE PARKING DETAILS C5.0 NOT TO SCALE

2 ACCESSIBLE CURB RAMP DETAILS C5.0 NOT TO SCALE

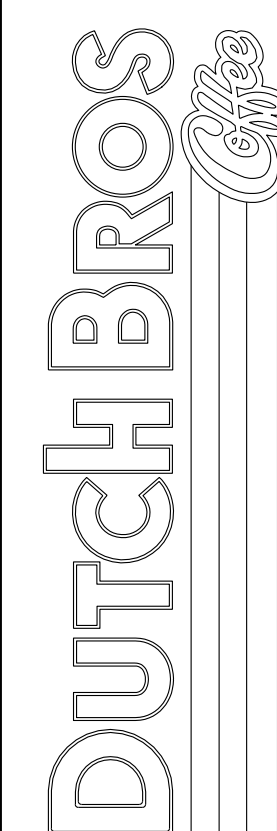


- SYMBOL TO BE CENTERED ON WIDTH OF PARKING STALL.
- BOTTOM OF SYMBOL TO BE LOCATED FLUSH WITH ACCESS DRIVE, CENTERED ON PARKING SPACE.
- SYMBOL IS REQUIRED TO CONTRAST WITH BACKGROUND.

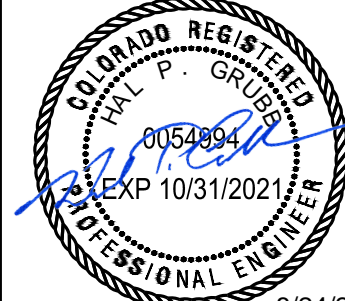


CIVIL DETAILS
7520 FALCON MARKET PLACE
PEYTON, CO 80831

Title:



For:



Scale:	Horizontal	N/A	Vertical	N/A
Designed	CKX	JAH	Checked	JAH
Drawn	JAH	Approved	HFG	Date
				08/24/21

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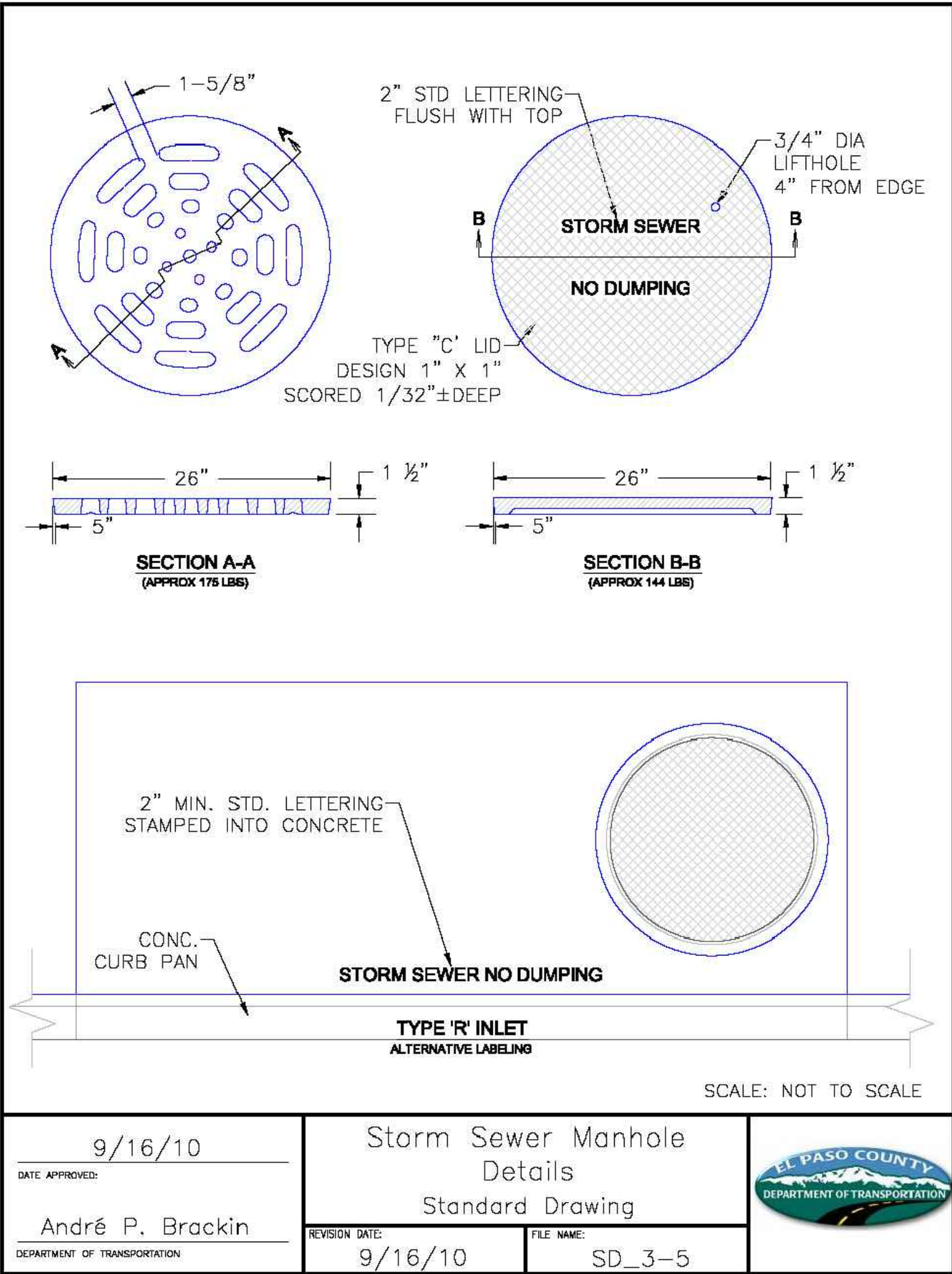
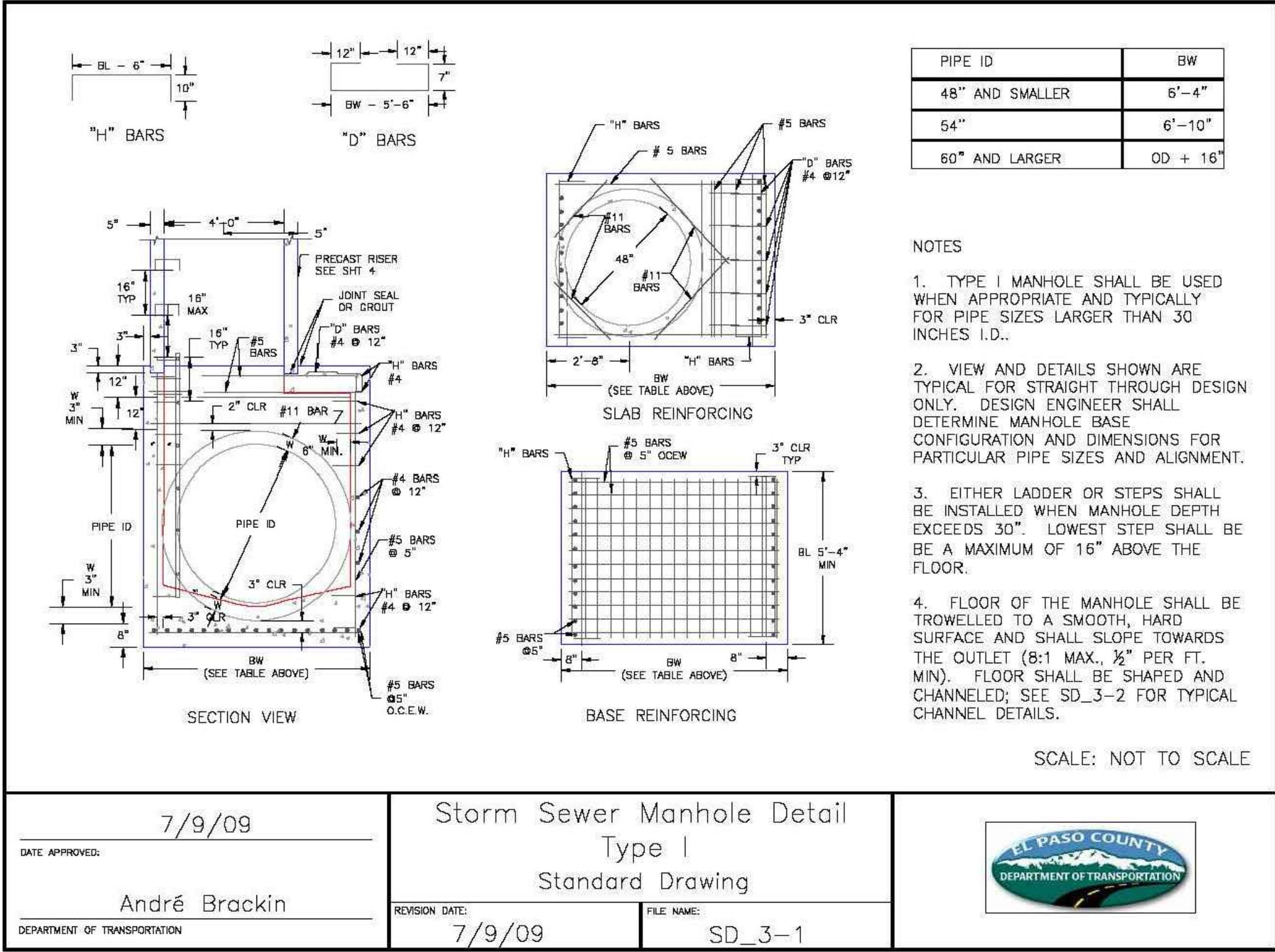
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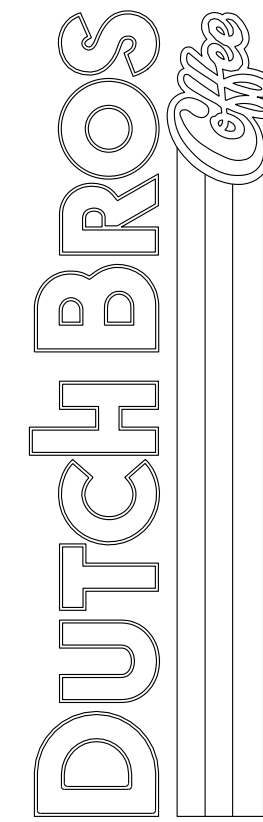
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Checked: JAH
Approved: HPG
Date: 08/24/21

Barghausen Consulting Engineers, Inc.
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Kent, WA 98032
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