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ACCESSIBLE NOTE:

"NOTICE AND WARNING" COMPLIANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA) AND OTHER FEDERAL AND STATE ACCESSIBILITY LAWS IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER. THEREFORE, COMPLIANCE WITH CITY CODES DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS.
THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE AMERICANS WITH DISABILITIES ACT (ADA) DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE.
APPROVAL OF THIS PLAN BY THE CITY OF FOUNTAIN DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.

BENCHMARK:

ELEVATIONS ARE BASED ON COLORADO SPRINGS UTILITIES FACILITIES INFORMATION SYSTEM (FIMS) "BLT 167", A 2" ALUMINUM CAP IN CONCRETE LOCATED ON AN ELECTRIC TRANSFORMER PAD AT THE SOUTHEAST CORNER OF E. WOODMEN ROAD AND MERIDIAN ROAD, WITH AN ELEVATION OF 6873.18 (NGVD 29).

FLOOD ZONE:

THE EFFECTIVE FLOODPLAIN ZONE A LIMITS ARE DEFINED ON THE FIRM FOR EL PASO COUNTY, COLORADO AND UNINCORPORATED AREAS, MAP NUMBER 08041C0553G, EFFECTIVE DATE DECEMBER 7, 2018. A CLOMR TO MODIFY THE FLOODPLAIN HAS BEEN SUBMITTED AND APPROVED BY FEMA, CASE NO. 17-08-0074R (MAY 26, 2017).

EXISTING TOPOGRAPHY AND SURVEY INFORMATION NOTE:

DREXEL, BARRELL & CO. ENGINEERING FIRM HAS PROVIDED AN ELECTRONIC TOPOGRAPHIC FILE TO BARGHAUSEN CONSULTING ENGINEERS, INC. BARGHAUSEN CONSULTING ENGINEERS, INC. HAS NOT VERIFIED THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. SITE DESIGN HAS BEEN BASED ON ABOVE REFERENCED TOPOGRAPHIC FILE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE OWNER TO HAVE ALL IMPROVEMENTS FIELD VERIFIED PRIOR TO CONSTRUCTION. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF BARGHAUSEN CONSULTING ENGINEERS, INC. PRIOR TO WORK.

HORIZONTAL CONTROL NOTE:

CONTRACTOR SHALL HAVE ALL PROPERTY LINES, CURB, SIDEWALK, STRUCTURES, CONCRETE PADS AND ANY OTHER ABOVE GROUND PERMANENT STRUCTURE DEPICTED ON THESE PLANS STAKED FOR CONSTRUCTION BY A LICENSED SURVEYOR. LICENSED SURVEYOR SHALL STAKE ALL ITEMS USING COORDINATE GEOMETRY (RECTIFIED TO SITE CONTROL) CONTAINED IN CAD DRAWING FILES PROVIDED BY BARGHAUSEN CONSULTING ENGINEERS, INC. IT IS THE CONTRACTOR'S RESPONSIBILITY TO RETRIEVE LATEST CAD FILES FROM BARGHAUSEN CONSULTING ENGINEERS INC., REFLECTING ANY ISSUED PLAN REVISIONS. BARGHAUSEN CONSULTING ENGINEERS SHALL IMMEDIATELY BE NOTIFIED OF ANY DISCREPANCIES PRIOR TO THE START OF CONSTRUCTION.

GEOTECHNICAL REPORT NOTES:

- THE FOLLOWING GEOTECHNICAL REPORTS FOR THE SITE SHALL BE CONSIDERED PART OF THESE CONSTRUCTION DOCUMENTS:

GEOTECHNICAL ENGINEERING STUDY
KUMAR & ASSOCIATES, INC.
PROJECT NO. 21-2-189
DATE: AUGUST 5, 2021
6735 KUMAR HEIGHTS
COLORADO SPRINGS, CO 80918
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL PROVISIONS OF THE SOILS REPORT FOR THE SITE BE OBSERVED AND COMPLIED WITH DURING ALL PHASES OF THE SITE PREPARATION, GRADING OPERATIONS, FOUNDATION, SLAB, AND PAVING CONSTRUCTION.
- ANY PROVISIONS OF THE SOILS REPORT WHICH CONFLICT WITH INFORMATION SHOWN ELSEWHERE ON THESE DRAWINGS, OR WHICH REQUIRE FURTHER CLARIFICATION, SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER FOR DETERMINATION.
- A REPRESENTATIVE OF THE SOILS ENGINEER SHALL BE AVAILABLE TO OBSERVE AND APPROVE THE EARTHWORK OPERATIONS AND TO VERIFY FIELD CONDITIONS AS WORK PROCEEDS. THE SOILS ENGINEER SHALL SUBMIT FIELD REPORTS CERTIFYING THAT THE METHODS AND MATERIALS OF THE EARTHWORK OPERATIONS WERE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE SOILS INVESTIGATION AND THAT THE WORK WAS PERFORMED TO HIS/HER SATISFACTION.
- THE SOILS ENGINEER SHOULD BE NOTIFIED AT LEAST FIVE (5) WORKING DAYS PRIOR TO ANY SITE CLEARING OR GRADING.

LEGAL DESCRIPTION:

THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 1, TOWNSHIP 13 SOUTH, RANGE 65 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOGETHER WITH THAT PORTION OF BLOCK 1, TOWN OF FALCON, LYING WITHIN THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 1, TOWNSHIP 13 SOUTH, RANGE 65 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF EL PASO, STATE OF COLORADO.

EXCEPT THOSE PORTIONS CONVEYED TO WOODMEN ROAD MUNICIPAL DISTRICT BY WARRANTY DEED RECORDED APRIL 19, 2004 AT RECEPTION NO. 204062427 AND PERSONAL REPRESENTATIVE'S DEED RECORDED SEPTEMBER 7, 2007 AT RECEPTION NO. 207116129, EL PASO COUNTY, COLORADO RECORDS.

LEGEND:

PROPOSED	EXISTING
CURB AND GUTTER	CURB
BARRIER CURB	PAINT STRIPE
CONCRETE	CONCRETE
ASPHALT	CONTOUR
SAWCUT	WATER
CONTOUR	SANITARY
WATER	STORM
WATER METER	OVERHEAD POWER
STORM	GAS
SANITARY	DOUBLE CHECK VALVE
GAS	ASPHALT
POWER	BUILDING LINE
PAINT STRIPE	OH/UG TEL. LINE
TYPE 1 CATCH BASIN	TREE
TYPE 2 CATCH BASIN	
SANITARY SEWER CLEANOUT	

DUTCH BROS. COFFEE - CO0707 - PEYTON, CO COVER SHEET

FALCON MARKETPLACE DEVELOPMENT

NW CORNER OF E. WOODMEN ROAD AND MERIDIAN ROAD
SITUATED IN THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 1, TOWNSHIP 13 SOUTH.
RANGE 65 WEST OF THE 6TH P.M., CITY OF FALCON, EL PASO COUNTY, COLORADO

AGENCIES/CONTACTS:

COUNTY: EL PASO COUNTY PLANNING & COMMUNITY DEVELOPMENT
KARI PARSONS, PROJECT MANAGER/PLANNER II
2880 INTERNATIONAL CIRCLE, SUITE 110
COLORADO SPRINGS, CO 80910

FIRE: FALCON FIRE DEPARTMENT
TRENT HARWIG, FIRE CHIEF - 719.495.4050
7030 OLD MERIDIAN ROAD
FALCON, CO 80831

WATER: WOODMEN HILLS METROPOLITAN DISTRICT
JERRY JACOBSON, DIRECTOR OF WATER - 719.495.2500
8046 EASTONVILLE ROAD
FALCON, CO 80831

WASTEWATER: WOODMEN HILLS METROPOLITAN DISTRICT
GENE COZZOLINO, DIRECTOR OF WASTEWATER - 719.495.2500
8046 EASTONVILLE ROAD
FALCON, CO 80831

ELECTRIC: MOUNTAIN VIEW ELECTRIC ASSOCIATION
LES ULFERS - 719.495.2283
11140 E. WOODMEN ROAD
FALCON, CO 80831

GAS: COLORADO SPRINGS UTILITIES
TODD STURTEVANT - 719.668.3556
1521 HANCOCK EXPRESSWAY
COLORADO SPRINGS, CO 80947

TELEPHONE: CENTURY LINK
SALLY KLEIN - 719.636.4329
CENTURY LINK LOCATORS - 719.597.8418
AT&T LOCATORS - 719.835.3674

CABLE: COMCAST
DALE STEWART - 719.442.4733
213 N. UNION BLVD.
COLORADO SPRINGS, CO 80909

PETROLEUM: MUSTAR
CHAD RENSLow - 719.391.0942
7810 DRENNAN ROAD
COLORADO SPRINGS, CO 80925

OTHER: WOODMEN ROAD METROPOLITAN DISTRICT
TERRY SCHOOER - 719.447.1777
20 BOULDER CRESCENT, SUITE 200
COLORADO SPRINGS, CO 80903

OWNER

EVERGREEN-DEVCO, INC.
2390 EST CAMELBACK ROAD SUITE 410
PHOENIX, AZ 85016
CONTACT: KAREN LEVITT ORTIZ
TEL: (602) 567-7099

BUILDING ARCHITECT

ONICH ARCHITECTURE STUDIO
1001 SE SANDY BOULEVARD, SUITE 100
PORTLAND, OR 97214
TEL: (503) 552-9079
CONTACT: DUSTIN HENION

DEVELOPER

DUTCH BROS COFFEE
110 SW 4TH STREET
GRANTS PASS, OR 97526
TEL: (916) 765-7270
CONTACT: RUSS ORSI

ENGINEER

BARGHAUSEN CONSULTING ENGINEERS, INC.
18215 72ND AVE. SOUTH
KENT, WA 98032
TEL: (425) 251-6222
CONTACT: HAL P. GRUBB, P.E.

GEOTECHNICAL

KUMAR & ASSOCIATES, INC.
PROJECT NO. 21-2-189
6735 KUMAR HEIGHTS
COLORADO SPRINGS, CO 80918
TEL: (719) 632-7009
CONTACT: ARBEN F. KALAVESHI, P.E.

LANDSCAPE ARCHITECT

EVERGREEN DESIGN GROUP
1600 BROADWAY, SUITE 1600
DENVER, CO 80202
TEL: (800) 680-6630
CONTACT: ERIC SHEPLEY, PLA, ASLA

TIMING:

ANTICIPATING STARTING AND COMPLETION TIME PERIOD OF SITE GRADING: FALL 2021-WINTER 2021

RECEIVING WATERS:

FALCON WATERSHED - UNNAMED TRIBUTARY TO UPPER BLACK SQUIRREL CREEK

SOILS:

HYDROLOGIC TYPE A: BLAKELAND LOAMY SAND (NO. 8) AND BLAKELAND-FLUVAQUENTIC HAPLAQUOLIS (NO. 9).

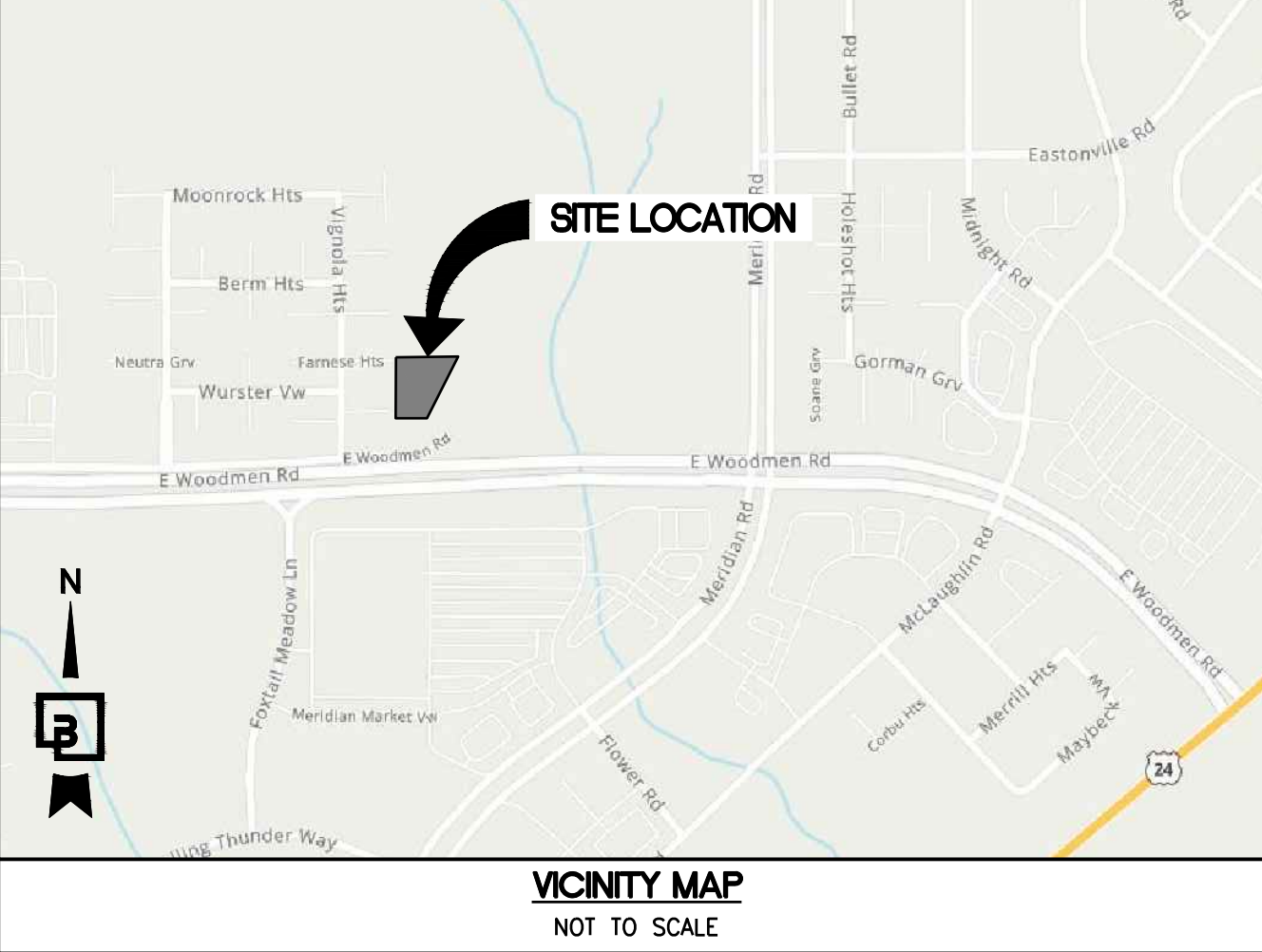
NOTE:

IN ACCORDANCE WITH ECM SECTION 1.12, THESE CONSTRUCTION DOCUMENTS WILL BE VALID FOR CONSTRUCTION FOR A PERIOD OF 2 YEARS FROM THE DATE SIGNED BY THE EL PASO COUNTY ENGINEER. IF CONSTRUCTION HAS NOT STARTED WITHIN THOSE TWO YEARS, THE PLANS WILL NEED TO BE RESUBMITTED FOR APPROVAL, INCLUDING PAYMENT OF REVIEW FEES AT THE PLANNING AND COMMUNITY DEVELOPMENT DIRECTOR'S DISCRETION.

EL PASO COUNTY:

COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS, AND/OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE COUNTY THROUGH THE APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY FOR THE COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT.

FILED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, DRAINAGE CRITERIA MANUAL, AND ENGINEERING CRITERIA MANUAL AS AMENDED.



PROJECT DATA:

LOCATION: DEVELOPMENT LOCATED THE INTERSECTION OF E. WOODMEN ROAD AND MERIDIAN ROAD. ACCESS PROVIDED VIA PRIVATE ROAD (FALCON MARKET PLACE) OFF OF E. WOODSMEN ROAD.

JURISDICTION: EL PASO COUNTY, CO

A.P.N.: LEGAL DESCRIPTION: FALCON MARKETPLACE DEVELOPMENT, LOT 11

ZONING: CR, REGIONAL COMMERCIAL DISTRICT

PARCEL AREA: 30,925 SF (0.71 ACRES)
PARCEL DISTURBANCE AREA: 25,795 SF (0.59 ACRES)

LANDSCAPING SETBACKS:
FRONT YARD: 25 FEET
REAR YARD: 15 FEET

MAXIMUM BUILDING HEIGHT: 40 FEET
PROPOSED BUILDING HEIGHT: 24 FEET

PARKING CALCULATIONS: (1 PER 100 SQ FT) 950/100 = 9.5 SPACES

PARKING SPACES REQUIRED: 10 PARKING SPACES
ACCESSIBLE PARKING PROVIDED: 1 SPACE
TOTAL SPACES PROVIDED: 14 PARKING SPACES (INCLUDING 1 ADA)
BIKE PARKING PROVIDED: 1 RACK TWO (2) SPACES

PROPOSED GROUND COVER SUMMARY:
MINIMUM LANDSCAPE AREA - 5%
MAXIMUM IMPERVIOUS AREA - 81%

BUILDING:	950 S.F.	(3.68%)
TRASH ENCLOSURE:	240 S.F.	(0.93%)
PARKING AND MANEUVERING:	14,305 S.F.	(55.5%)
WALKWAYS:	1,883 S.F.	(7.30%)
LANDSCAPE:	8,418 S.F.	(32.6%)
	25,797 S.F.	

MONUMENT PROTECTION NOTE:

ALL EXISTING SURVEY MONUMENTS ARE TO BE PRESERVED PER COLORADO REVISED STATUTES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT MONUMENTS ARE PROPERLY PROTECTED AND/OR PERPETUATED. IF ANY OF THE MONUMENTS ARE DISTURBED OR ARE NEAR THE AREA OF CONSTRUCTION, A LICENSED SURVEYOR MUST CONFIRM THAT THE MONUMENTS HAVE BEEN PROTECTED AND/OR PERPETUATED AND THE APPROPRIATE DOCUMENTATION HAS BEEN RECORDED. CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR OBTAINING PERMITS FROM ANY JURISDICTIONS HAVING AUTHORITY FOR REMOVING AND REPLACING ALL SURVEY MONUMENTATION THAT MAY BE AFFECTED BY CONSTRUCTION ACTIVITY. UPON COMPLETION OF CONSTRUCTION, ALL MONUMENTS DISPLACED, REMOVED, OR DESTROYED SHALL BE REPLACED BY A REGISTERED LAND SURVEYOR, AT THE COST AND AT THE DIRECTION OF THE CONTRACTOR, PURSUANT TO THESE REGULATIONS. THE APPROPRIATE FORMS FOR REPLACEMENT OF SAID MONUMENTATION SHALL ALSO BE THE RESPONSIBILITY OF THE CONTRACTOR.

DEVELOPER'S / OWNER'S STATEMENT:

I, THE OWNER/DEVELOPER HAVE READ AND WILL COMPLY WITH THE REQUIREMENTS OF THE GRADING AND EROSION CONTROL PLAN AND THE OF THE REQUIREMENTS SPECIFIED IN THESE DETAILS PLANS AND SPECIFICATIONS. I ACKNOWLEDGE THE RESPONSIBILITY TO DETERMINE WHETHER THE CONSTRUCTION ACTIVITIES ON THESE PLANS REQUIRE COLORADO DISCHARGE PERMIT SYSTEM (CDPS) PERMITTING FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY.

PRINTED NAME: RUSS ORSI

SIGNATURE: DATE:

ENGINEER'S STATEMENT:

THESE DETAILS PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECTION AND SUPERVISION. SAID PLANS AND SPECIFICATIONS HAVE BEEN PREPARED ACCORDING TO CRITERIA ESTABLISHED BY THE COUNTY FOR THE DETAILED DRAINAGE, GRADING, AND EROSION CONTROL PLAN AND SPECIFICATIONS, AND SAID PLANS AND SPECIFICATIONS ARE IN CONFORMITY WITH APPLICABLE MASTER DRAINAGE PLANS. SAID PLANS ARE SPECIFICATIONS MEET THE PURPOSES FOR WHICH THE PARTICULAR DRAINAGE FACILITIES ARE DESIGNED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS, ERRORS OR OMISSIONS, ON MY PART IN PREPARATION OF THESE DETAILS PLANS AND SPECIFICATIONS.

PRINTED NAME: HAL P. GRUBB

SIGNATURE: DATE:

COVER SHEET
7520 FALCON MARKET PLACE
PEYTON, CO 80831

DUTCH BROS.

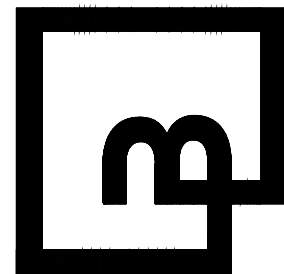
For:



Scale: Horizontal 1" = 20' Vertical N/A

Designed: CKX
Drawn: JAH
Checked: JAH
Approved: HPG
Date: 08/24/21

Barghausen Consulting Engineers, Inc.
18215 72nd Avenue South
Kent, WA 98032
425.251.6222
barghausen.com



Job Number 21917
Sheet C10
2019 DB Franchising USA, LLC

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BARGHAUSEN STANDARD CONSTRUCTION NOTES:

- THE CONTRACTOR SHALL OBTAIN AND HAVE AVAILABLE COPIES OF THE APPLICABLE GOVERNING AGENCY STANDARDS AT THE JOB SITE DURING THE RELATED CONSTRUCTION OPERATIONS.
 - CONTRACTOR SHALL ENSURE THAT ALL NECESSARY PERMITS HAVE BEEN OBTAINED PRIOR TO COMMENCING WORK.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION WHETHER SHOWN ON THESE PLANS OR NOT. UTILITIES OTHER THAN THOSE SHOWN MAY EXIST ON THIS SITE. ONLY THOSE UTILITIES WITH EVIDENCE OF THEIR INSTALLATION VISIBLE AT GROUND SURFACE OR SHOWN ON RECORD DRAWING PROVIDED BY OTHERS ARE SHOWN HEREON. EXISTING UNDERGROUND UTILITY LOCATIONS SHOWN ARE APPROXIMATE ONLY AND ARE SUBJECT TO A DEGREE OF UNKNOWN VARIATION. SOME UNDERGROUND LOCATIONS SHOWN HEREON MAY HAVE BEEN TAKEN FROM PUBLIC RECORDS. BARGHAUSEN CONSULTING ENGINEERS, INC. ASSUMES NO LIABILITY FOR THE ACCURACY OF PUBLIC RECORDS OR RECORDS OF OTHERS. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL CONSULT BARGHAUSEN CONSULTING ENGINEERS, INC., TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.
 - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR THE RELATIVE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL COMPLIANCE WITH LOCAL REGULATIONS AND CODES.
 - IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE APPROPRIATE UTILITIES INVOLVED PRIOR TO CONSTRUCTION.
 - INSPECTION OF SITE WORK WILL BE ACCOMPLISHED BY A REPRESENTATIVE OF THE GOVERNING JURISDICTION. INSPECTION OF PRIVATE FACILITIES WILL BE ACCOMPLISHED BY A REPRESENTATIVE OF THE OWNER. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE INSPECTOR 24 HOURS IN ADVANCE OF BACKFILLING ALL CONSTRUCTION.
 - PRIOR TO ANY CONSTRUCTION OR DEVELOPMENT ACTIVITY THE CONTRACTOR SHALL CONTACT THE AGENCY AND/OR UTILITY INSPECTION PERSONNEL AND ARRANGE ANY REQUIRED PRE-CONSTRUCTION MEETING(S). CONTRACTOR SHALL PROVIDE ONE WEEK MIN. ADVANCE NOTIFICATION TO OWNER, FIELD ENGINEER AND ENGINEER OF PRE-CONSTRUCTION MEETINGS.
 - THE CONTRACTOR IS RESPONSIBLE FOR WORKER AND SITE SAFETY AND SHALL COMPLY WITH THE LATEST OSHA STANDARDS AND REGULATIONS, OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE "MEANS AND METHODS" REQUIRED TO MEET THE INTENT AND PERFORMANCE CRITERIA OF OSHA, AS WELL AS ANY OTHER ENTITY THAT HAS JURISDICTION FOR EXCAVATION AND/OR TRENCHING PROCEDURES.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE SAFEGUARDS, SAFETY DEVICES, PROTECTIVE EQUIPMENT, FLAGGERS, AND ANY OTHER NEEDED ACTIONS TO PROTECT THE LIFE, HEALTH, AND SAFETY OF THE PUBLIC, AND TO PROTECT PROPERTY IN CONNECTION WITH THE PERFORMANCE OF WORK COVERED BY THE CONTRACTOR. ANY WORK WITHIN THE TRAVELED RIGHT-OF-WAY THAT MAY INTERRUPT NORMAL TRAFFIC FLOW SHALL REQUIRE AT LEAST ONE FLAGGER FOR EACH LANE OF TRAFFIC AFFECTED.
 - PROTECTIVE MEASURES SHALL BE TAKEN BY THE CONTRACTOR TO PROTECT ALL ADJACENT PUBLIC AND PRIVATE PROPERTIES AT ALL TIMES DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ALL EXISTING UTILITY SERVICES THAT ARE TO REMAIN OPERATIONAL WITHIN THE CONSTRUCTION AREA WHETHER SHOWN OR NOT SHOWN ON THE PLANS.
 - TWO (2) COPIES OF THESE APPROVED PLANS MUST BE ON THE JOB SITE WHENEVER CONSTRUCTION IS IN PROGRESS. ONE (1) SET WITH RECORDS OF AS-BUILT INFORMATION SHALL BE SUBMITTED TO BARGHAUSEN CONSULTING ENGINEERS, INC. AT COMPLETION OF PROJECT.
 - CONTRACTOR SHALL OBTAIN SERVICES OF A LICENSED LAND SURVEYOR TO STAKE HORIZONTAL CONTROL FOR ALL NEW IMPROVEMENTS. STAKING CONTROL SHALL BE TAKEN FROM ELECTRONIC PLAN FILES PROVIDED BY BARGHAUSEN CONSULTING ENGINEERS, INC.
 - CONTRACTOR SHALL REQUEST FROM BARGHAUSEN CONSULTING ENGINEERS INC., PRIOR TO ANY CONSTRUCTION STAKING OR CONSTRUCTION WORK, A FORMAL CONSTRUCTION RELEASE PLAN SET OR SPECIFIC RELEASE IN WRITING. THE APPROVED AGENCY PERMIT DRAWINGS WILL NOT BE CONSIDERED CONSTRUCTION RELEASE PLANS BY BARGHAUSEN CONSULTING ENGINEERS, INC. UNLESS BARGHAUSEN CONSULTING ENGINEERS, INC HAS GIVEN A FORMAL WRITTEN RELEASE OR ISSUED A CONSTRUCTION RELEASE PLAN SET.
- OWNER/DEVELOPER AND THEIR AGENTS SHALL COMPLY WITH THE "COLORADO WATER QUALITY CONTROL ACT" (TITLE 25, ARTICLE 8, CRS), AND THE "CLEAN WATER ACT" (33 USC 1344), IN ADDITION TO THE REQUIREMENTS OF THE LAND DEVELOPMENT CODE, DCM VOLUME II AND THE ECM APPENDIX L. ALL APPROPRIATE PERMITS MUST BE OBTAINED BY THE CONTRACTOR PRIOR TO CONSTRUCTION (1041, NPDES, FLOODPLAIN, 404, FUGITIVE DUST, ETC.). IN THE EVENT OF CONFLICTS BETWEEN THESE REQUIREMENTS AND OTHER LAWS, RULES, OR REGULATIONS OF OTHER FEDERAL, STATE, LOCAL, OR COUNTY AGENCIES, THE MOST RESTRICTIVE LAWS, RULES, OR REGULATIONS SHALL APPLY.
 - ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE ONLY AT APPROVED CONSTRUCTION ACCESS POINTS.
 - PRIOR TO CONSTRUCTION THE PERMITTEE SHALL VERIFY THE LOCATION OF EXISTING UTILITIES.
 - A WATER SOURCE SHALL BE AVAILABLE ON SITE DURING EARTHWORK OPERATIONS AND SHALL BE UTILIZED AS REQUIRED TO MINIMIZE DUST FROM EARTHWORK EQUIPMENT AND WIND.
 - THE SOILS REPORT FOR THIS SITE HAS BEEN PREPARED BY KUMAR AND ASSOCIATES, INC., DATED AUGUST 5, 2021, AND SHALL BE CONSIDERED A PART OF THESE PLANS.
 - AT LEAST TEN (10) DAYS PRIOR TO THE ANTICIPATED START OF CONSTRUCTION, FOR PROJECTS THAT WILL DISTURB ONE (1) ACRE OR MORE, THE OWNER OR OPERATOR OF CONSTRUCTION ACTIVITY SHALL SUBMIT A PERMIT APPLICATION FOR STORMWATER DISCHARGE TO THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT, WATER QUALITY DIVISION. THE APPLICATION CONTAINS CERTIFICATION OF COMPLETION OF A STORMWATER MANAGEMENT PLAN (SWMP), OF WHICH THIS GRADING AND EROSION CONTROL PLAN MAY BE A PART. FOR INFORMATION OR APPLICATION MATERIALS CONTACT:

STANDARD NOTES FOR EL PASO COUNTY GRADING AND EROSION CONTROL PLANS:

- STORMWATER DISCHARGES FROM CONSTRUCTION SITES SHALL NOT CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR DEGRADATION OF STATE WATERS. ALL WORK AND EARTH DISTURBANCE SHALL BE DONE IN A MANNER THAT MINIMIZES POLLUTION OF ANY ON-SITE OR OFF-SITE WATERS, INCLUDING WETLANDS.
- NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL VOLUME 2. ANY DEVIATIONS FROM REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING.
- A SEPARATE STORMWATER MANAGEMENT PLAN (SWMP) FOR THIS PROJECT SHALL BE COMPLETED AND AN EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESQCP) ISSUED PRIOR TO COMMENCING CONSTRUCTION. MANAGEMENT OF THE SWMP DURING CONSTRUCTION IS THE RESPONSIBILITY OF THE DESIGNATED QUALIFIED STORMWATER MANAGER OR CERTIFIED EROSION CONTROL INSPECTOR. THE SWMP SHALL BE LOCATED ON SITE AT ALL TIMES DURING CONSTRUCTION AND SHALL BE KEPT UP TO DATE WITH WORK PROGRESS AND CHANGES IN THE FIELD.
- ONCE THE ESQCP IS APPROVED AND A "NOTICE TO PROCEED" HAS BEEN ISSUED, THE CONTRACTOR MAY INSTALL THE INITIAL STAGE EROSION AND SEDIMENT CONTROL MEASURES AS INDICATED ON THE APPROVED GEC. A PRE-CONSTRUCTION MEETING BETWEEN THE CONTRACTOR, ENGINEER, AND EL PASO COUNTY WILL BE HELD PRIOR TO ANY CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE APPLICANT TO COORDINATE THE MEETING TIME AND PLACE WITH COUNTY STAFF.
- CONTROL MEASURES MUST BE INSTALLED PRIOR TO COMMENCEMENT OF ACTIVITIES THAT COULD CONTRIBUTE POLLUTANTS TO STORMWATER. CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, AND DISTURBED LAND AREAS SHALL BE INSTALLED IMMEDIATELY UPON COMPLETION OF THE DISTURBANCE.
- ALL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES SHALL BE MAINTAINED AND REMAIN IN EFFECTIVE OPERATING CONDITION UNTIL PERMANENT SOIL EROSION CONTROL MEASURES ARE IMPLEMENTED AND FINAL STABILIZATION IS ESTABLISHED. ALL PERSONS ENGAGED IN LAND DISTURBANCE ACTIVITIES SHALL ASSESS THE ADEQUACY OF CONTROL MEASURES AT THE SITE AND IDENTIFY IF CHANGES TO THOSE CONTROL MEASURES ARE NEEDED TO ENSURE THE CONTINUED EFFECTIVE PERFORMANCE OF THE CONTROL MEASURES. ALL CHANGES TO TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES MUST BE INCORPORATED INTO THE STORMWATER MANAGEMENT PLAN.
- TEMPORARY STABILIZATION SHALL BE IMPLEMENTED ON DISTURBED AREAS AND STOCKPILES WHERE GROUND DISTURBING CONSTRUCTION ACTIVITY HAS PERMANENTLY CEASED OR TEMPORARILY CEASED FOR LONGER THAN 14 DAYS.
- FINAL STABILIZATION MUST BE IMPLEMENTED AT ALL APPLICABLE CONSTRUCTION SITES. FINAL STABILIZATION IS ACHIEVED WHEN ALL GROUND DISTURBING ACTIVITIES ARE COMPLETE AND ALL DISTURBED AREAS EITHER HAVE A UNIFORM VEGETATIVE COVER WITH INDIVIDUAL PLANT DENSITY OF 70 PERCENT OF PRE-DISTURBANCE LEVELS ESTABLISHED OR EQUIVALENT PERMANENT ALTERNATIVE STABILIZATION METHOD IS IMPLEMENTED. ALL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES SHALL BE REMOVED UPON FINAL STABILIZATION AND BEFORE PERMIT CLOSURE.
- ALL PERMANENT STORMWATER MANAGEMENT FACILITIES SHALL BE INSTALLED AS DESIGNED IN THE APPROVED PLANS. ANY PROPOSED CHANGES THAT AFFECT THE DESIGN OR FUNCTION OF PERMANENT STORMWATER MANAGEMENT STRUCTURES MUST BE APPROVED BY THE ECM ADMINISTRATOR PRIOR TO IMPLEMENTATION.
- EARTH DISTURBANCES SHALL BE CONDUCTED IN SUCH A MANNER SO AS TO EFFECTIVELY MINIMIZE ACCELERATED SOIL EROSION AND RESULTING SEDIMENTATION. ALL DISTURBANCES SHALL BE DESIGNED, CONSTRUCTED, AND COMPLETED SO THAT THE EXPOSED AREA OF ANY DISTURBED LAND SHALL BE LIMITED TO THE SHORTEST PRACTICAL PERIOD OF TIME. PRE-EXISTING VEGETATION SHALL BE PROTECTED AND MAINTAINED WITHIN 50 HORIZONTAL FEET OF A WATERS OF THE STATE UNLESS SHOWN TO BE INFEASIBLE AND SPECIFICALLY REQUESTED AND APPROVED.
- COMPACTION OF SOIL MUST BE PREVENTED IN AREAS DESIGNATED FOR INFILTRATION CONTROL MEASURES OR WHERE FINAL STABILIZATION WILL BE ACHIEVED BY VEGETATIVE COVER. AREAS DESIGNATED FOR INFILTRATION CONTROL MEASURES SHALL ALSO BE PROTECTED FROM SEDIMENTATION DURING CONSTRUCTION UNTIL FINAL STABILIZATION IS ACHIEVED. IF COMPACTION PREVENTION IS NOT FEASIBLE DUE TO SITE CONSTRAINTS, ALL AREAS DESIGNATED FOR INFILTRATION AND VEGETATION CONTROL MEASURES MUST BE LOOSEENED PRIOR TO INSTALLATION OF THE CONTROL MEASURE(S).
- ANY TEMPORARY OR PERMANENT FACILITY DESIGNED AND CONSTRUCTED FOR THE CONVEYANCE OF STORMWATER AROUND, THROUGH, OR FROM THE EARTH DISTURBANCE AREA SHALL BE A STABILIZED CONVEYANCE DESIGNED TO MINIMIZE EROSION AND THE DISCHARGE OF SEDIMENT OFF SITE.
- CONCRETE WASH WATER SHALL BE CONTAINED AND DISPOSED OF IN ACCORDANCE WITH THE SWMP. NO WASH WATER SHALL BE DISCHARGED TO OR ALLOWED TO ENTER STATE WATERS, INCLUDING ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR FACILITIES. CONCRETE WASHOUTS SHALL NOT BE LOCATED IN AN AREA WHERE SHALLOW GROUNDWATER MAY BE PRESENT, OR WITHIN 50 FEET OF A SURFACE WATER BODY, CREEK OR STREAM.
- DURING DEWATERING OPERATIONS OF UNCONTAMINATED GROUND WATER MAY BE DISCHARGED ON SITE, BUT SHALL NOT LEAVE THE SITE IN THE FORM OF SURFACE RUNOFF UNLESS AN APPROVED STATE DEWATERING PERMIT IS IN PLACE.
- EROSION CONTROL BLANKETING OR OTHER PROTECTIVE COVERING SHALL BE USED ON SLOPES STEEPER THAN 3:1.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL WASTES FROM THE CONSTRUCTION SITE FOR DISPOSAL IN ACCORDANCE WITH LOCAL AND STATE REGULATORY REQUIREMENTS. NO CONSTRUCTION DEBRIS, TREE SLASH, BUILDING MATERIAL WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURIED, DUMPED, OR DISCHARGED AT THE SITE.
- WASTE MATERIALS SHALL NOT BE TEMPORARILY PLACED OR STORED IN THE STREET, ALLEY, OR OTHER PUBLIC WAY, UNLESS IN ACCORDANCE WITH AN APPROVED TRAFFIC CONTROL PLAN. CONTROL MEASURES MAY BE REQUIRED BY EL PASO COUNTY ENGINEERING IF DEEMED NECESSARY, BASED ON SPECIFIC CONDITIONS AND CIRCUMSTANCES.
- TRACKING OF SOILS AND CONSTRUCTION DEBRIS OFF-SITE SHALL BE MINIMIZED. MATERIALS TRACKED OFF-SITE SHALL BE CLEANED UP AND PROPERLY DISPOSED OF IMMEDIATELY.
- THE OWNER/DEVELOPER SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL CONSTRUCTION DEBRIS, DIRT, TRASH, ROCK, SEDIMENT, SOIL, AND SAND THAT MAY ACCUMULATE IN ROADS, STORM DRAINS AND OTHER DRAINAGE CONVEYANCE SYSTEMS AND STORMWATER APPURTENANCES AS A RESULT OF SITE DEVELOPMENT.
- THE QUANTITY OF MATERIALS STORED ON THE PROJECT SITE SHALL BE LIMITED, AS MUCH AS PRACTICAL, TO THAT QUANTITY REQUIRED TO PERFORM THE WORK IN AN ORDERLY SEQUENCE. ALL MATERIALS STORED ON-SITE SHALL BE STORED IN A NEAT, ORDERLY MANNER, IN THEIR ORIGINAL CONTAINERS, WITH ORIGINAL MANUFACTURER'S LABELS.
- NO CHEMICAL(S) HAVING THE POTENTIAL TO BE RELEASED IN STORMWATER ARE TO BE STORED OR USED ONSITE UNLESS PERMISSION FOR THE USE OF SUCH CHEMICAL(S) IS GRANTED IN WRITING BY THE ECM ADMINISTRATOR. IN GRANTING APPROVAL FOR THE USE OF SUCH CHEMICAL(S), SPECIAL CONDITIONS AND MONITORING MAY BE REQUIRED.
- BULK STORAGE OF ALLOWED PETROLEUM PRODUCTS OR OTHER ALLOWED LIQUID CHEMICALS IN EXCESS OF 55 GALLONS SHALL REQUIRE ADEQUATE SECONDARY CONTAINMENT PROTECTION TO CONTAIN ALL SPILLS ONSITE AND TO PREVENT ANY SPILLED MATERIALS FROM ENTERING STATE WATERS, ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR OTHER FACILITIES.
- NO PERSON SHALL CAUSE THE IMPEDIMENT OF STORMWATER FLOW IN THE CURB AND GUTTER OR DITCH EXCEPT WITH APPROVED SEDIMENT CONTROL MEASURES.
- OWNER/DEVELOPER AND THEIR AGENTS SHALL COMPLY WITH THE "COLORADO WATER QUALITY CONTROL ACT" (TITLE 25, ARTICLE 8, CRS), AND THE "CLEAN WATER ACT" (33 USC 1344), IN ADDITION TO THE REQUIREMENTS OF THE LAND DEVELOPMENT CODE, DCM VOLUME II AND THE ECM APPENDIX L. ALL APPROPRIATE PERMITS MUST BE OBTAINED BY THE CONTRACTOR PRIOR TO CONSTRUCTION (1041, NPDES, FLOODPLAIN, 404, FUGITIVE DUST, ETC.). IN THE EVENT OF CONFLICTS BETWEEN THESE REQUIREMENTS AND OTHER LAWS, RULES, OR REGULATIONS OF OTHER FEDERAL, STATE, LOCAL, OR COUNTY AGENCIES, THE MOST RESTRICTIVE LAWS, RULES, OR REGULATIONS SHALL APPLY.
- ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE ONLY AT APPROVED CONSTRUCTION ACCESS POINTS.
- PRIOR TO CONSTRUCTION THE PERMITTEE SHALL VERIFY THE LOCATION OF EXISTING UTILITIES.
- A WATER SOURCE SHALL BE AVAILABLE ON SITE DURING EARTHWORK OPERATIONS AND SHALL BE UTILIZED AS REQUIRED TO MINIMIZE DUST FROM EARTHWORK EQUIPMENT AND WIND.
- THE SOILS REPORT FOR THIS SITE HAS BEEN PREPARED BY KUMAR AND ASSOCIATES, INC., DATED AUGUST 5, 2021, AND SHALL BE CONSIDERED A PART OF THESE PLANS.
- AT LEAST TEN (10) DAYS PRIOR TO THE ANTICIPATED START OF CONSTRUCTION, FOR PROJECTS THAT WILL DISTURB ONE (1) ACRE OR MORE, THE OWNER OR OPERATOR OF CONSTRUCTION ACTIVITY SHALL SUBMIT A PERMIT APPLICATION FOR STORMWATER DISCHARGE TO THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT, WATER QUALITY DIVISION. THE APPLICATION CONTAINS CERTIFICATION OF COMPLETION OF A STORMWATER MANAGEMENT PLAN (SWMP), OF WHICH THIS GRADING AND EROSION CONTROL PLAN MAY BE A PART. FOR INFORMATION OR APPLICATION MATERIALS CONTACT:

COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT
WATER QUALITY CONTROL DIVISION
WQCD--PERMITS
4300 CHERRY CREEK DRIVE SOUTH
DENVER, CO 80246-1530
PERMITS UNIT

STANDARD NOTES FOR EL PASO COUNTY CONSTRUCTION PLANS:

- ALL DRAINAGE AND ROADWAY CONSTRUCTION SHALL MEET THE STANDARDS AND SPECIFICATIONS OF THE CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2, AND THE EL PASO COUNTY ENGINEERING CRITERIA MANUAL.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE NOTIFICATION AND FIELD NOTIFICATION OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, BEFORE BEGINNING CONSTRUCTION. LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CALL 811 TO CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO (UNCC).
- CONTRACTOR SHALL KEEP A COPY OF THESE APPROVED PLANS, THE GRADING AND EROSION CONTROL PLAN, THE STORMWATER MANAGEMENT PLAN (SWMP), THE SOILS AND GEOTECHNICAL REPORT, AND THE APPROPRIATE DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS AT THE JOB SITE AT ALL TIMES, INCLUDING THE FOLLOWING:
 - EL PASO COUNTY ENGINEERING CRITERIA MANUAL (ECM)
 - CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2
 - COLORADO DEPARTMENT OF TRANSPORTATION (CDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION CDOT M & S STANDARDS
- NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL VOLUME 2. ANY DEVIATIONS FROM REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING. ANY MODIFICATIONS NECESSARY TO MEET CRITERIA AFTER--THE--FACT WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO RECTIFY.
- IT IS THE DESIGN ENGINEER'S RESPONSIBILITY TO ACCURATELY SHOW EXISTING CONDITIONS, BOTH ON-SITE AND OFF-SITE, ON THE CONSTRUCTION PLANS. ANY MODIFICATIONS NECESSARY DUE TO CONFLICTS, OMISSIONS, OR CHANGED CONDITIONS WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO RECTIFY.
- CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT (PCD) INSPECTIONS, PRIOR TO STARTING CONSTRUCTION.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO UNDERSTAND THE REQUIREMENTS OF ALL JURISDICTIONAL AGENCIES AND TO OBTAIN ALL REQUIRED PERMITS, INCLUDING BUT NOT LIMITED TO EL PASO COUNTY EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESQCP), REGIONAL BUILDING FLOODPLAIN DEVELOPMENT PERMIT, U.S. ARMY CORPS OF ENGINEERS ISSUED 401 AND/OR 404 PERMITS, AND COUNTY AND STATE FUGITIVE DUST PERMITS.
- CONTRACTOR SHALL NOT DEViate FROM THE PLANS WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE DESIGN ENGINEER AND PCD. CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY UPON DISCOVERY OF ANY ERRORS OR INCONSISTENCIES.
- ALL STORM DRAIN PIPE SHALL BE CLASS III RCP UNLESS OTHERWISE NOTED AND APPROVED BY PCD. WATERTIGHT JOINTS SHALL BE PROVIDED ON THE SPECIFIED PIPES.
- CONTRACTOR SHALL COORDINATE GEOTECHNICAL TESTING PER ECM STANDARDS. PAVEMENT DESIGN SHALL BE APPROVED BY EL PASO COUNTY PCD PRIOR TO PLACEMENT OF CURB AND GUTTER AND PAVEMENT.
- ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE AT APPROVED CONSTRUCTION ACCESS POINTS.
- SIGHT VISIBILITY TRIANGLES AS IDENTIFIED IN THE PLANS SHALL BE PROVIDED AT ALL INTERSECTIONS. OBSTRUCTIONS GREATER THAN 18 INCHES ABOVE FLOWLINE ARE NOT ALLOWED WITHIN SIGHT TRIANGLES.
- SIGNING AND STRIPING SHALL COMPLY WITH EL PASO COUNTY DOT AND MUTCD CRITERIA. [IF APPLICABLE, ADDITIONAL SIGNING AND STRIPING NOTES WILL BE PROVIDED.]
- CONTRACTOR SHALL OBTAIN ANY PERMITS REQUIRED BY EL PASO COUNTY DOT, INCLUDING WORK WITHIN THE RIGHT-OF-WAY AND SPECIAL TRANSPORT PERMITS.
- THE LIMITS OF CONSTRUCTION SHALL REMAIN WITHIN THE PROPERTY LINE UNLESS OTHERWISE NOTED. THE OWNER/DEVELOPER SHALL OBTAIN WRITTEN PERMISSION AND EASEMENTS, WHERE REQUIRED, FROM ADJOINING PROPERTY OWNER(S) PRIOR TO ANY OFF-SITE DISTURBANCE, GRADING, OR CONSTRUCTION.

SIGNAGE AND STRIPING NOTES:

- ALL SIGNS AND PAVEMENT MARKINGS SHALL BE IN COMPLIANCE WITH THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- REMOVAL OF EXISTING PAVEMENT MARKINGS SHALL BE ACCOMPLISHED BY A METHOD THAT DOES NOT MATERIALLY DAMAGE THE PAVEMENT. THE PAVEMENT MARKINGS SHALL BE REMOVED TO THE EXTENT THAT THEY WILL NOT BE VISIBLE UNDER DAY OR NIGHT CONDITIONS. AT NO TIME WILL IT BE ACCEPTABLE TO PAINT OVER EXISTING PAVEMENT MARKINGS.
- ANY DEVIATION FROM THE STRIPING AND SIGNING PLAN SHALL BE APPROVED BY EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT.
- ALL SIGNS SHOWN ON THE SIGNING AND STRIPING PLAN SHALL BE NEW SIGNS. EXISTING SIGNS MAY REMAIN OR BE REUSED IF THEY MEET CURRENT EL PASO COUNTY AND MUTCD STANDARDS.
- STREET NAME AND REGULATORY STOP SIGNS SHALL BE ON THE SAME POST AT INTERSECTIONS.
- ALL REMOVED SIGNS SHALL BE DISPOSED OF IN A PROPER MANNER BY THE CONTRACTOR.
- ALL STREET NAME SIGNS SHALL HAVE "D" SERIES LETTERS, WITH LOCAL ROADWAY SIGNS BEING 4" UPPER-LOWER CASE LETTERING ON 8" BLANK AND NON-LOCAL ROADWAY SIGNS BEING 6" LETTERING, UPPER-LOWER CASE ON 12" BLANK, WITH A WHITE BORDER THAT IS NOT RECESSED. MULTI-LANE ROADWAYS WITH SPEED LIMITS OF 40 MPH OR HIGHER SHALL HAVE 8" UPPER-LOWER CASE LETTERING ON 18" BLANK WITH A WHITE BORDER THAT IS NOT RECESSED. THE WIDTH OF THE NON-RECESSED WHITE BORDERS SHALL MATCH PAGE 255 OF THE 2012 MUTCD "STANDARD HIGHWAY SIGNS"
- ALL TRAFFIC SIGNS SHALL HAVE A MINIMUM HIGH INTENSITY PRISMATIC GRADE SHEETING.
- ALL LOCAL RESIDENTIAL STREET SIGNS SHALL BE MOUNTED ON A 1.75" X 1.75" SQUARE TUBE SIGN POST AND STUB POST BASE. FOR OTHER APPLICATIONS, REFER TO THE CDOT STANDARD S-614-8 REGARDING USE OF THE P2 TUBULAR STEEL POST SLIPBASE DESIGN.
- ALL SIGNS SHALL BE SINGLE SHEET ALUMINUM WITH 0.100" MINIMUM THICKNESS.
- ALL LIMIT LINES/STOP LINES, CROSSWALK LINES, PAVEMENT LEGENDS, AND ARROWS SHALL BE A MINIMUM 125 MIL THICKNESS PREFORMED THERMOPLASTIC PAVEMENT MARKINGS WITH TAPERED LEADING EDGES PER CDOT STANDARD S-627-1. WORD AND SYMBOL MARKINGS SHALL BE THE NARROW TYPE. STOP BARS SHALL BE 24" IN WIDTH. CROSSWALKS LINES SHALL BE 12" WIDE AND 8' LONG PER CDOT S-627-1.
- ALL LONGITUDINAL LINES SHALL BE A MINIMUM 15MIL THICKNESS EPOXY PAINT. ALL NON-LOCAL RESIDENTIAL ROADWAYS SHALL INCLUDE BOTH RIGHT AND LEFT EDGE LINE STRIPING AND ANY ADDITIONAL STRIPING AS REQUIRED BY CDOT S-627-1.
- THE CONTRACTOR SHALL NOTIFY EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT (719) 520-6819 PRIOR TO AND UPON COMPLETION OF SIGNING AND STRIPING.
- THE CONTRACTOR SHALL OBTAIN A WORK IN THE RIGHT OF WAY PERMIT FROM THE EL PASO COUNTY DEPARTMENT OF PUBLIC WORKS (DPW) PRIOR TO ANY SIGNAGE OR STRIPING WORK WITHIN AN EXISTING EL PASO COUNTY ROADWAY.

GENERAL NOTES

7520 FALCON MARKET PLACE
PEYTON, CO 80831

Title:

For:

Scale:

Horizontal	N/A	Vertical	N/A
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Designed: ☒ CCK

Drawn: <input checked="" type="checkbox"/> JAH	Checked: <input checked="" type="checkbox"/> JAH	Approved: <input checked="" type="checkbox"/> HFG	Date: 08/24/21
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Barghausen Consulting Engineers, Inc.

18215 72nd Avenue South
Kent, WA 98032
425.251.6222

barghausen.com

Job Number: 21917

Sheet: C11
2019 DB
Franchising USA, LLC

LEGAL DESCRIPTION:

Lot 11 of Falcon Marketplace, according to the plat as recorded December 23, 2019 at Reception No. 219714441, County of El Paso, State of Colorado.

NOTES:

- Any underground utilities shown have been located from field survey information, as-built drawings and/or utility markings, as provided by the client. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although he does certify that they are located as accurately as possible from the information available. Public utility locate request was made under Ticket No. A118702212-00A dated 7/1/2021. This site was located by standard RF methods.
- Basis of bearings is the west line of Lot 11 of Falcon Marketplace, monumented at the south end with a #5 rebar w/ 1-1/4" green plastic cap, PLS 38245, flush with grade, and at the north end with a 1-1/4" green plastic cap, PLS 38245, flush with grade, as shown hereon, and assumed/measured to bear N00°26'06"W, a distance of 267.19' feet.
- FEDERAL EMERGENCY MANAGEMENT AGENCY, FEMA FIRMeette published 7/142021, referencing Flood Insurance Rate Map, Map Number 08041C0553G, with an effective date of 12/07/2018, indicates this parcel of land is located in Zone X (Area of minimal flood hazard).
- This survey does not constitute a title search by Clark Land Surveying, Inc. to determine ownership or easements of record. For all information regarding easements, rights of way and title of record, Clark Land Surveying, Inc. relied upon a Commitment for Title Insurance, prepared by Old Republic National Title Insurance Company, Commitment No. 304991NCT-301, with an effective date of 6/10/2021.
- The lineal units used in this drawing are U.S. Survey Feet.
- Elevations are based on NAVD 88 datum.
- The improvements shown hereon are as of the date of field work, 7/8/2021.
- This lot is zoned "CR" (Commercial Regional) per El Paso County planning and community development department. No parking provided on lot. For additional zoning information please contact the El Paso County planning and community development Department at (719) 520-6300.
- This property contains a calculated area of 30,830 square feet (0.708 acres) more or less.
- There are improvements along portions of the boundary as shown hereon. Ownership and/or maintenance responsibilities of said improvements was not determined by this survey.
- Access is obtained directly from Falcon Market Place. The right of way lines of said street and the boundary lines of subject property are coterminous and contain no gops, gores or overlaps.
- Easements and other record documents shown or noted on this survey were examined as to location and purpose and were not examined as to restrictions, exclusions, conditions, obligations, terms, or as to the right to grant the same.
- This ALTA/NSPS Land Title Survey was prepared for the exclusive use of persons/parties listed in certification. Said statement does not extend to any unnamed person/parties without an express statement by the surveyor naming said person/parties.
- The subject property is a vacant lot with no posted address: 7510 Falcon Market Pl. (Per Assesor)
- There is observable evidence of earth moving work, building construction or building additions within recent months.
- There are no changes in street right of way lines either completed or proposed, per documents provided by title company.
- There is observable evidence of recent street or sidewalk construction or repairs.
- There is no evidence of potential wetlands observed on the subject property at the time the survey was conducted, nor have we received any documentation of any wetlands being located on the subject property. No markers were observed at the time of the survey.
- Encroachment Statement:
No apparent encroachments at the time of survey.

SCHEDULE B2 EXCEPTIONS:

Item No.

- 9

RIGHT OF PROPRIETOR OF A VEIN OR LODE TO EXTRACT AND REMOVE HIS ORE THEREFROM SHOULD THE SAME BE FOUND TO PENETRATE OR INTERSECT THE PREMISES AS RESERVED IN UNITED STATES PATENT DATED JANUARY 20, 1880. SAID PATENT IS STORED IN OUR SYSTEM AS IMAGE 35949754
-IS LOCATED ON SURVEY AREA, BLANKET IN NATURE.
- 10

RESERVATIONS AS CONTAINED IN WARRANTY DEED RECORDED OCTOBER 6, 1964 IN BOOK 2038 AT PAGE 193.
-IS LOCATED ON SURVEY AREA, BLANKET IN NATURE.
- 11

TERMS, CONDITIONS, PROVISIONS, BURDENS AND OBLIGATIONS AS SET FORTH IN GRANT OF RIGHT OF WAY RECORDED DECEMBER 09, 1964 IN BOOK 2048 AT PAGE 85.
-IS LOCATED ON SURVEY AREA, BLANKET IN NATURE.
- 12

TERMS, CONDITIONS, PROVISIONS, BURDENS AND OBLIGATIONS AS SET FORTH IN GRANT OF RIGHT OF WAY RECORDED JUNE 30, 1967 IN BOOK 2186 AT PAGE 985.
-IS LOCATED ON SURVEY AREA, BLANKET IN NATURE.
- 13

TERMS, CONDITIONS, PROVISIONS, BURDENS AND OBLIGATIONS AS SET FORTH IN DEFERRED PAYMENT RIGHT OF WAY AGREEMENT RECORDED JULY 12, 1995 IN BOOK 6682 AT PAGE 1425. DIAMOND SHAMROCK PIPELINE COMPANY MAP IN CONNECTION THEREWITH RECORDED MAY 7, 1997 UNDER RECEPTION NO. 97026397.
-IS LOCATED ON SURVEY AREA, NO MATHEMATICAL DATA TO PLOT.
- 14

TERMS, CONDITIONS, PROVISIONS, BURDENS AND OBLIGATIONS AS SET FORTH IN PIPELINE RIGHT-OF-WAY AND EASEMENT RECORDED MAY 13, 2004 UNDER RECEPTION NO. 204078591.
-IS NOT LOCATED ON SURVEY AREA.
- 15

TERMS, CONDITIONS, PROVISIONS, BURDENS AND OBLIGATIONS AS SET FORTH IN WOODMEN CROSSING/ GADDIE EASEMENT AGREEMENT RECORDED AUGUST 08, 2013 UNDER RECEPTION NO.213102338.
-IS NOT LOCATED ON SURVEY AREA.
- 16

ANY TAX, LIEN, FEE, OR ASSESSMENT BY REASON OF INCLUSION OF SUBJECT PROPERTY IN THE WOODMEN HILLS METROPOLITAN DISTRICT, AS EVIDENCED BY INSTRUMENT RECORDED OCTOBER 05, 2016, UNDER RECEPTION NO. 216115120.
-IS LOCATED ON SURVEY AREA, NOT SURVEY RELATED.
- 17

ANY TAX, LIEN, FEE, OR ASSESSMENT BY REASON OF INCLUSION OF SUBJECT PROPERTY IN THE WOODMEN ROAD METROPOLITAN DISTRICT, AS EVIDENCED BY INSTRUMENT RECORDED MAY 15, 2017, UNDER RECEPTION NO. 217056016.
-IS LOCATED ON SURVEY AREA, NOT SURVEY RELATED.
- 18

THE EFFECT OF RESOLUTION NO. 19-357, RECORDED SEPTEMBER 25, 2019, UNDER RECEPTION NO. 219117074.
-IS LOCATED ON SURVEY AREA, NOT SURVEY RELATED.
- 19

EASEMENTS, CONDITIONS, COVENANTS, RESTRICTIONS, RESERVATIONS AND NOTES ON THE PLAT OF FALCON MARKETPLACE RECORDED DECEMBER 23, 2019 UNDER RECEPTION NO. 219714441.APPROVAL OF FINAL PLAT IN CONNECTION THEREWITH RECORDED DECEMBER 23, 2019 UNDER RECEPTION NO. 219163004. RATIFICATION OF PLAT IN CONECTION THEREWITH RECORDED DECEMBER 23, 2019 UNDER RECEPTION NO. 219163009.
-IS LOCATED ON SURVEY AREA, SHOWN HEREON.
- SCHEDULE B2 EXCEPTIONS:
- Item No.
- 20

TERMS, CONDITIONS, PROVISIONS, BURDENS AND OBLIGATIONS AS SET FORTH IN SUBDIVISION IMPROVEMENTS AGREEMENT RECORDED DECEMBER 23, 2019 UNDER RECEPTION NO. 219163005.ASSIGNMENT AND ASSUMPTION AGREEMENT OF SUBDIVISION IMPROVEMENTS AGREEMENT FOR FALCON MARKETPLACE RECORDED SEPTEMBER 25, 2020 UNDER RECEPTION NO. 220149886.
-IS LOCATED ON SURVEY AREA, NOT SURVEY RELATED.

21

TERMS, CONDITIONS, PROVISIONS, BURDENS AND OBLIGATIONS AS SET FORTH IN LICENSE AGREEMENT FOR PRIVATE IMPROVEMENTS IN THE COUNTY RIGHT-OF WAY RECORDED DECEMBER 23, 2019UNDER RECEPTION NO. 219163006.
-IS LOCATED ON SURVEY AREA, NOT SURVEY RELATED.

22

TERMS, CONDITIONS, PROVISIONS, BURDENS AND OBLIGATIONS AS SET FORTH IN NON-EXCLUSIVE EASEMENT AGREEMENT RECORDED DECEMBER 23, 2019 UNDER RECEPTION NO. 219163007.
-IS LOCATED ON SURVEY AREA, SHOWN HEREON.

23

TERMS, CONDITIONS, PROVISIONS, BURDENS AND OBLIGATIONS AS SET FORTH IN FALCON MARKETPLACE ESCROW AGREEMENT RECORDED DECEMBER 23, 2019 UNDER RECEPTION NO. 219163008.
-IS LOCATED ON SURVEY AREA, NOT SURVEY RELATED.

24

TERMS, CONDITIONS, PROVISIONS, BURDENS AND OBLIGATIONS AS SET FORTH IN PRIVATE DETENTION BASIN/STORMWATER QUALITY BEST MANAGEMENT PRACTICE MAINTENANCE AGREEMENT RECORDED DECEMBER 23, 2019 UNDER RECEPTION NO. 219163010.
-IS LOCATED ON SURVEY AREA, NOTHING ADDITIONAL TO SHOW.

25

THE EFFECT OF FALCON MARKETPLACE LANDSCAPE EXHIBIT, RECORDED DECEMBER 23, 2019, UNDER RECEPTION NO. 219163011.
-IS LOCATED ON SURVEY AREA, NO MATHEMATICAL DESCRIPTION AVAILABLE.

26

TERMS, CONDITIONS, PROVISIONS, BURDENS AND OBLIGATIONS AS SET FORTH IN MEMORANDUM OF DEVELOPMENT AGREEMENT RECORDED JANUARY 31, 2020 UNDER RECEPTION NO. 220014219..AMENDMENT IN CONNECTION THEREWITH RECORDED SEPTEMBER 25, 2020 UNDER RECEPTION NO. 220149891.
-IS LOCATED ON SURVEY AREA, BLANKET IN NATURE.

27

RESTRICTIVE COVENANTS, WHICH DO NOT CONTAIN A FORFEITURE OR REVERTER CLAUSE, BUT OMITTING ANY COVENANTS OR RESTRICTIONS, IF ANY, BASED UPON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, FAMILIAL STATUS, MARITAL STATUS, DISABILITY, HANDICAP, NATIONAL ORIGIN, ANCESTRY, OR SOURCE OF INCOME, AS SET FORTH IN APPLICABLE STATE OR FEDERAL LAWS, EXCEPT TO THE EXTENT THAT SAID COVENANT OR RESTRICTION IS PERMITTED BY APPLICABLE LAW, AS CONTAINED IN INSTRUMENT RECORDED JANUARY 31, 2020, UNDER RECEPTION NO.220014220. ASSIGNMENT OF DEVELOPING PARTY RIGHTS IN CONNECTION THEREWITH RECORDED SEPTEMBER 25, 2020 UNDER RECEPTION NO. 220149889. FIRST AMENDMENT TO DECLARATION OF COVENANTS RECORDED 9 25, 2020 UNDER RECEPTION NO. 220149892.
-IS LOCATED ON SURVEY AREA, NOT SURVEY RELATED.

28

TERMS, CONDITIONS, PROVISIONS, BURDENS AND OBLIGATIONS AS SET FORTH IN AGREEMENT FOR OPERATION AND MAINTENANCE FOR COMMON AREAS FOR FALCON MARKETPLACE RECORDED JANUARY 31, 2020 UNDER RECEPTION NO. 220014221 FIRST AMENDMENT THERETO RECORDED SEPTEMBER 25, 2020 UNDER RECEPTION NO. 220149893.
-IS LOCATED ON SURVEY AREA, NOT SURVEY RELATED.

29

TERMS, CONDITIONS, PROVISIONS, BURDENS AND OBLIGATIONS AS SET FORTH IN COMMON OPERATION AND RECIPROCAL EASEMENT AGREEMENT RECORDED NOVEMBER 17, 2020 UNDER RECEPTION NO. 220186309.
-IS LOCATED ON SURVEY AREA, BLANKET IN NATURE

SURVEYOR'S CERTIFICATION:

To Dutch Bros. LLC; Evergreen--Meridian & Woodmen, L.L.C.; and Old Republic National Title Insurance Company:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 5, 7a, 7b1, 7c, 8, 9, 11a, 11b, 13, 16, 17, 19, 20a and 20b of Table A thereof. The field work was completed on 7/8/2021. Date of Plat or Map: 7/14/2021.

The undersigned further states that the plat was surveyed and drawn to the normal standard of practice of surveyors in the State of Colorado under his direct responsibility and supervision and accurately shows the described tract of land thereof, and that the requirements of Title 38 of Colorado Revised Statutes, 1973, as amended, have been met to the best of his professional knowledge, belief and opinion. This certification is neither a warranty nor guarantee, either expressed or implied.

Stewart L. Mapes, Jr.
Colorado Professional Land Surveyor No. 38245
For and on behalf of Clark Land Surveying, Inc.
Email: ALTA@clarkls.com

ALTANSPS LAND TITLE SURVEY

A PORTION OF THE SE1/4 OF SECTION 1
TOWNSHIP 13 SOUTH, RANGE 65 WEST OF THE 6TH P.M.
EL PASO COUNTY, COLORADO

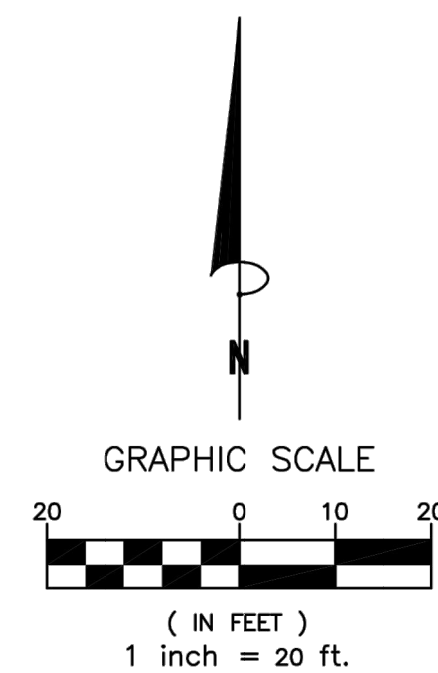
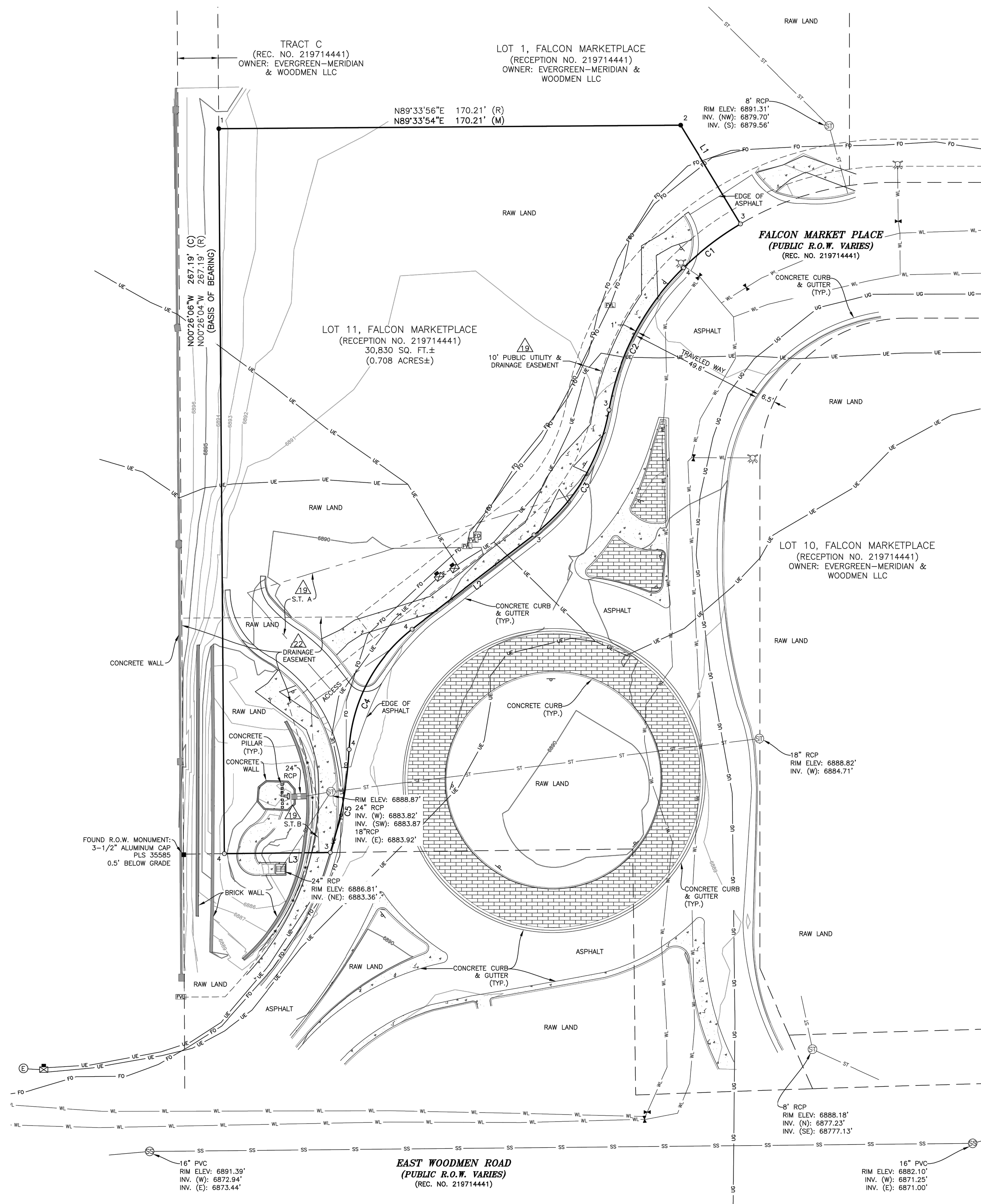
Project No. 211133
Drawn By: NSG
Checked By: SLM
Date: 7/14/2021
Sheet 1 of 2

Revisions

No.	Description	By	Date

Notice: According to Colorado law you must commence any legal action based upon any defect in this survey within three years after the date of recording. Any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.

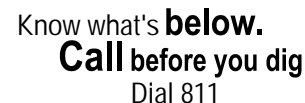
Clark Land Surveying, Inc.
177 S. Tiffany Dr., Unit 1 • Pueblo West, CO 81007 • 719.882.1270
www.clarkls.com



- | | |
|-----------|---|
| ■ | FOUND MONUMENT (ALIQUOT) |
| ● | FOUND MONUMENT (AS NOTED) |
| 1 | 1-1/4" GREEN PLASTIC CAP, PLS 38245, FLUSH WITH GRADE |
| 2 | #5 REBAR 0.3' BELOW GRADE |
| ○ | SET MONUMENT (AS NOTED) |
| 3 | MAG NAIL W/ 2" WASHER, PLS 38245, IN CONCRETE |
| 4 | #5 REBAR W/ 1-1/4" GREEN PLASTIC CAP, PLS 38245, FLUSH WITH GRADE |
| ⊕ | SANITARY MANHOLE |
| ⊗ | STORM MANHOLE |
| ⊞ | STORM INLET (RECTANGLE) |
| ⛑ | FIRE HYDRANT |
| ⋈ | WATER VALVE |
| ⓔ | ELECTRIC MANHOLE |
| Ⓜ | ELECTRIC TRANSFORMER |
| Ⓡ | FIBEROPTIC MANHOLE |
| Ⓢ | FIBEROPTIC PEDESTAL |
| Ⓥ | FIBEROPTIC VAULT |
| (C) | CALCULATED BEARING AND/OR DISTANCE. |
| (M) | MEASURED BEARING AND/OR DISTANCE. |
| (R) | RECORD BEARING AND/OR DISTANCE. |
| TYP. | TYPICAL |
| S.T. | SIGHT TRIANGLE |
| — | SIGN |
| — ST — | STORM LINE (UNDERGROUND) |
| ▒ | CULVERT |
| — SS — | SANITARY LINE (UNDERGROUND) |
| — WL — | WATER LINE (UNDERGROUND) |
| — GC — | GAS LINE (UNDERGROUND) |
| — UE — | ELECTRIC LINE (UNDERGROUND) |
| — FO — | FIBEROPTIC LINE (UNDERGROUND) |
| — * — * — | HAND RAIL |
| ⬜ | CONCRETE AREA |
| ⬜ | BRICK AREA |
| ⚠ | EXCEPTION NUMBER |

LINE	BEARING	DISTANCE
L1(C&R)	S31°12'55"E	42.57'
L2(C&R)	N52°15'09"E	56.81'
L3(C&R)	N89°20'26"E	39.04'

CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	RADIAL BEARING
C1(C&R)	110.00'	26.52'	13°48'56"	S30°35'57"E
C2(C&R)	96.00'	60.15'	35°53'56"	S44°24'54"E
C3(C&R)	74.00'	54.98'	42°33'57"	N37°44'50"W
C4(C&R)	60.00'	51.56'	49°14'17"	S37°44'45"E
C5(C&R)	149.00'	38.70'	14°53'00"	N72°05'49"W



EROSION AND SEDIMENT CONTROL NOTES:

1. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE CURRENT EDITION OF THE STORMWATER ENTERPRISE DRAWINGS BY THE CITY OF COLORADO SPRINGS AND MHFD DESIGN REQUIREMENTS.
2. EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES (BMPs) SHALL BE INSTALLED AND MAINTAINED YEAR-ROUND THROUGHOUT THE DURATION OF THE PROJECT.
3. ALL DRAINAGE INLETS IMMEDIATELY DOWNSTREAM OF THE WORK AREAS AND WITHIN THE WORK AREAS SHALL BE PROTECTED PER THE STORMWATER ENTERPRISE DRAWINGS BY THE CITY OF COLORADO SPRINGS AND MHFD DESIGN REQUIREMENTS.
4. ALL STABILIZED CONSTRUCTION ACCESS LOCATIONS SHALL BE CONSTRUCTED PER THE VEHICLE TRACKING CONTROL REQUIREMENTS OF THE STORMWATER ENTERPRISE DRAWINGS BY THE CITY OF COLORADO SPRINGS AND MHFD DESIGN REQUIREMENTS. STABILIZED CONSTRUCTION ENTRANCE/EXIT, WHERE CONSTRUCTION TRAFFIC ENTERS OR LEAVES PAVED AREAS, THE STABILIZED ACCESS SHALL BE MAINTAINED ON A YEAR ROUND BASIS UNTIL THE COMPLETION OF CONSTRUCTION.
5. ALL AREAS DISTURBED DURING CONSTRUCTION BY GRADING, TRENCHING, OR OTHER ACTIVITIES, SHALL BE PROTECTED FROM EROSION YEAR ROUND DURING THE DURATION OF THE PROJECT. HYDROSEED, IF UTILIZED, MUST BE PLACED BY SEPTEMBER 15. HYDROSEED PLACED DURING THE WET SEASON SHALL USE A SECONDARY EROSION PROTECTION METHOD REFER TO STORMWATER ENTERPRISE DRAWINGS BY THE CITY OF COLORADO SPRINGS FOR SEEDING AND MULCHING.
6. SENSITIVE AREAS AND AREAS WHERE EXISTING VEGETATION IS BEING PRESERVED SHALL BE PROTECTED WITH CONSTRUCTION FENCING. SEDIMENT CONTROL BMPs SHALL BE INSTALLED WHERE ACTIVE CONSTRUCTION AREAS DRAIN INTO SENSITIVE OR PRESERVED VEGETATION AREAS.
7. SEDIMENT CONTROL BMPs SHALL BE PLACED ALONG THE PROJECT PERIMETER WHERE DRAINAGE LEAVES THE PROJECT. SEDIMENT CONTROL BMPs SHALL BE MAINTAINED YEAR ROUND UNTIL THE CONSTRUCTION IS COMPLETED OR THE DRAINAGE PATTERN HAS BEEN CHANGED AND NO LONGER LEAVES THE SITE.
8. EFFECTIVE EROSION CONTROL BMPs SHALL BE IN PLACE PRIOR TO ANY STORM EVENTS.
9. CONTRACTOR SHALL INSTALL AN EFFECTIVE COMBINATION OF EROSION AND SEDIMENTATION CONTROL BMPs.

EROSION CONTROL NOTES:

1. INSTALL TEMPORARY SILT FENCE TO PREVENT SILT-LADEN RUNOFF FROM LEAVING SITE, AND AS DIRECTED BY THE COUNTY INSPECTOR. INSTALL PER COLORADO SPRINGS STANDARD DRAWING 900-SP.
2. INSTALL DURABLEMATE TO PREVENT SILT-LADEN RUNOFF FROM LEAVING SITE; INSTALL PER MANUFACTURER'S RECOMMENDATIONS. INSTALL IN COMPLIANCE WITH ALL APPLICABLE SPECIFICATIONS SET FORTH IN COLORADO SPRINGS DRAINAGE CRITERIA MANUAL.
3. INSTALL STABILIZED CONSTRUCTION ENTRANCE (VEHICLE TRACKING CONTROL), PER COLORADO SPRINGS STANDARD DRAWING 900-VTC.
4. INSTALL TEMPORARY STORM DRAIN INLET PROTECTION AT ALL EXISTING AND PROPOSED DRAINAGE INLETS, THIS PROTECTION INCLUDES ANY CATCH BASINS IN THE PUBLIC RIGHT-OF-WAY, AS WELL AS ANY ON-SITE CATCH BASINS ON PRIVATE PROPERTY. INSTALL AS REQUIRED TO PREVENT SILT-LADEN WATER FROM ENTERING STORM DRAINAGE SYSTEM. CONTRACTOR SHALL INSTALL APPROPRIATE INLET PROTECTION, REFER TO COLORADO SPRINGS STANDARD DRAWING 900-IP 1, 900-IP 2, 900-IP 3, AND 900-IP 4.
5. APPROXIMATE LOCATION OF CONTRACTOR STAGING AREA THAT IS TO BE USED FOR MATERIAL/EQUIPMENT STORAGE, VEHICLE AND EQUIPMENT FUELING/MAINTENANCE, CONCRETE WASHOUT, AND TEMPORARY SANITARY FACILITIES. CONTRACTOR TO ADJUST SIZE AND LOCATION OF AREA AS NECESSARY, COMPLY WITH APPLICABLE SPECIFICATIONS SET FORTH IN COLORADO SPRINGS DRAINAGE CRITERIA MANUAL.
6. CONTRACTOR TO INSTALL CONCRETE WASHOUT; ADJUST AS NECESSARY DURING CONSTRUCTION. INSTALL IN COMPLIANCE WITH COLORADO SPRINGS STANDARD DRAWING 900-CWA 1 AND 900-CWA 2
7. INSTALL TEMPORARY CONSTRUCTION FENCE AROUND LIMITS OF PROPERTY; PROVIDE GATE AS NEEDED.
8. APPROXIMATE LOCATION OF STOCKPILE AREA (NOT SHOWN). CONTRACTOR TO ADJUST SIZE AND LOCATION OF AREA AS NECESSARY, COMPLY WITH COLORADO SPRINGS STANDARD DRAWING 900-SP
9. INSTALL TEMPORARY SEDIMENT DITCH PER DETAIL 1 THIS SHEET, WITH CHECK DAMS AS REQUIRED PER COLORADO SPRINGS STANDARD DETAIL 900-CD. CONTRACTOR SHALL SLOPE TOWARDS SEDIMENT POND. INSTALL TEMPORARY CULVERT AT CONSTRUCTION ENTRANCE.
10. TEMPORARY SEDIMENT BASIN. CONSTRUCT PER COLORADO SPRINGS STANDARD DRAWING 900-TSB 1 AND 900-TSB 2.

TRIBUTARY AREA = 27,975 S.F. = 0.64 AC
REQUIRED VOLUME $\rightarrow 0.64\text{AC} \cdot 35 \text{ CY/AC} = 22.48 \text{ CY} / (606.9) \text{ 610 CF}$

SEDIMENT TRAP SIZE
WIDTH = 16'; LENGTH = 20'; DEPTH = 18"; SIDE SLOPES = 3:1

PROVIDED VOLUME = ±615 CF

CONTRACTOR TO COORDINATE STORMWATER SEDIMENT POND DISCHARGE LOCATION COORDINATE WITH COUNTY INSPECTOR AS REQUIRED. REFER TO COLORADO SPRINGS STANDARD DRAWING 900-TSB 1 AND 900-TSB 2.

11. APPROXIMATE LOCATION OF PORTABLE TOILET. CONTRACTOR SHALL LOCATED ON SITE PER COLORADO SPRINGS STANDARD DRAWING 900-PTM.

DEMOLITION CONTROL NOTES:

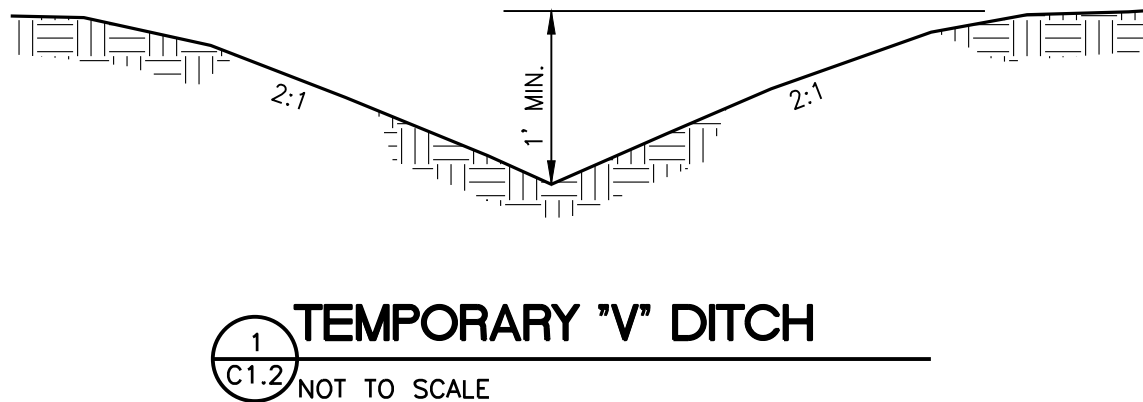
1. SAWCUT AND REMOVE EXISTING CURB AND GUTTER, ASPHALT PAVEMENTS, AND OTHER CONSTRUCTED ELEMENTS. KEYNOTES.
- * ALL DEMOLITION/REMOVAL ITEMS MENTIONED ABOVE TO BE DISPOSED OF OFFSITE. CONTRACTOR TO ENSURE DISPOSAL COMPLIES WITH CITY STANDARDS AND REGULATIONS FOR OFFSITE DISPOSAL/RECYCLING.

SPECIAL PROTECTION NOTES:

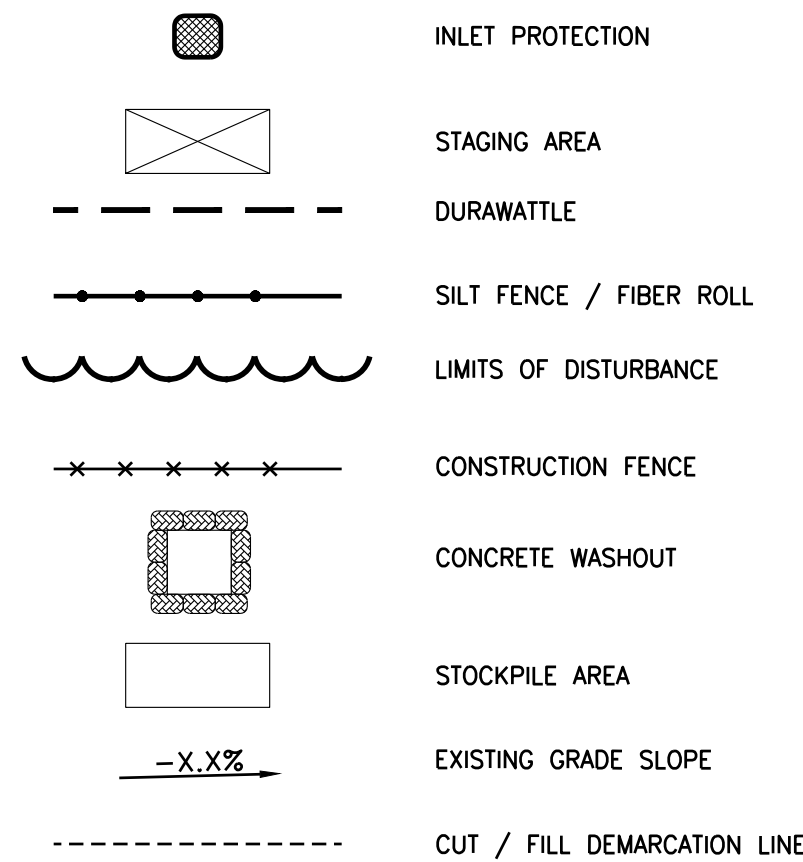
1. PROTECT EXISTING UTILITY BOXES, MANHOLES, CLEANOUTS, PEDESTALS, AND ASSOCIATED UNDERGROUND UTILITY LINES FROM DAMAGE DURING CONSTRUCTION, TYPICAL.
2. PROTECT EXISTING SIDEWALK AND CURB FROM DAMAGE DURING CONSTRUCTION.
3. PROTECT EXISTING FENCE FROM DAMAGE DURING CONSTRUCTION.

UNDERGROUND UTILITY NOTE:

THE PROPOSED DEVELOPMENT HAS MULTIPLE INSTALLATIONS OF EXISTING UTILITIES WITHIN THE BOUNDS OF THE PROJECT. THE CONTRACTOR SHALL VERIFY THE DEPTH OF ALL UTILITIES PRIOR TO ANY EARTHMOVING ACTIVITIES SHALL BEGIN. IF THE PROPOSED ELEVATION WOULD REDUCE THE COVER OVER AN EXISTING UTILITY, THE CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY AND DETERMINE IF CONTINUED EXCAVATION IS ALLOWED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT BY POTHOLES THE UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UTILITY LOCATE @ 1-800-332-2344 AND THEN POTHOLES ALL OF THE EXISTING UTILITIES.



TESC LEGEND:



UTILITY PROTECTION NOTE:

APPROXIMATE LOCATION OF KNOWN UTILITIES ARE SHOWN ON THESE PLANS. CONTRACTOR TO COORDINATE WITH PURVEYOR AND USE EXTREME CAUTION WHEN EXCAVATING ON-SITE, UNTIL EXISTING GAS AND POWER SERVICE LOCATIONS ARE CONFIRMED. CONTRACTOR TO ORDER INDEPENDENT UTILITY LOCATES (INCLUDING GAS AND POWER) FOR THE FULL SCOPE OF WORK PRIOR TO CONSTRUCTION OR ANY GROUND DISTURBING ACTIVITIES.

UTILITY CONFLICT NOTE:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT BY POT-HOLES THE UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UTILITIES LOCATE AT 811 AND THEN POT-HOLE ALL OF THE EXISTING UTILITIES AT LOCATIONS OF NEW UTILITY CROSSINGS TO PHYSICALLY VERIFY WHETHER OR NOT CONFLICTS EXIST. LOCATIONS OF SAID UTILITIES AS SHOWN ON THESE PLANS ARE BASED UPON UNVERIFIED PUBLIC INFORMATION AND ARE SUBJECT TO VARIATION. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL NOTIFY BARGHAUSEN CONSULTING ENGINEERS, INC. TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.

EXISTING SOIL TYPE:

BLAKELAND LOAMY SAND (1.2 AC) - 3.23%
BLAKELAND-FLUVAQUENTIC HAPLAQUOLLS (16.3 AC) - 43.93%
COLUMBINE GRAVELLY SANDY LOAM (19.6) - 52.83%

TEMPORARY WORK EASEMENT NOTE:

CLIENT TO OBTAIN TEMPORARY WORK EASEMENT AGREEMENT; COORDINATE WITH ADJACENT PROPERTY OWNER PRIOR TO CONSTRUCTION OF ANY OFF-SITE WORK.

UTILITY COORDINATION NOTE:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES PRIOR TO PERFORMING ANY DEMOLITION ACTIVITIES TO ENSURE PROPER PROTECTION AND DISCONNECTION PROCEDURES ARE IN PLACE

INITIAL EROSION CONTROL PLAN
7520 FALCON MARKET PLACE
PEYTON, CO 80831

File

Dutch Bros

For:

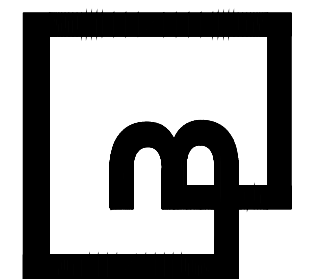


8/24/2

Scale:
Horizontal
1" = 20'
Vertical

Designed	CCK
Drawn	JAH
Checked	JAH
Approved	HPG
Date	08/24/21

Barghausen
Consulting Engineers, Inc.
18215 72nd Avenue South
Kent, WA 98032
425.251.6222 **barghausen.com**



21917
Sheet
C1.2
2019 DB

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SEQUENCE OF CONSTRUCTION

PRE-CONSTRUCTION PHASE:

THE FOLLOWING TASKS SHALL BE COMPLETED BASED ON THE CONTRACTOR'S SCHEDULE.

- FILE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT (CDPHE) GENERAL PERMIT APPLICATION FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY AT LEAST 10 DAYS PRIOR TO ANTICIPATED START OF CONSTRUCTION.
- INSTALL SILT FENCE (SF) AND CONSTRUCTION FENCE TO DELINEATE LIMITS OF CONSTRUCTION.
- INSTALL VEHICLE TRACKING CONTROL (VCT).
- INSTALL STABILIZED STAGING AREA (SSA) (CONTRACTOR TO ESTABLISH SIZE).
- INSTALL INLET PROTECTION ON EXISTING INLETS (IP).
- INSTALL CONCRETE WASHOUT AREA (CWA) AND ANY ADDITIONAL PERIMETER BMP'S.

CONSTRUCTION PHASE:

THE FOLLOWING TASKS SHALL BE COMPLETED BASED ON THE CONTRACTOR'S SCHEDULE.

- CONFIRM EXISTING BMPs FROM THE PRE-CONSTRUCTION PHASE WHICH ARE TO BE MAINTAINED THROUGHOUT CONSTRUCTION ARE IN WORKING ORDER AND COMPLIANT WITH APPLICABLE REGULATIONS.
- REPAIR AND/OR REPLACE ANY EXISTING BMPs FROM THE PRE-CONSTRUCTION PHASE WHICH ARE DEEMED INADEQUATE.
- CLEAR AND GRUB THE SITE.
- ROUGH GRADE THE SITE.
- TEMPORARY SEED (TS) AND MULCH (MU) ANY AREAS OF THE SITE WHICH WILL REMAIN INACTIVE FOR A PERIOD GREATER THE 21 DAYS. THIS BMP SHALL BE INSTALLED WITHIN THE FIRST 14 DAYS OF WHEN THE AREAS BECOME DORMANT.

DUTCH BROS. COFFEE - CO0707 - PEYTON, CO EROSION CONTROL DETAILS

SEEDING & MULCHING

ALL SOIL TESTING, SOILS AMENDMENT AND FERTILIZER DOCUMENTATION, AND SEED LOAD AND BAG TICKETS MUST BE ADDED TO THE CSWMP.

SOIL PREPARATION

- IN AREAS TO BE SEED, THE UPPER 6 INCHES OF THE SOIL MUST NOT BE HEAVILY COMPACTED, AND SHOULD BE IN FRIABLE CONDITION. LESS THAN 85% STANDARD PROCTOR DENSITY IS ACCEPTABLE. AREAS OF COMPACTION OR GENERAL CONSTRUCTION ACTIVITY MUST BE SCARIFIED TO A DEPTH OF 6 TO 12 INCHES PRIOR TO SPREADING TOPSOIL TO BREAK UP COMPACTED LAYERS AND PROVIDE A BLENDING ZONE BETWEEN DIFFERENT SOIL LAYERS.
- AREAS TO BE PLANTED SHALL HAVE AT LEAST 4 INCHES OF TOPSOIL SUITABLE TO SUPPORT PLANT GROWTH.
- THE CITY RECOMMENDS THAT EXISTING AND/OR IMPORTED TOPSOIL BE TESTED TO IDENTIFY SOIL DEFICIENCIES AND ANY SOIL AMENDMENTS NECESSARY TO ADDRESS THESE DEFICIENCIES. SOIL AMENDMENTS AND/OR FERTILIZERS SHOULD BE ADDED TO CORRECT TOPSOIL DEFICIENCIES BASED ON SOIL TESTING RESULTS.
- TOPSOIL SHALL BE PROTECTED DURING THE CONSTRUCTION PERIOD TO RETAIN ITS STRUCTURE AVOID COMPACTION, AND TO PREVENT EROSION AND CONTAMINATION. STRIPPED TOPSOIL MUST BE STORED IN AN AREA AWAY FROM MACHINERY AND CONSTRUCTION OPERATIONS, AND CARE MUST BE TAKEN TO PROTECT THE TOPSOIL AS A VALUABLE COMMODITY. TOPSOIL MUST NOT BE STRIPPED DURING UNDESIRABLE WORKING CONDITIONS (E.G. DURING WET WEATHER OR WHEN SOILS ARE SATURATED). TOPSOIL SHALL NOT BE STORED IN SWALES OR IN AREAS WITH POOR DRAINAGE.

SEEDING

- ALLOWABLE SEED MIXES ARE INCLUDED IN THE CITY OF COLORADO SPRINGS STORMWATER CONSTRUCTION MANUAL. ALTERNATIVE SEED MIXES ARE ACCEPTABLE IF INCLUDED IN AN APPROVED LANDSCAPING PLAN.
- SEED SHOULD BE DRILL-SEEDED WHENEVER POSSIBLE.
- *SEED DEPTH MUST BE $\frac{1}{2}$ TO $\frac{3}{4}$ INCHES WHEN DRILL-SEEDED IS USED.
- BROADCAST SEEDING OR HYDRO-SEEDED WITH TACKIFIER MAY BE SUBSTITUTED ON SLOPES STEEPER THAN 3:1 OR ON OTHER AREAS NOT PRACTICAL TO DRILL SEED.
- *SEEDING RATES MUST BE DOUBLED FOR BROADCAST SEEDING OR INCREASED BY 50% IF USING A BRILLION DRILL OR HYDRO-SEEDED.
- *BROADCAST SEEDING MUST BE LIGHTLY HAND-RAKED INTO THE SOIL.

MULCHING

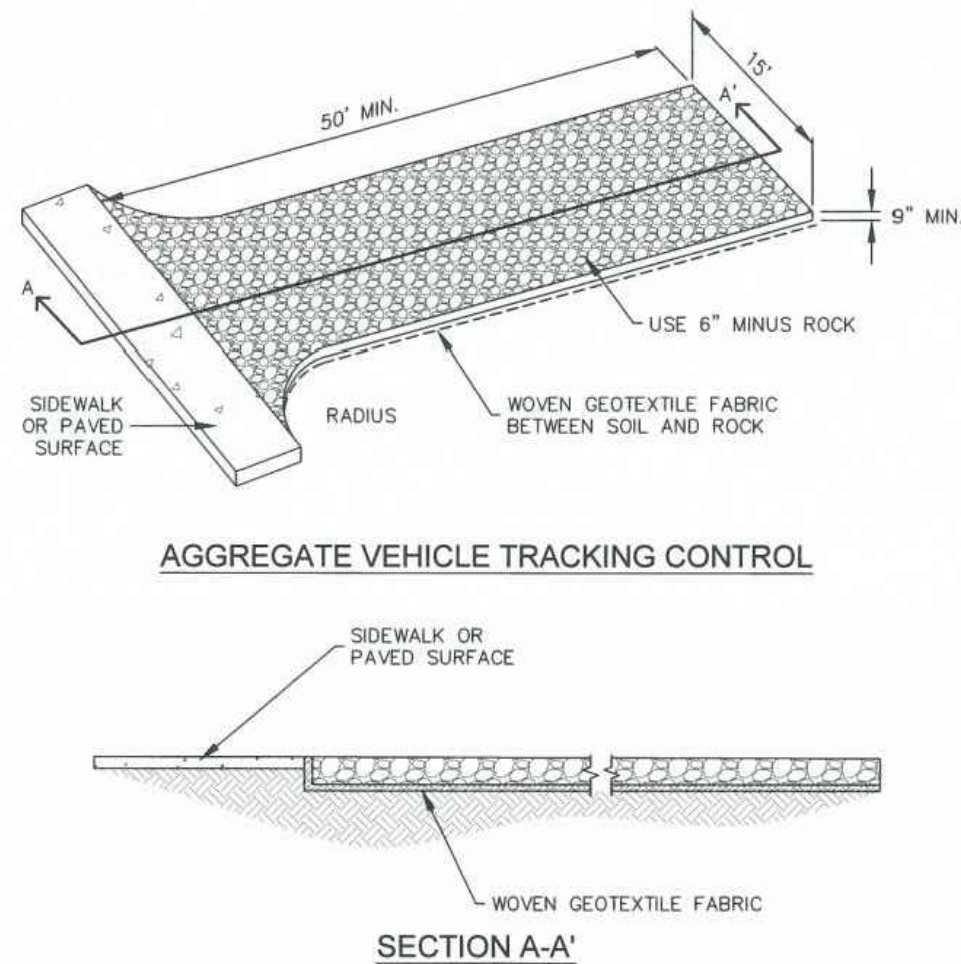
- MULCHING SHOULD BE COMPLETED AS SOON AS PRACTICABLE AFTER SEEDING, HOWEVER PLANTED AREAS MUST BE MULCHED NO LATER THAN 14 DAYS AFTER PLANTING.
- MULCHING REQUIREMENTS INCLUDE:
 - HAY OR STRAW MULCH
 - ONLY CERTIFIED WEED-FREE AND CERTIFIED SEED-FREE MULCH MAY BE USED. MULCH MUST BE APPLIED AT 2 TONS/ACRE AND ADEQUATELY SECURED BY CRIMPING AND/OR TACKIFIER.
 - CRIMPING MUST NOT BE USED ON SLOPES GREATER THAN 3:1 AND MULCH FIBERS MUST BE TUCKED INTO THE SOIL TO A DEPTH OF 3 TO 4 INCHES.
 - TACKIFIER MUST BE USED IN PLACE OF CRIMPING ON SLOPES STEEPER THAN 3:1.
 - HYDRAULIC MULCHING IS AN OPTION ON STEEP SLOPES OR WHERE ACCESS IS LIMITED.
 - IF HYDRO-SEEDED IS USED, MULCHING MUST BE APPLIED AS A SEPARATE, SECOND OPERATION.
 - WOOD CELLULOSE FIBERS MIXED WITH WATER MUST BE APPLIED AT A RATE OF 2,000 TO 2,500 POUNDS/ACRE, AND TACKIFIER MUST BE APPLIED AT A RATE OF 100 POUNDS/ACRE.
- EROSION CONTROL BLANKET MAY BE USED IN PLACE OF TRADITIONAL MULCHING METHODS.

SM



SEEDING & MULCHING
APPROVED: [Signature]
DESIGNED: [Signature]
ISSUED: 10/7/19 REVISED: 8/19/2020 DRAWING NO. 900-SM

AGGREGATE VEHICLE TRACKING CONTROL



SECTION A-A'

INSTALLATION NOTES

- A STABILIZED CONSTRUCTION ENTRANCE/EXIT SHOULD BE LOCATED AT ALL POINTS WHERE VEHICLES EXIT THE CONSTRUCTION SITE TO ADJACENT ROADWAY.
- STABILIZED CONSTRUCTION ENTRANCE/EXITS SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES.
- RADIUS MUST BE ADEQUATE FOR INTENDED CONSTRUCTION VEHICLE TURNING.
- ROCK SHOULD CONSIST OF 6" MINUS ROCK.
- INSTALL CONSTRUCTION FENCE ON BOTH SIDES OF VEHICLE TRACKING CONTROL PAD WHEN NEEDED OR REQUIRED BY INSPECTOR.

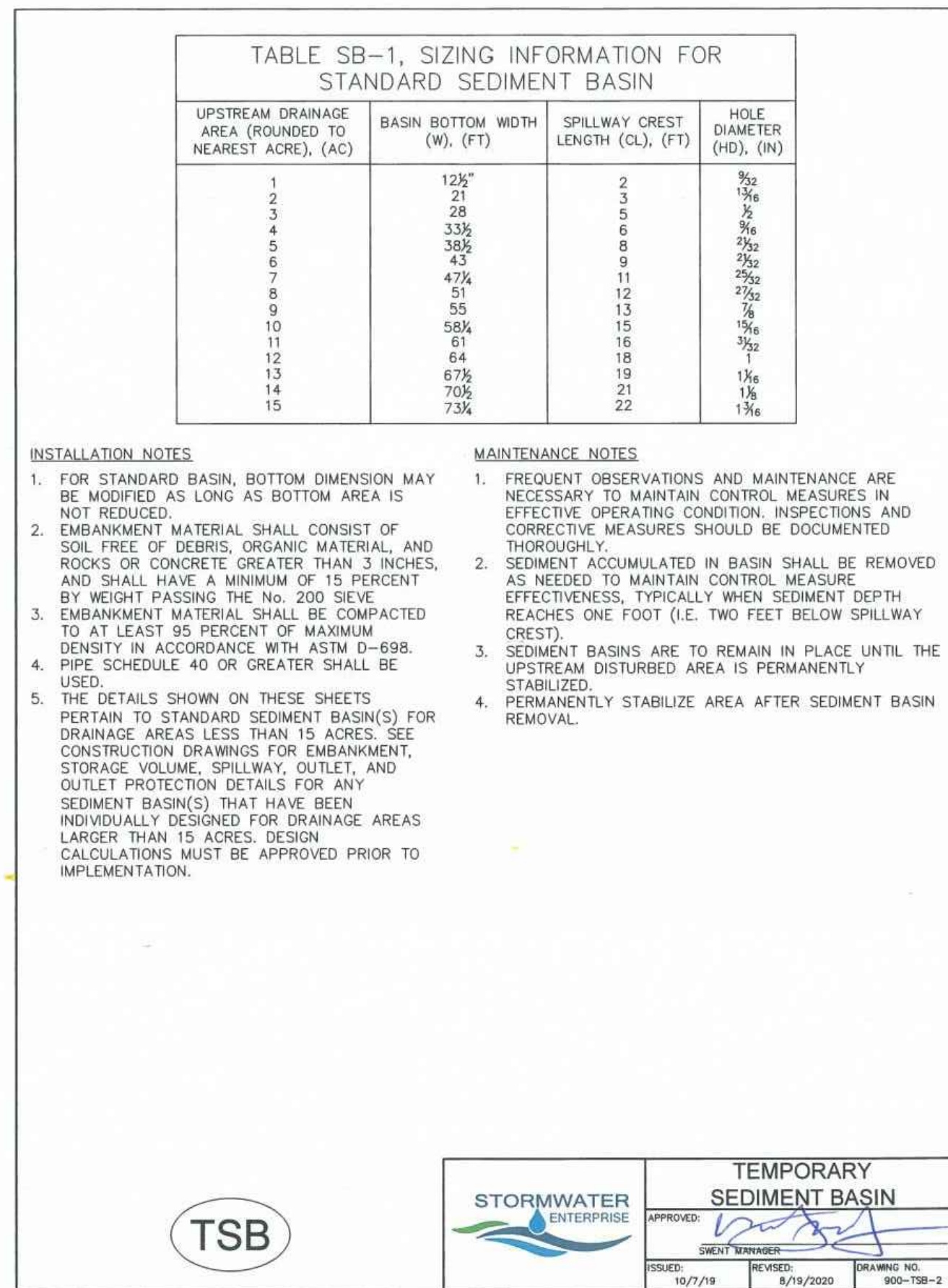
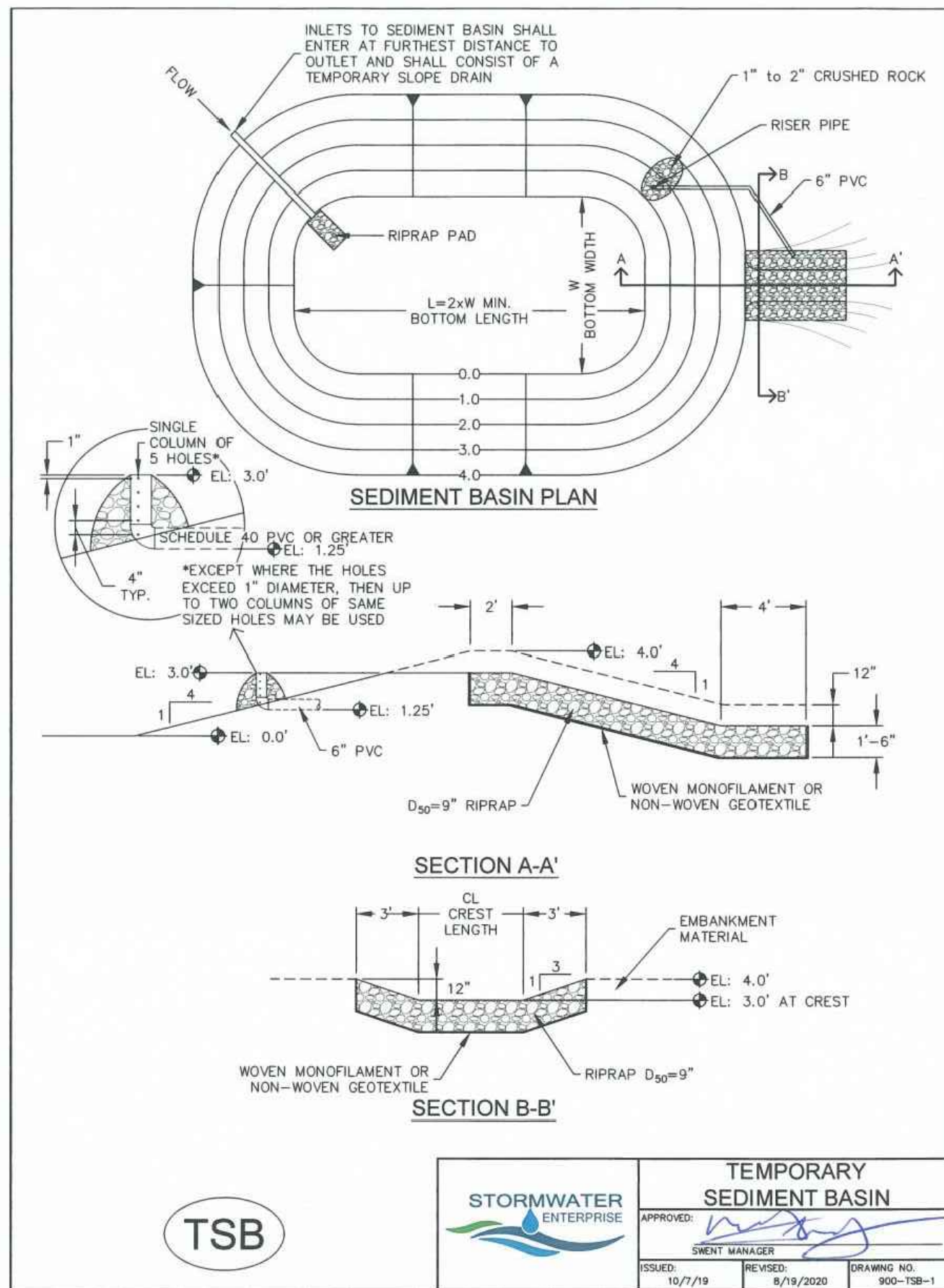
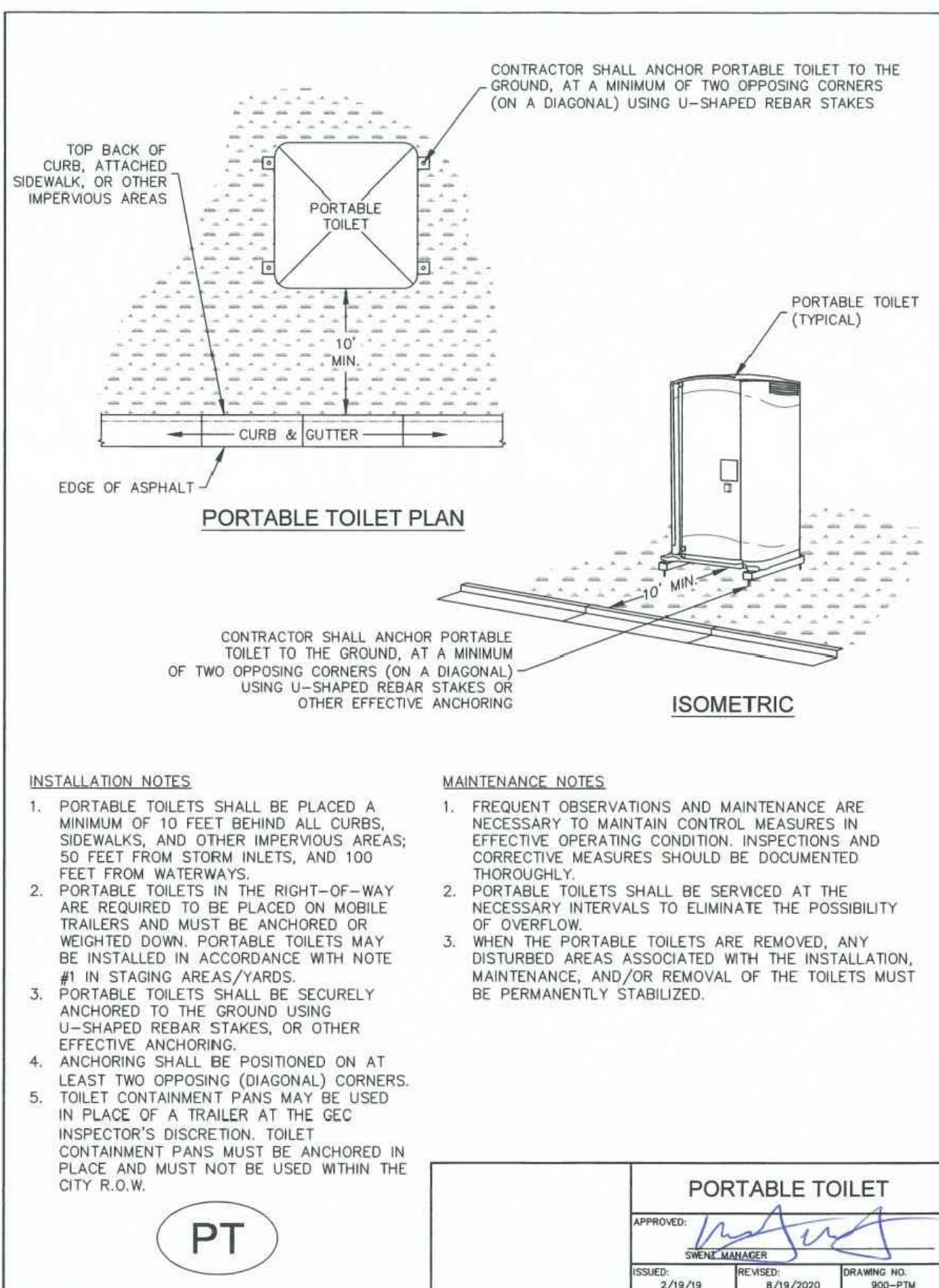
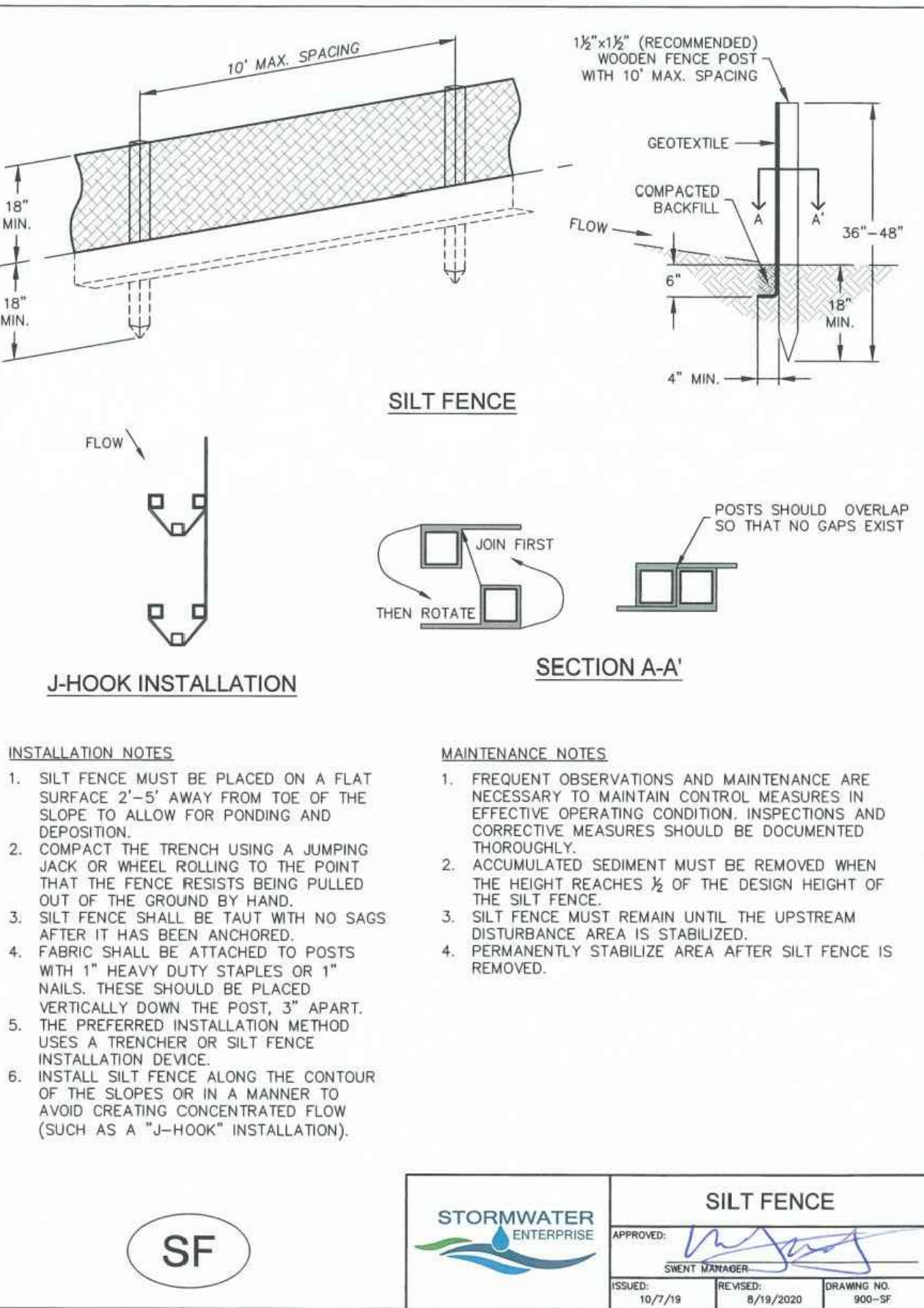
MAINTENANCE NOTES

- FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN CONTROL MEASURES IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
- SEDIMENT TRACKED ONTO THE ADJACENT ROAD SHALL BE REMOVED DAILY, BY SWEEPING OR SHOVELING, AND NEVER WASHED DOWN STORM DRAINS.
- ROUGHEN, REPLACE AND/OR ADD ROCK AS NEEDED TO MAINTAIN CONSISTENT DEPTH AND TO PREVENT SEDIMENT TRACKING ONTO ADJACENT STREET.
- PERMANENTLY STABILIZE AREA AFTER VEHICLE TRACKING CONTROL IS REMOVED.

VTC



VEHICLE TRACKING CONTROL
APPROVED: [Signature]
DESIGNED: [Signature]
ISSUED: 10/7/19 REVISED: 8/19/2020 DRAWING NO. 900-VTC



EROSION CONTROL DETAILS
7520 FALCON MARKET PLACE
PEYTON, CO 80831

Title:

DUTCH BROS.

For:



Scale:

Horizontal

N/A

Vertical

N/A

Designed

Drawn

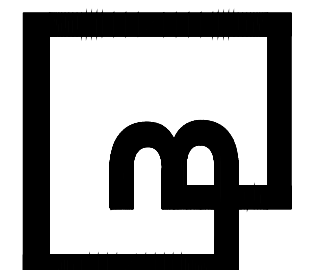
Checked

Approved

Date

08/24/21

Barghausen Consulting Engineers, Inc.
18215 72nd Avenue South
Kent, WA 98032
425.251.6222



Job Number

21917

Sheet

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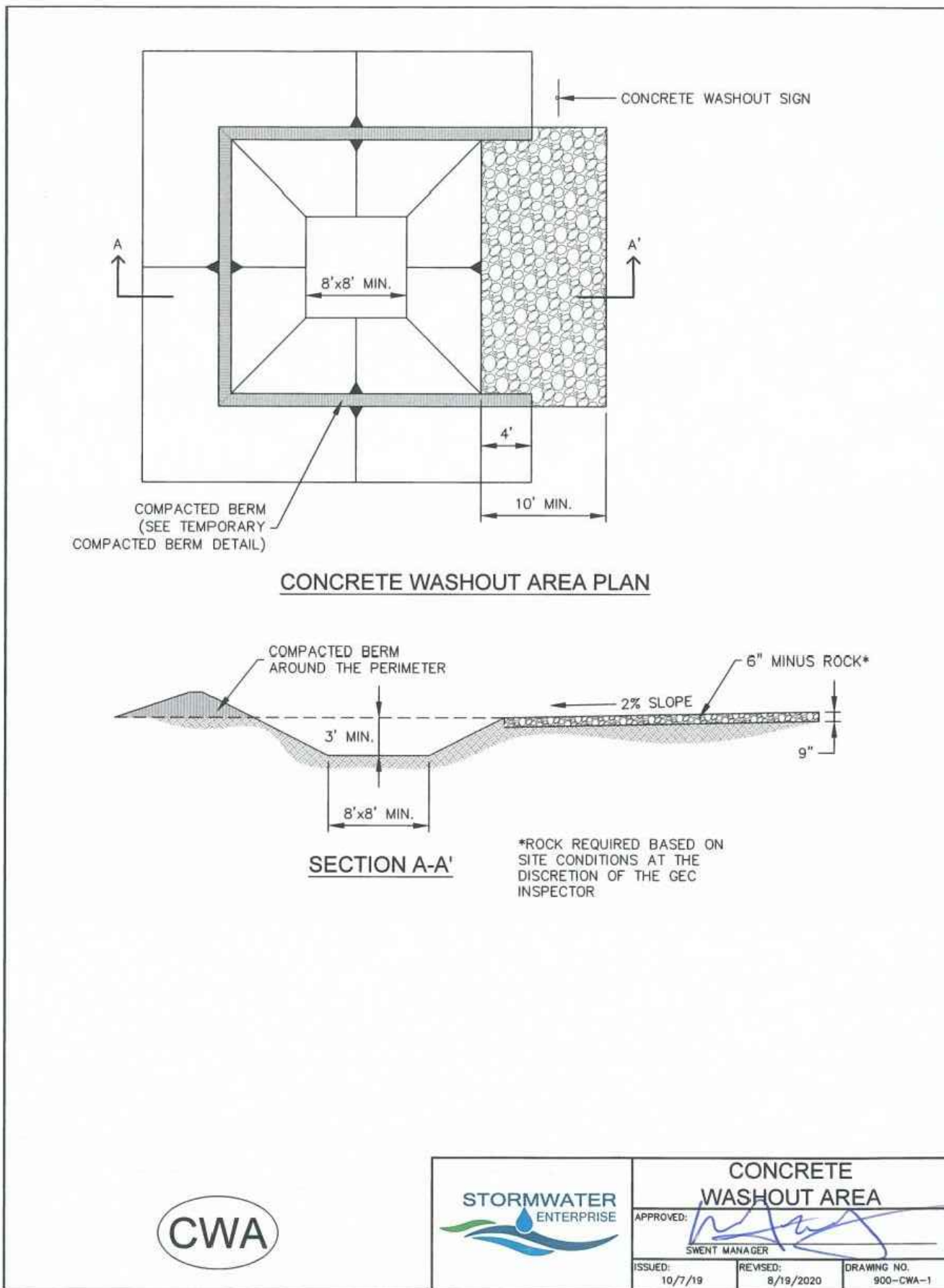
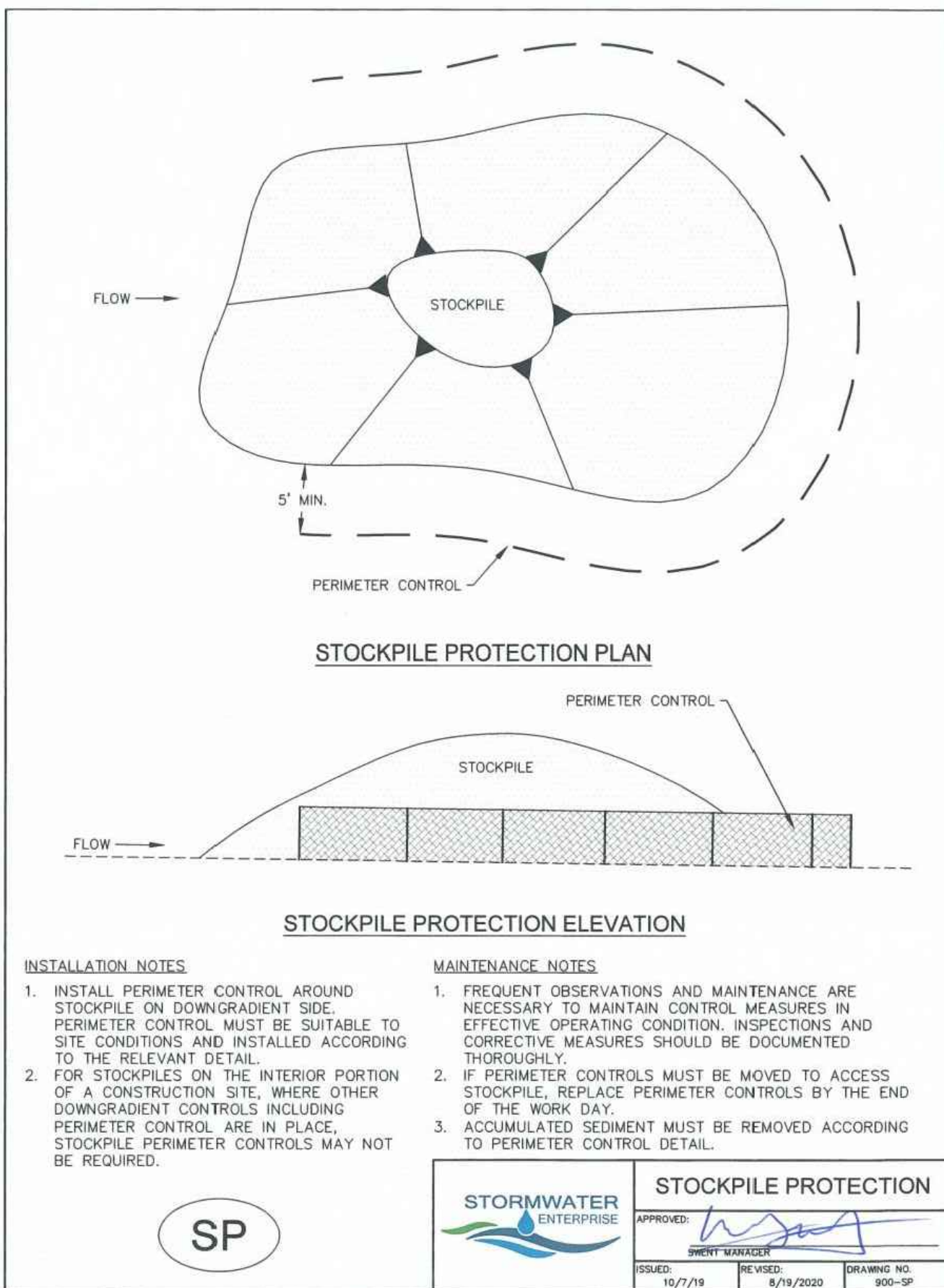
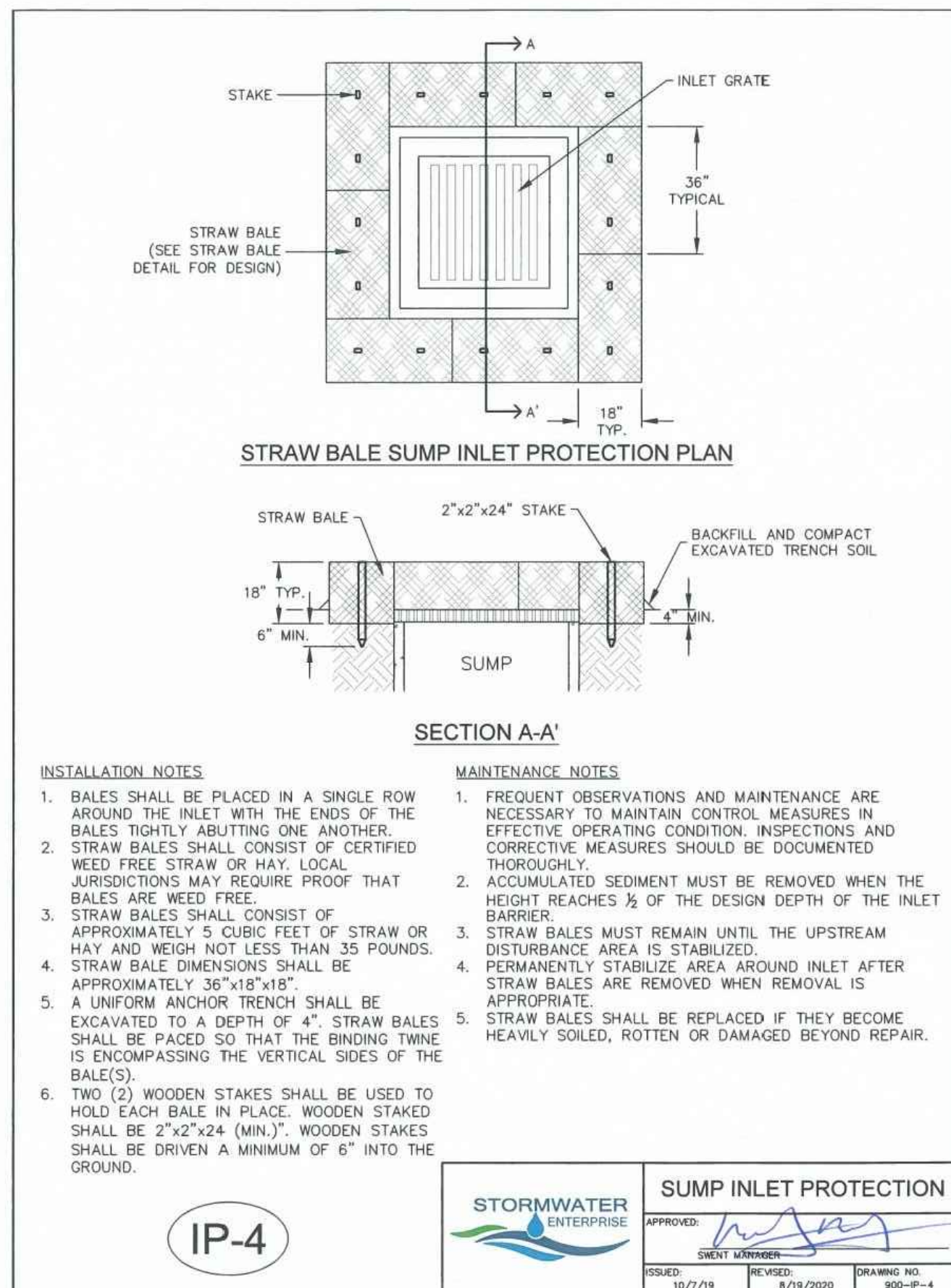
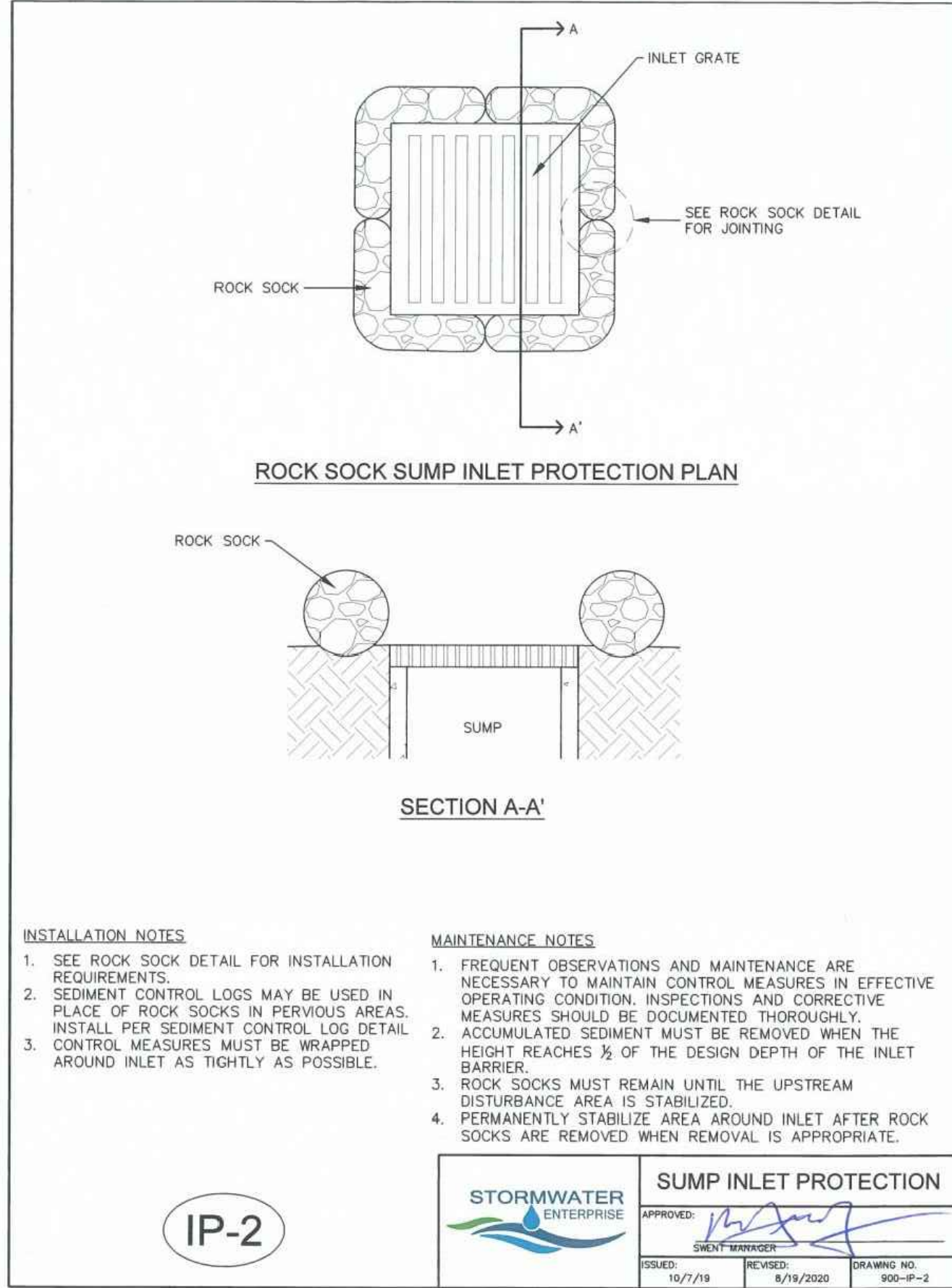
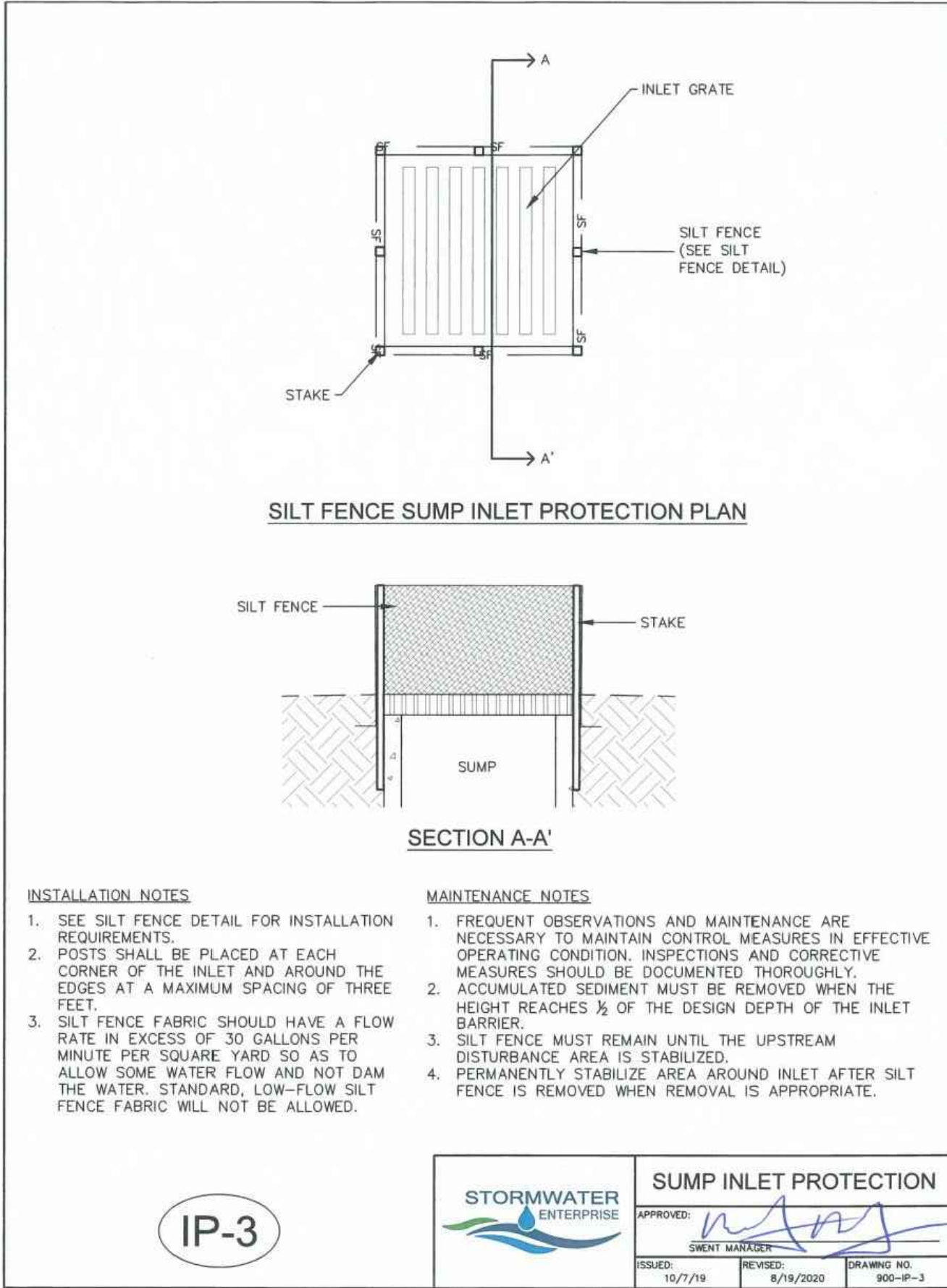
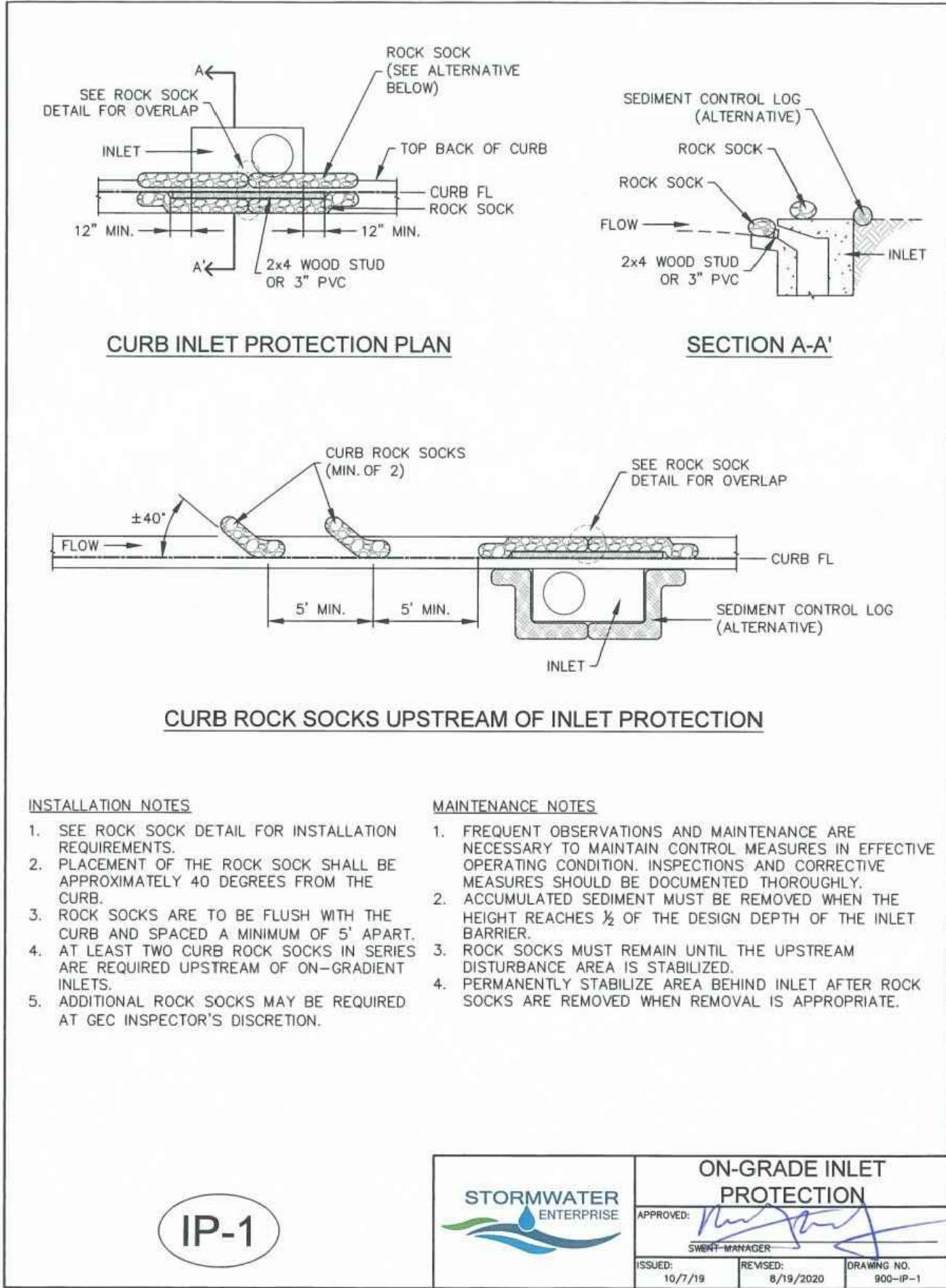
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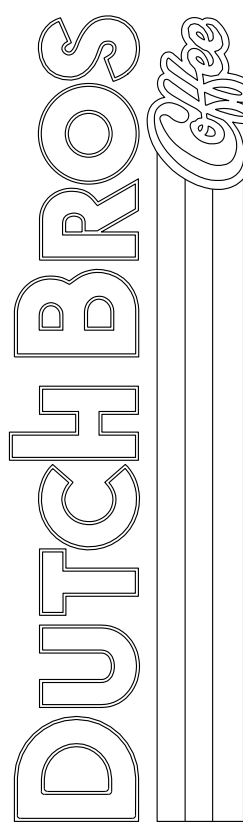
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DUTCH BROS. COFFEE - CO0707 - PEYTON, CO EROSION CONTROL DETAILS



EROSION CONTROL DETAILS
7520 FALCON MARKET PLACE
PEYTON, CO 80831

Title:



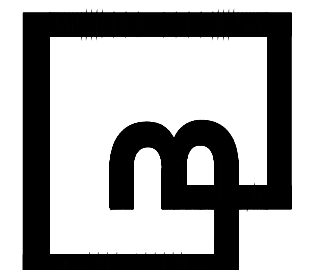
For:



Scale: Horizontal N/A Vertical N/A

Designed: CCK
Drawn: JAH
Checked: JAH
Approved: HPG
Date: 08/24/21

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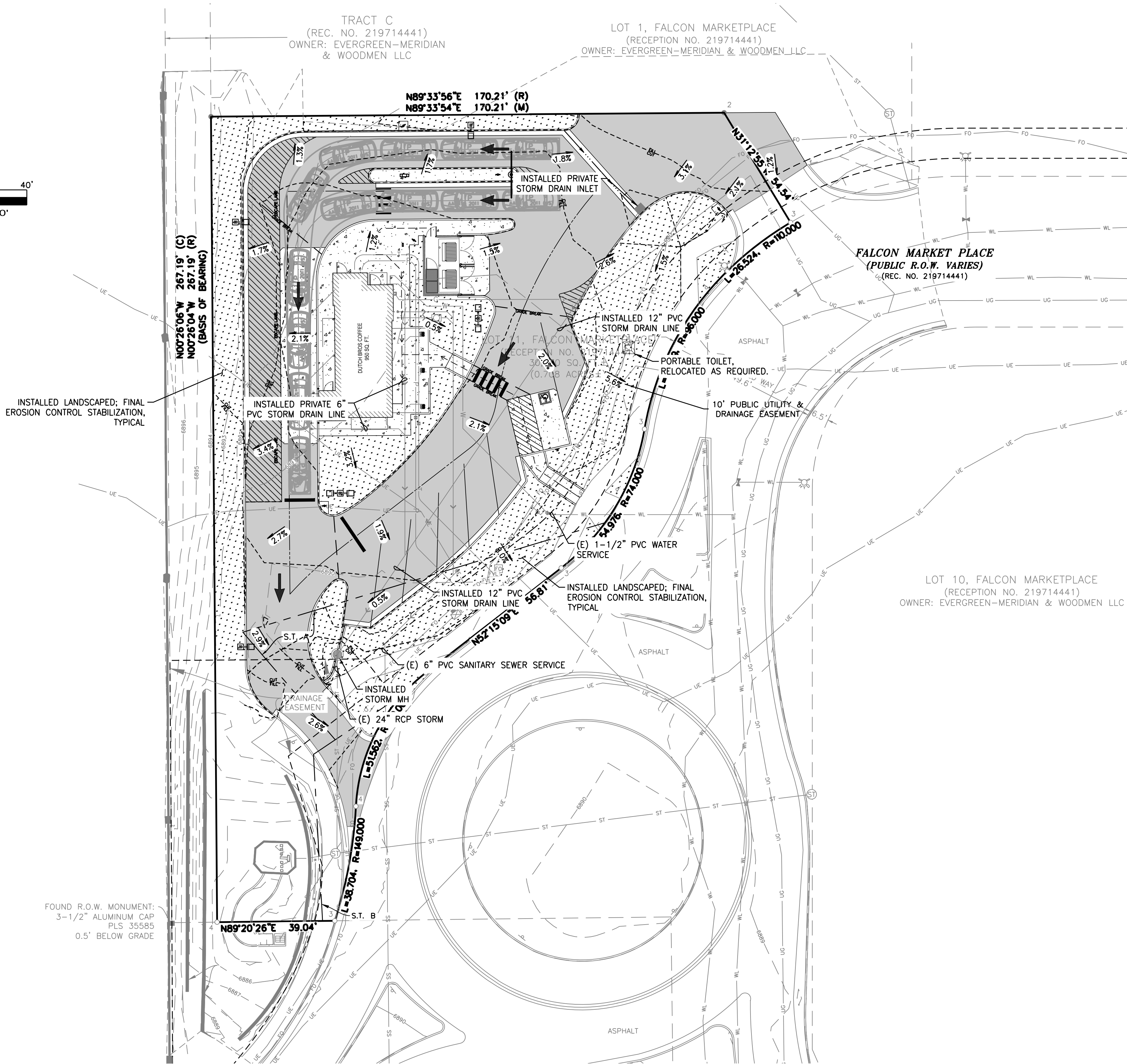
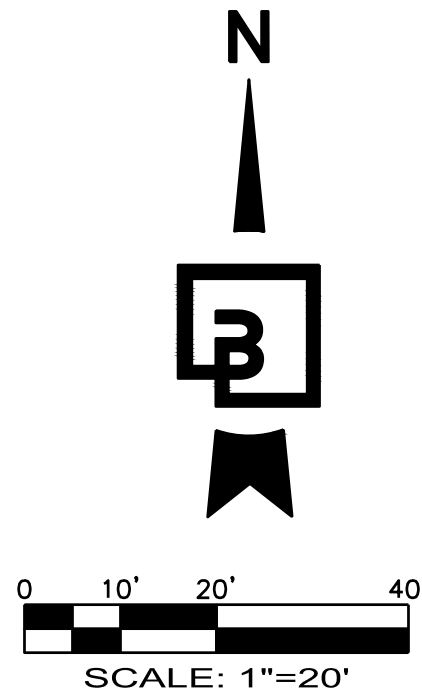
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DUTCH BROS. COFFEE - CO0707 - PEYTON, CO FINAL EROSION CONTROL PLAN



TESC LEGEND:	
	INLET PROTECTION
	STAGING AREA
	DURAWATTLE
	SILT FENCE / FIBER ROLL
	LIMITS OF DISTURBANCE
	CONSTRUCTION FENCE
	CONCRETE WASHOUT
	DESIGN GRADE SLOPE
	CUT / FILL DEMARCATION LINE

EROSION AND SEDIMENT CONTROL NOTES:

1. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE CURRENT EDITION OF THE STORMWATER ENTERPRISE DRAWINGS BY THE CITY OF COLORADO SPRINGS AND MHFD DESIGN REQUIREMENTS.
2. EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES (BMPs) SHALL BE INSTALLED AND MAINTAINED YEAR-ROUND THROUGHOUT THE DURATION OF THE PROJECT.
3. ALL DRAINAGE INLETS IMMEDIATELY DOWNSTREAM OF THE WORK AREAS AND WITHIN THE WORK AREAS SHALL BE PROTECTED PER THE STORMWATER ENTERPRISE DRAWINGS BY THE CITY OF COLORADO SPRINGS AND MHFD DESIGN REQUIREMENTS.
4. ALL STABILIZED CONSTRUCTION ACCESS LOCATIONS SHALL BE CONSTRUCTED PER THE VEHICLE TRACKING CONTROL REQUIREMENTS OF THE STORMWATER ENTERPRISE DRAWINGS BY THE CITY OF COLORADO SPRINGS AND MHFD DESIGN REQUIREMENTS. STABILIZED CONSTRUCTION ENTRANCE/EXIT, WHERE CONSTRUCTION TRAFFIC ENTERS OR LEAVES PAVED AREAS. THE STABILIZED ACCESS SHALL BE MAINTAINED ON A YEAR ROUND BASIS UNTIL THE COMPLETION OF CONSTRUCTION.
5. ALL AREAS DISTURBED DURING CONSTRUCTION BY GRADING, TRENCHING, OR OTHER ACTIVITIES, SHALL BE PROTECTED FROM EROSION YEAR ROUND DURING THE DURATION OF THE PROJECT. HYDROSEED, IF UTILIZED, MUST BE PLACED BY SEPTEMBER 15. HYDROSEED PLACED DURING THE WET SEASON SHALL USE A SECONDARY EROSION PROTECTION METHOD. REFER TO STORMWATER ENTERPRISE DRAWINGS BY THE CITY OF COLORADO SPRINGS FOR SEEDING AND MULCHING.
6. SENSITIVE AREAS AND AREAS WHERE EXISTING VEGETATION IS BEING PRESERVED SHALL BE PROTECTED WITH CONSTRUCTION FENCING. SEDIMENT CONTROL BMPs SHALL BE INSTALLED WHERE ACTIVE CONSTRUCTION AREAS DRAIN INTO SENSITIVE OR PRESERVED VEGETATION AREAS.
7. SEDIMENT CONTROL BMPs SHALL BE PLACED ALONG THE PROJECT PERIMETER WHERE DRAINAGE LEAVES THE PROJECT. SEDIMENT CONTROL BMPs SHALL BE MAINTAINED YEAR ROUND UNTIL THE CONSTRUCTION IS COMPLETED OR THE DRAINAGE PATTERN HAS BEEN CHANGED AND NO LONGER LEAVES THE SITE.
8. EFFECTIVE EROSION CONTROL BMPs SHALL BE IN PLACE PRIOR TO ANY STORM EVENTS.
9. CONTRACTOR SHALL INSTALL AN EFFECTIVE COMBINATION OF EROSION AND SEDIMENTATION CONTROL BMPs.

TEMPORARY DUST CONTROL MEASURES:

1. THE CONTRACTOR SHALL MAINTAIN A SUFFICIENT NUMBER OF WATER TRUCKS AT THE SITE AND SPRAY THE GRADED OR GRUBBED SITE WITH WATER AS REQUIRED TO CONTROL DUST.
2. THE CONTRACTOR SHALL CONDUCT ALL OPERATIONS SO THAT EXCAVATION, EMBANKMENT, AND IMPORTED MATERIAL IS SPRINKLED WITH WATER DURING GRADING OPERATIONS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DUST CONTROL DURING CONSTRUCTION AND SHALL FOLLOW THE CONSTRUCTION METHODS ESTABLISHED BY EL PASO COUNTY AND URBAN DRAINAGE FLOOD CONTROL DISTRICT.

EXPOSED SOILS NOTE:

PRIOR TO A RAIN EVENT, OR IF ANY AREA WILL NOT BE ACTIVELY WORKED ON WITHIN 14 DAYS, ALL DISTURBED OR EXPOSED SOILS SHALL BE PROTECTED, AT A MINIMUM, WITH STRAW MULCH AND TACKIFIER APPLICATION. APPLY TACKIFIER ON STRAW MULCH TO HOLD MULCH IN PLACE. THIS IS A MINIMUM GUIDE ONLY. CONTRACTOR RESPONSIBLE FOR DETERMINING AND INSTALLING THE APPROPRIATE LEVEL OF EROSION AND SEDIMENT CONTROL.

INLET PROTECTION NOTE:

GENERAL CONTRACTOR SHALL PROVIDE INLET PROTECTION AT ALL EXISTING AND PROPOSED CATCH BASINS AS NECESSARY TO PREVENT SILT-LADEN WATER FROM ENTERING STORM DRAINAGE SYSTEM. COORDINATE PLACEMENT WITH PROPERTY OWNERS AND AS DIRECTED BY CITY INSPECTOR. SEE DETAIL SWPP-6

UNDERGROUND UTILITY NOTE:

THE PROPOSED DEVELOPMENT HAS MULTIPLE INSTALLATIONS OF EXISTING UTILITIES WITHIN THE BOUNDS OF THE PROJECT. THE CONTRACTOR SHALL VERIFY THE DEPTH OF ALL UTILITIES PRIOR TO ANY EARTHMOVING ACTIVITIES SHALL BEGIN. IF THE PROPOSED ELEVATION WOULD REDUCE THE COVER OVER AN EXISTING UTILITY, THE CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY AND DETERMINE IF CONTINUED EXCAVATION IS ALLOWED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT BY POT-HOLING THE UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UTILITY LOCATE @ 1-800-332-2344 AND THEN POT-HOLING ALL OF THE EXISTING UTILITIES.

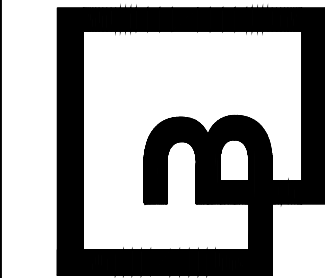
EXISTING SOIL TYPE:

BLAKELAND LOAMY SAND (1.2 AC) - 3.23%
BLAKELAND-FLUVAQUENTIC HAPLAQUOLLS (16.3 AC) - 43.93%
COLUMBINE GRAVELLY SANDY LOAM (19.6) - 52.83%

PERMANENT STABILIZATION LEGEND

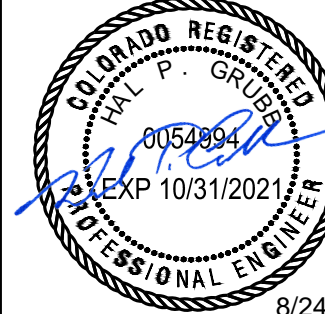
PROPOSED LANDSCAPING	
PROPOSED ASPHALT	
PROPOSED CONCRETE	

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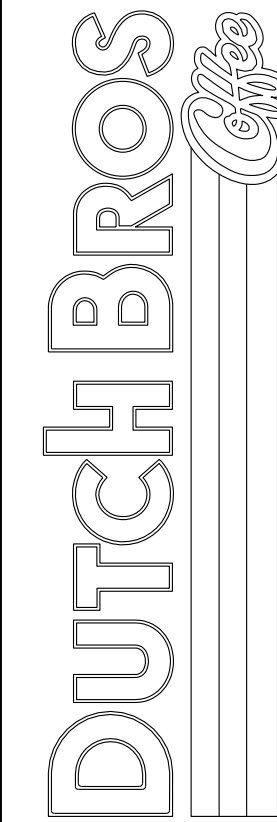


Scale:
Horizontal
1" = 20'
Vertical
N/A

Designed: CCK
Drawn: JAH
Checked: JAH
Approved: HPG
Date: 08/24/21

FINAL EROSION CONTROL PLAN
7520 FALCON MARKET PLACE
PEYTON, CO 80831

Title:

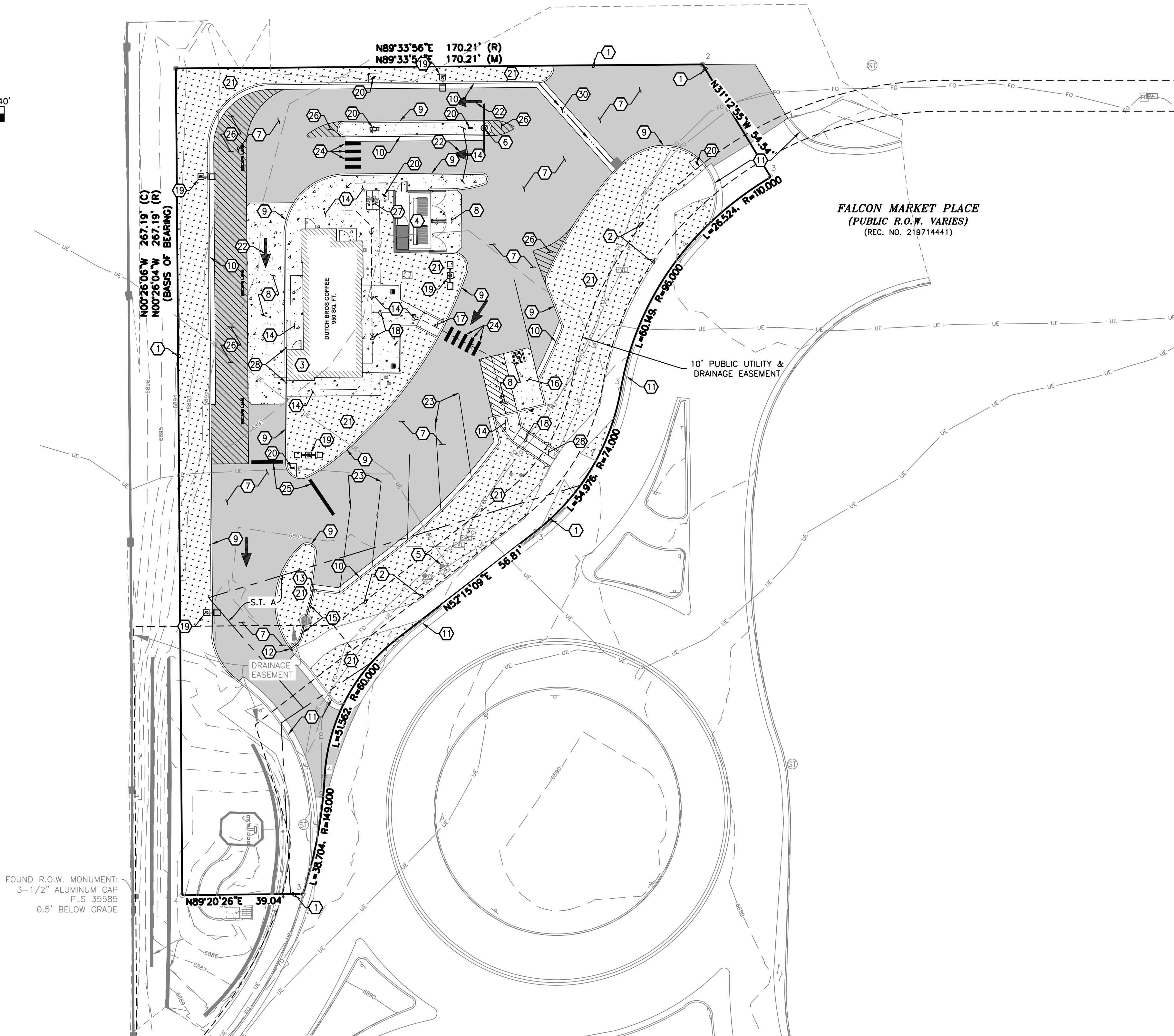
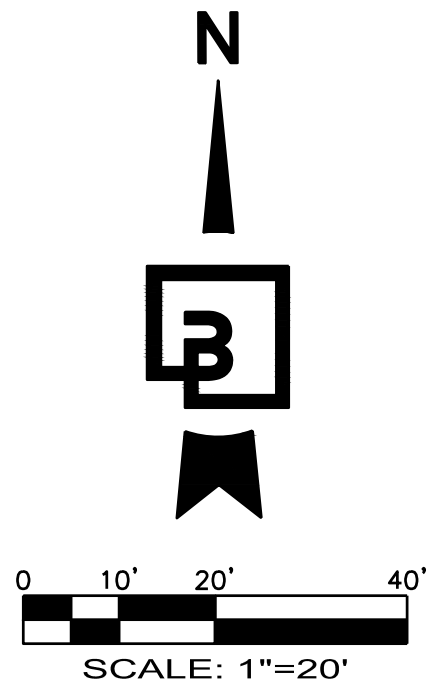


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DUTCH BROS. COFFEE - CO0707 - PEYTON, CO SITE PLAN



UNDERGROUND UTILITY NOTE:

THE PROPOSED DEVELOPMENT HAS MULTIPLE INSTALLATIONS OF EXISTING UTILITIES WITHIN THE BOUNDS OF THE PROJECT. THE CONTRACTOR SHALL VERIFY THE DEPTH OF ALL UTILITIES PRIOR TO ANY EARTHMOVING ACTIVITIES SHALL BEGIN. IF THE PROPOSED ELEVATION WOULD REDUCE THE COVER OVER AN EXISTING UTILITY, THE CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY AND DETERMINE IF CONTINUED EXCAVATION IS ALLOWED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT BY POT-HOLING THE UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UTILITY LOCATE @ 1-800-332-2344 AND THEN POT-HOLING ALL OF THE EXISTING UTILITIES.

KEYED NOTES:

- EXISTING PROPERTY LINE, TYPICAL.
- EXISTING PUBLIC UTILITY EASEMENT, TYPICAL.
- LOCATION OF BUILDING(S) AS NOTED; CONFIRM ALL DIMENSIONS AND REQUIREMENTS WITH ARCHITECTURAL DRAWINGS.
- CONSTRUCT SOLID WASTE ENCLOSURE; CONFIRM ALL DIMENSIONS AND REQUIREMENTS WITH ARCHITECTURAL AND STRUCTURAL DRAWINGS.
- LOCATION OF EXISTING TRANSFORMER. CONFIRM EXISTING PRECAST CONCRETE TRANSFORMER PAD MEETS THE APPLICABLE ELECTRICAL PURVEYORS SPECIFICATIONS. IF NOT, MODIFY EXISTING PAD AS REQUIRED.
- INSTALL VERTICAL CLEARANCE BAR; REFER TO SIGN PLANS FOR EXACT PLACEMENT AND ADDITIONAL INFORMATION.
- CONSTRUCT ASPHALT PAVING, SECTION PER DETAIL 1/C5.1, TYPICAL.
- CONSTRUCT CONCRETE PAVING, SECTION PER DETAIL 2/C5.1, TYPICAL.
- CONSTRUCT CONCRETE BARRIER CURB, PER DETAIL 5/C5.1, TYPICAL.
- CONSTRUCT CONCRETE CURB AND GUTTER WITH 18" GUTTER, PER DETAIL 6/C5.1, TYPICAL.
- EXISTING CURB AND GUTTER, INSTALLED AT PART OF GREATER DEVELOPMENT.
- CONSTRUCT CONCRETE IN-LINE CURB CUT PER DETAIL 5A/C5.0.
- CONSTRUCT CONCRETE CORNER CURB CUT PER DETAIL 5B/C5.0.
- CONSTRUCT CONCRETE SIDEWALK, WIDTH VARIES, SECTION PER DETAIL 4/C5.1, TYPICAL.
- CONSTRUCT CONCRETE SWALE PER DETAIL 3/C5.1, TYPICAL.
- CONSTRUCT STANDARD SINGLE SPACE VAN ACCESSIBLE PARKING SPACE, PER DETAIL 1/C5.0. WITH ALL APPLICABLE STRIPING AND SIGNAGE.
- CONSTRUCT ACCESSIBLE COMPLIANT CURB RAMP, PER CASE 'D' OF DETAIL 2/C5.0.
- PROPOSED ACCESSIBLE ROUTE THROUGH THE SITE, TYPICAL.
- INSTALL SITE LIGHT, REFER TO STRUCTURAL DRAWINGS FOR LIGHT POLE FOUNDATION REQUIREMENTS; REFER TO PHOTOMETRIC DRAWING FOR POLE AND FIXTURE SPECIFICATIONS.
- LOCATION OF SIGN, REFER TO ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION. CONSTRUCT CONCRETE PAD (PER PLAN) IF IN LANDSCAPED AREA.
- LANDSCAPING AREA; REFER TO LANDSCAPE PLANS FOR ADDITIONAL INFORMATION, TYPICAL.
- PAINT DIRECTIONAL ARROWS WHERE SHOWN PER DETAIL 7/C5.1, TYPICAL.
- PAINT 4" WIDE WHITE REFLECTIVE PAINT PARKING STALL STRIPES, TYPICAL; ALL STRIPING TO CONFORM WITH CITY OF REQUIREMENTS.
- PAINT CONTINENTAL STYLE PEDESTRIAN CROSSWALK STRIPING; 1 FOOT WIDE STRIPES AT 2 1/2' FEET ON CENTER.
- PAINT 1" WIDE STOP BAR STRIPING PER PLAN.
- PAINT STRIPING 2 FEET ON CENTER FOR STRIPED OUT AREA AS SHOWN, TYPICAL. ALL STRIPING TO CONFORM WITH CITY STANDARDS.
- BICYCLE PARKING SPACE, TYPICAL OF 2. INSTALL "MADRAX" U-TYPE BIKE RACK MODEL NUMBER "U-238" TO BE SURFACE MOUNTED, WITH 3" MINIMUM DEPTH ANCHORS. REFER TO DETAIL 6/C5.0 FOR ADDITIONAL INFORMATION. COORDINATE COLOR REQUIREMENTS WITH OWNER PRIOR TO ORDERING.
- INSTALL ACCESSIBLE RAMP AND 3-BAR SAFETY RAIL PER ARCHITECTURAL DRAWINGS.
- INSTALL GUARD POST. REFER TO ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION.
- CONSTRUCT 3'-WIDE CONCRETE SWALE SIMILAR TO DETAIL 3/C5.1.

ACCESSIBLE PATH OF TRAVEL NOTE:

WALKWAYS ALONG ACCESSIBLE ROUTES OF TRAVEL SHALL BE CONTINUOUSLY ACCESSIBLE, BE A MINIMUM OF 48" IN WIDTH, HAVE A MAXIMUM CONSTRUCTED CROSS SLOPE OF 2.0%, AND SHALL HAVE RAMP COMPLIING WITH ALL LOCAL AND STATE ACCESSIBILITY STANDARDS WHERE NECESSARY TO CHANGE ELEVATION AT A LONGITUDINAL SLOPE EXCEEDING 5% (1:20).

LEGEND

--- ACCESSIBLE PATH

SITE PLAN
7520 FALCON MARKET PLACE
PEYTON, CO 80831

Title:

DUTCH BROS.

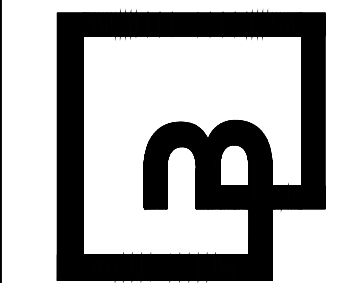
For:



Scale:
Horizontal
1" = 20'
Vertical
N/A

Designed: CCK
Drawn: JAH
Checked: JAH
Approved: HPG
Date: 08/24/21

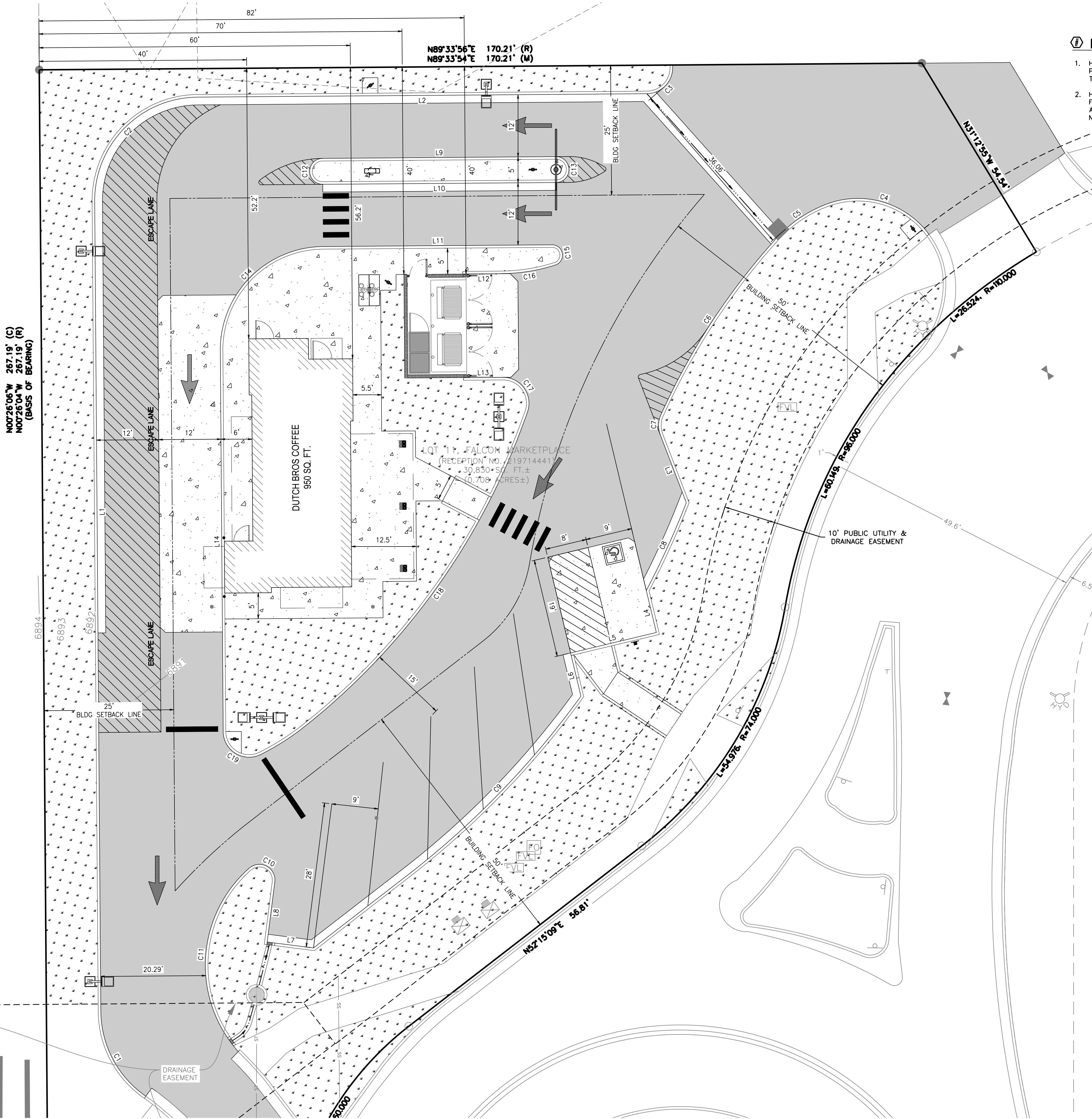
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DUTCH BROS. COFFEE - CO0707 - PEYTON, CO
HORIZONTAL CONTROL PLAN



HORIZONTAL CONTROL NOTE:

- HORIZONTAL CONTROL DIMENSIONS FOR THE BUILDING ARE SHOWN FROM THE NORTHWEST PROPERTY CORNER OF THE PARCEL TO THE FACE OF STUD AT THE BUILDING CORNER. THE PROPOSED BUILDING IS PERPENDICULAR TO THE NORTH PROPERTY LINE.
- HORIZONTAL CONTROL DIMENSIONS FOR THE TRASH ENCLOSURE BUILDING ARE SHOWN FROM THE NORTHWEST PROPERTY CORNER OF THE PARCEL TO THE FACE OF CMU BLOCK AT THE STRUCTURE CORNER. THE TRASH ENCLOSURE BUILDING IS PARALLEL TO THE NORTH PROPERTY LINE.

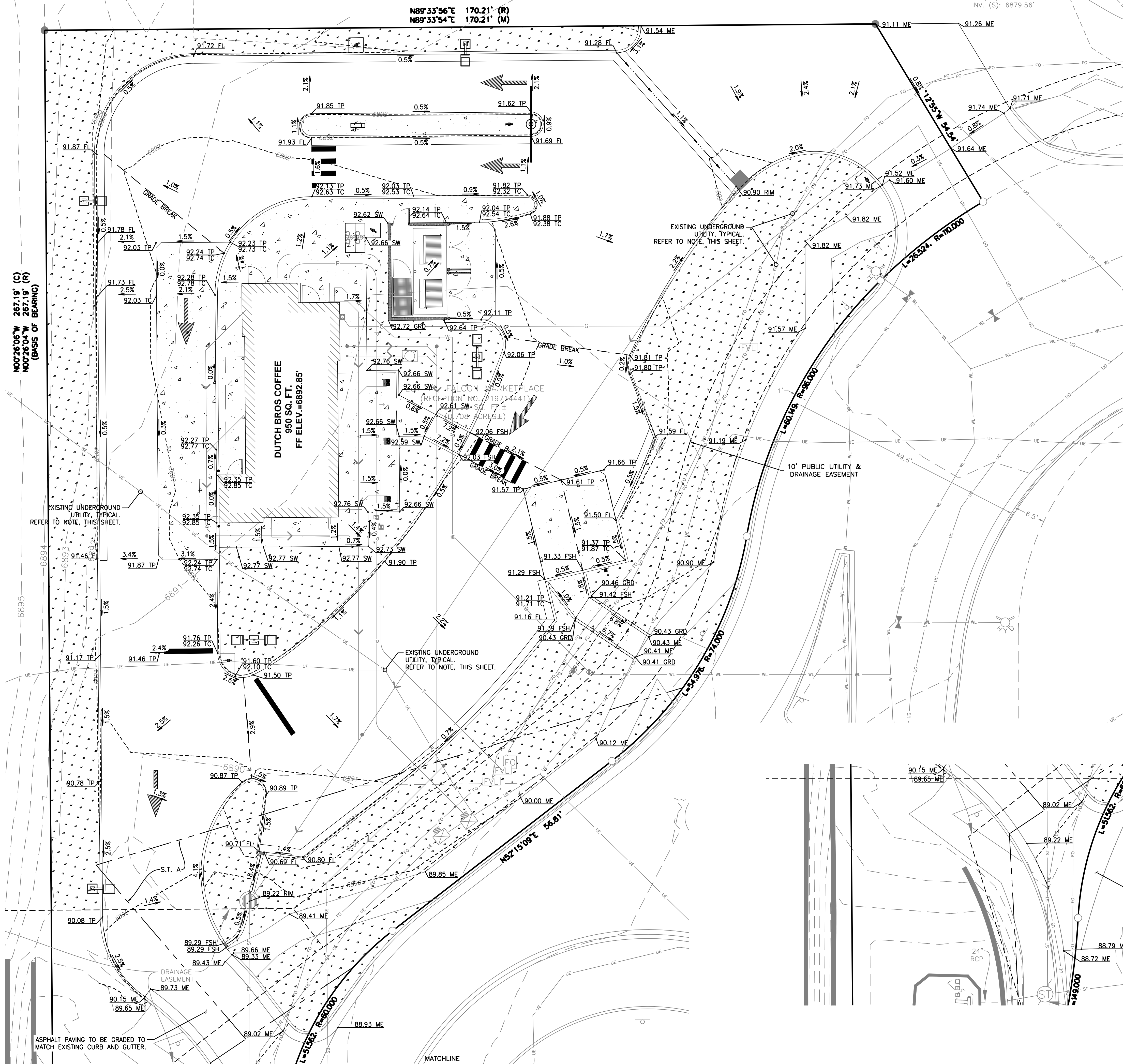
Line and Curve Table			
Line #/Curve #	Length	Bearing/Delta	Radius
C1	19.23	55.08	20.00
C2	31.42	90.00	20.00
C3	7.85	90.00	5.00
C4	22.08	74.22	17.05
C5	11.87	27.21	25.00
C6	40.86	18.01	130.00
C7	3.94	45.15	5.00
C8	18.62	6.36	167.80
C9	48.04	16.40	167.80
C10	7.27	138.77	3.00
C11	38.34	87.87	25.00
C12	7.85	180.00	2.50
C13	7.85	180.00	2.50
C14	31.42	90.00	20.00
C15	5.68	162.66	2.00
C16	10.59	17.34	35.00
C17	9.67	110.85	5.00
C18	74.53	32.11	133.00
C19	10.15	116.26	5.00
L1	156.23	S0° 26' 05.54"E	
L2	86.64	S89° 33' 54.46"W	
L3	14.03	S20° 58' 36.62"E	
L4	8.32	S13° 26' 26.26"E	
L5	17.00	S76° 33' 33.74"W	
L6	8.57	S13° 26' 26.26"E	
L7	9.00	N82° 44' 50.54"W	
L8	11.69	N7° 15' 09.46"E	
L9	45.00	S89° 33' 54.46"W	
L10	45.00	N89° 33' 54.46"E	
L11	44.14	S89° 33' 54.47"W	
L12	7.44	N89° 33' 54.47"E	
L13	7.60	S89° 33' 54.47"W	
L14	73.40	S0° 26' 05.54"E	

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DUTCH BROS. COFFEE - CO0707 - PEYTON, CO GRADING PLAN



GRADING GENERAL NOTES:

- ALL GRADING SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROVISIONS OF THE CURRENT CITY ORDINANCE AND STANDARD PLANS. THE GRADING IS SUBJECT TO THE OBSERVATION AND APPROVAL OF THE PUBLIC WORKS DEPARTMENT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL PROPOSED GRADES IN RELATIONSHIP TO SURVEYED BASIS OF ELEVATION.
- ALL EXISTING UTILITY STRUCTURES AND ASSOCIATED LIDS THAT FALL WITHIN THE AREA OF WORK SHALL BE ADJUSTED TO FINISHED GRADE ELEVATIONS. CONTRACTOR SHALL CONFIRM THE FEASIBILITY OF ADJUSTING EXISTING UTILITY STRUCTURE LIDS TO FINISHED GRADE PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
- CONTRACTOR TO PROTECT AND MAINTAIN EROSION CONTROL FACILITIES DURING GRADING OPERATIONS.
- CONTRACTOR TO OBTAIN ANY NECESSARY RIGHT-OF-WAY PERMITS IF REQUIRED FOR WORK SHOWN ON PLANS.
- CONTRACTOR SHALL MATCH EXISTING ELEVATIONS AT ALL SAWCUT LOCATIONS.
- ALL SPOT ELEVATIONS SHOWN ARE TO FINISH SURFACE (TOP OF ASPHALT OR TOP OF CONCRETE PAVEMENT, NOT TOP OF CURB/SIDEWALK) UNLESS OTHERWISE NOTED.
- ALL SPOT ELEVATIONS SHOWN HAVE BEEN 'TRUNCATED' TO IMPROVE VISUAL CLARITY. ALL ELEVATIONS SHOWN ARE PLUS 6800', EG. 6880.25 = 80.25.

STANDARD ELEVATION: 6880.25
TRUNCATED ELEVATION: 80.25

FF - FINISHED FLOOR
FL - FLOWLINE
FSH - FLUSH
GRD - GROUND
MA - MATCH OFFSITE TIE IN ELEVATION
ME - MATCH EXISTING
TC - TOP OF CURB/SIDEWALK
TP - TOP OF PAVING
RM - RIM/GRADE ELEVATION OF STRUCTURE

OVER-EXCAVATION NOTE:

PER THE GEOTECHNICAL INVESTIGATION, PERFORMED BY KUMAR AND ASSOCIATES ON AUGUST 5, 2021, A SIGNIFICANT AMOUNT OF OVER-EXCAVATION WILL BE REQUIRED FOR THE SITE.

IN SUMMARY, FOR ALL FOUNDATION SYSTEMS, AN OVER-EXCAVATION DEPTH OF FIVE (5) FEET IS RECOMMENDED. FOR SLAB-ON-GRADE (SOG) SYSTEMS, AN OVER-EXCAVATION DEPTH OF SEVEN (7) FEET IS RECOMMENDED. ALL HARDSCAPES WITHIN TEN (10) FEET OF PROPOSED STRUCTURES SHOULD BE OVER-EXCAVATED TO SEVEN (7) FEET OF DEPTH TO PREVENT EXCESSIVE MOVEMENT AND CRACKING.

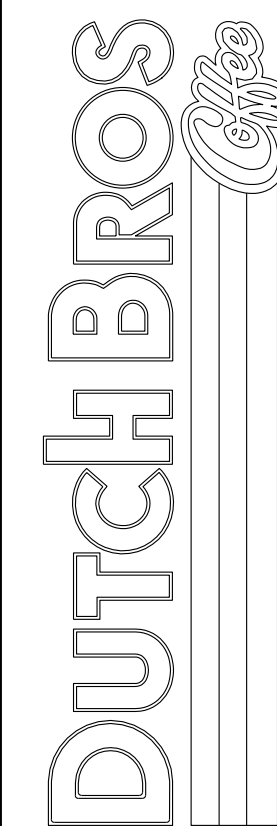
IN ADDITION, FOR ALL OTHER LOCATIONS OF HARDSCAPE INSTALLATION, THE TOP TWELVE (12) INCHES OF THE EXISTING SOIL IS TO BE IMPROVED USING EITHER IN-PLACE SCARIFICATION OR MOISTURE CONDITIONING.

UNDERGROUND UTILITY NOTE:

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GRADING PLAN
7520 FALCON MARKET PLACE
PEYTON, CO 80831

Title:



For:



Scale:

Horizontal
1" = 10'

Vertical
N/A

Designed: CCK

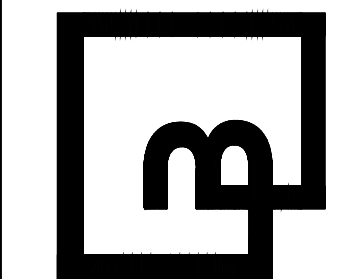
Drawn: JAH

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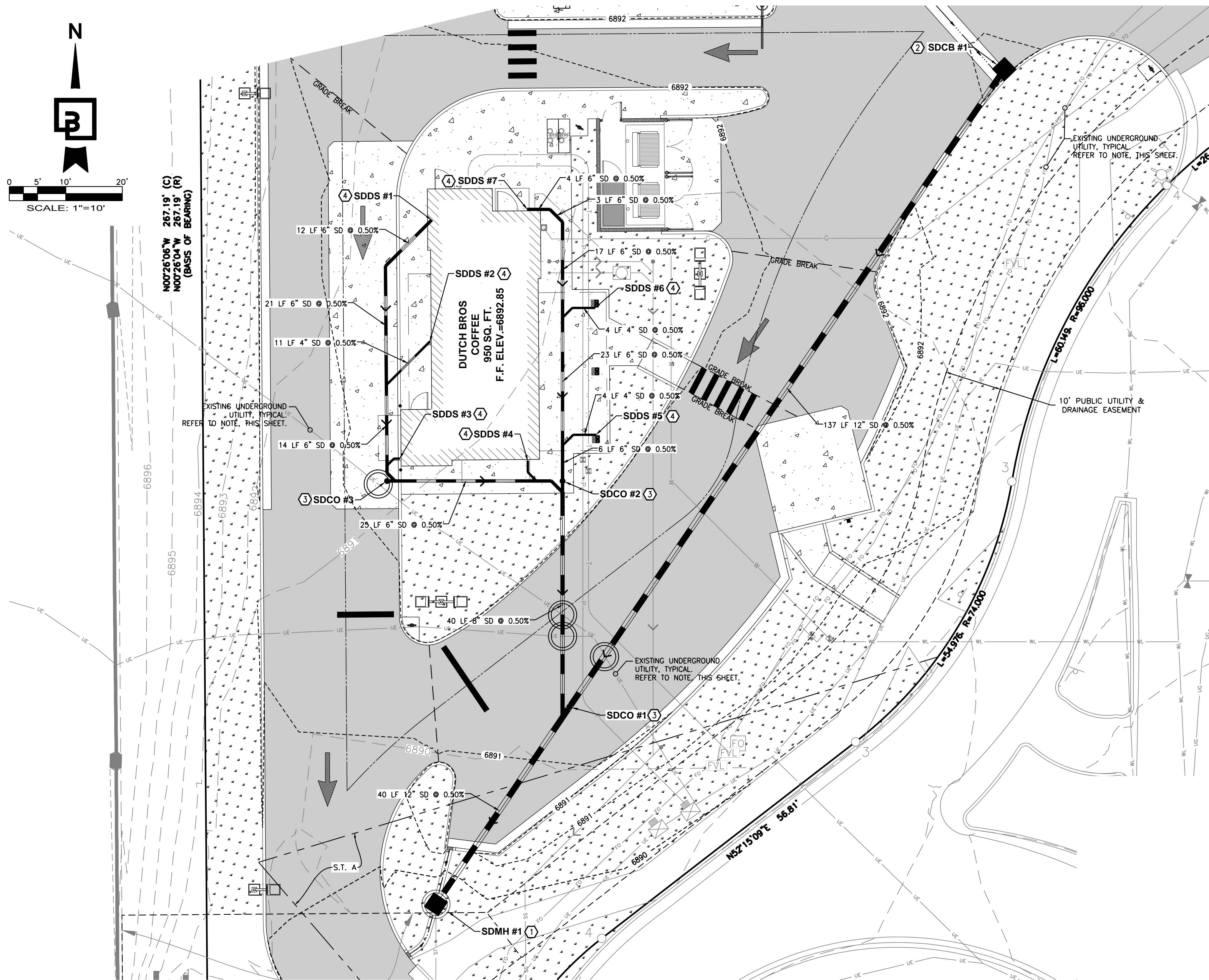
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DUTCH BROS. COFFEE - CO0707 - PEYTON, CO DRAINAGE PLAN



STORM DRAIN GENERAL NOTES:

1. ALL STRUCTURE ELEVATIONS SHOWN ARE TO CENTER OF STRUCTURE AT FINISH SURFACE (TOP OF ASPHALT OR TOP OF CONCRETE PAVEMENT, NOT TOP OF CURB/SIDEWALK) UNLESS OTHERWISE NOTED.
2. ALL STORM DRAINAGE STRUCTURES EXPOSED TO TRAFFIC SHALL BE TRAFFIC RATED INCLUDING STRUCTURE, LID, GRATE, ETC.
3. ALL STORM DRAIN PIPING DENOTED AS 'PVC' SHALL CONFORM TO ASTM D3034, SDR 35.
4. ALL STORM DRAIN PIPING DENOTED AS 'DIP' SHALL BE CLASS 52 MEETING ANSI/AWWA C151/A21.51.
5. ALL STORM PIPING INSTALL WITH LESS THAN 2 FEET OF COVER SHALL BE BACKFILLED WITH A CONTROLLED DENSITY FILL (SLURRY).
6. ALL STORM DRAINAGE STRUCTURES WITH LIDS EXPOSED TO PEDESTRIAN TRAFFIC SHALL BE HEEL PROOF AND SLIP RESISTANT IN ACCORDANCE WITH ACCESSIBILITY REQUIREMENTS.
7. PROVIDE ALL INCIDENTAL FITTINGS, BENDS, WYES, TEES, COUPLINGS, GASKETS, ETC. REQUIRED TO CONSTRUCT THE INFRASTRUCTURE DEPICTED.
8. ALL TRENCHING SHALL CONFORM TO THE REQUIREMENTS OF THE APPLICABLE SURVEYOR.
9. PROVIDE MARKING TAPE AND LOCATE WIRE WITH ALL TRENCH INSTALLATIONS.
10. CONTRACTOR TO OBTAIN ANY NECESSARY RIGHT-OF-WAY PERMITS IF REQUIRED FOR WORK SHOWN ON PLANS.
11. CONTRACTOR TO RAISE AND ADJUST ALL EXISTING AND PROPOSED CATCH BASIN RIMS TO FINAL GRADE AS NECESSARY. CATCH BASINS WITHIN ADA ACCESSIBLE PATHS SHALL BE ADJUSTED TO FINAL ELEVATIONS IN COMPLIANCE WITH CURRENT ADA REQUIREMENTS.

CONSTRUCTION NOTES:

1. PROPOSED POINT OF CONNECTION: CONNECT TO PROPOSED STORM SYSTEM BY OTHERS. CONSTRUCT PROPOSED MANHOLE PER EL PASO COUNTY STANDARD DETAIL SD_3-1/C6.0. MANHOLE TO BE INSTALLED TO ALLOW FOR CONNECTION TO EXISTING 24" RCP PIPE PROVIDED BY DEVELOPER. POTHOLE AND FIELD LOCATE CONNECTION LOCATION AND INVERT ELEVATION. MANHOLE RIM TO BE INSTALLED PER EL PASO COUNTY DETAIL SD_3-5/C6.0 USING THE SECTION A VARIANT.
2. INSTALL PRECAST CONCRETE 24"x24" CATCH BASIN WITH STANDARD GRATE PER DETAIL 10/C5.1. INVERT AND RIM ELEVATIONS AS NOTED IN THE STRUCTURE TABLE.
3. INSTALL STANDARD CLEANOUT PER DETAIL 8/C5.1.
4. CONSTRUCT BUILDING/AWNING DOWNSPOUT CONNECTION: INSTALL STANDARD CLEANOUT PER DETAIL 8/C5.1.
5. INSTALL SDR 35 PVC STORM DRAINAGE PIPE, SLOPE, SIZE AND INVERTS PER PLAN AND STRUCTURE TABLE.

STORMWATER STRUCTURE TABLE	
②	SDCB #1 RIM=6890.99 IE=6889.44 (12" SW)
③	SDCO #1 RIM=6891.22 IE=6888.76 (12" NE) IE=6888.76 (12" SW)
③	SDCO #2 RIM=6892.77 IE=6888.96 (6" S) IE=6888.96 (6" N)
③	SDCO #3 RIM=6892.25 IE=6889.11 (6" E)
④	SDDS #1 RIM=6892.85 IE=6889.35 (6" SW)
④	SDDS #2 RIM=6892.85 IE=6889.24 (4" SW)
④	SDDS #3 RIM=6892.60 IE=6889.13 (4" W)
④	SDDS #4 RIM=6892.85 IE=6888.99 (4" S)
④	SDDS #5 RIM=6892.70 IE=6889.02 (4" W)
④	SDDS #6 RIM=6892.70 IE=6889.13 (4" W)
④	SDDS #7 RIM=6892.85 IE=6889.22 (6" E)
①	SDMH #1 RIM=6889.81 IE=6888.55 (12" NE)

UTILITY CROSSING NOTE:

CONTRACTOR SHALL MAINTAIN MINIMUM VERTICAL SEPARATION BETWEEN UTILITIES AS REQUIRED BY JURISDICTION HAVING AUTHORITY. CONTRACTOR TO VERIFY SEPARATION REQUIREMENTS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.

UTILITY CONFLICT NOTE:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT BY POTHOLES. THE UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UTILITY LOCATE @ 1-800-332-2344 AND THEN POTHOLES ALL OF THE EXISTING UTILITIES AT LOCATIONS OF NEW UTILITY CROSSINGS TO PHYSICALLY VERIFY WHETHER OR NOT CONFLICTS EXIST. LOCATIONS OF SAID UTILITIES AS SHOWN ON THESE PLANS ARE BASED UPON THE UNVERIFIED PUBLIC INFORMATION AND ARE SUBJECT TO VARIATION. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL CONSULT BARGHAUSEN CONSULTING ENGINEERS, INC. TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.

STORMWATER NOTES:

ALL STORMWATER QUALITY REQUIREMENTS AND ALL STORMWATER DETENTION REQUIREMENTS ARE BEING MET AND PROVIDED OFF-SITE.

UTILITY OWNERSHIP NOTE:

ALL UTILITIES SHOWN HEREIN WITHIN THE 41' FOOT PUBLIC DRAINAGE AND UTILITY EASEMENT EG. 24" STORM WATER MAIN, 8" SANITARY SEWER MAIN, 8" WATER MAIN, ALL SERVICE LATERALS, AND ANY STRUCTURES OR APPURTENANCES, ARE OWNED AND OPERATED BY THE CITY OF FOUNTAIN, OR FOUNTAIN SANITATION DISTRICT.

UTILITY POTHOLES NOTE:

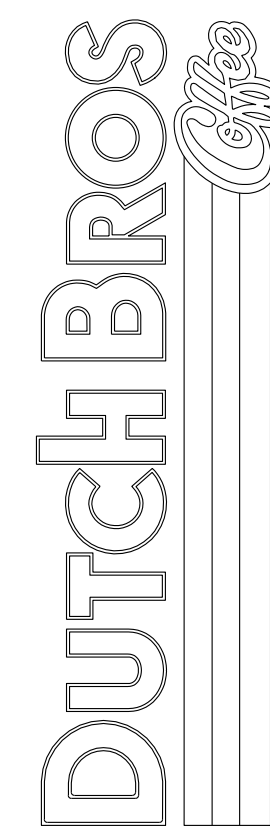
THE CIRCLED LOCATIONS ARE REQUIRED TO BE POTHOLED TO VERIFY VERTICAL AND HORIZONTAL LOCATION OF EXISTING UTILITY AND/OR POTENTIAL CONFLICTS WITH EXISTING UTILITIES. POTHOLES SHALL BE PERFORMED PRIOR TO INSTALLING ANY PROPOSED UTILITIES. CONTRACTOR SHALL NOTIFY BARGHAUSEN CONSULTING ENGINEERS, INC. OF ANY CONFLICTS.

UNDERGROUND UTILITY NOTE:

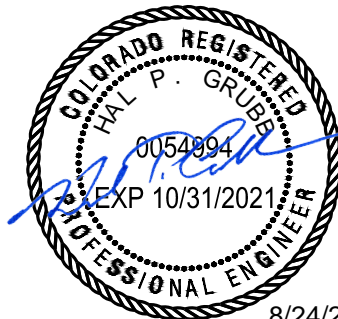
THE PROPOSED DEVELOPMENT HAS MULTIPLE INSTALLATIONS OF EXISTING UTILITIES WITHIN THE BOUNDS OF THE PROJECT. THE CONTRACTOR SHALL VERIFY THE DEPTH OF ALL UTILITIES PRIOR TO ANY EARTHMOVING ACTIVITIES SHALL BEGIN. IF THE PROPOSED ELEVATION WOULD REDUCE THE COVER OVER AN EXISTING UTILITY, THE CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY AND DETERMINE IF CONTINUED EXCAVATION IS ALLOWED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT BY POTHOLES. THE UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UTILITY LOCATE @ 1-800-332-2344 AND THEN POTHOLES ALL OF THE EXISTING UTILITIES.

DRAINAGE PLAN
7520 FALCON MARKET PLACE
PEYTON, CO 80831

Title:



For:



8/24/21

Scale:

Horizontal
1" = 10'

Vertical
N/A

Designed: CCK

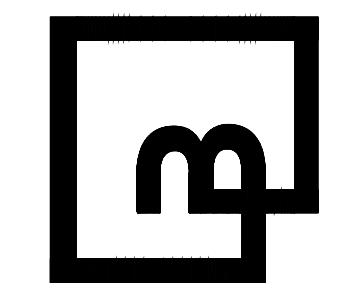
Drawn: JAH

Checked: JAH

Approved: HPG

Date: 08/24/21

Barghausen Consulting Engineers, Inc.
18215 72nd Avenue South
Kent, WA 98032
425.251.6222 barghausen.com



Job Number
21917

Sheet
C31

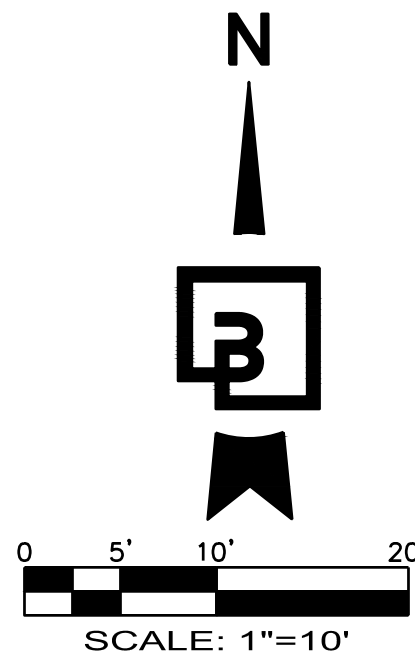
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DUTCH BROS. COFFEE - CO0707 - PEYTON, CO UTILITY PLAN



NW 40' W 40' 12" (V)
(BASIS OF BEARING)

EXISTING UNDERGROUND
UTILITY, TYPICAL
REFER TO NOTE, THIS SHEET.

6894
6893
6892

6891

6890

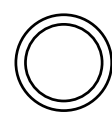
S.T. A

UTILITY CROSSING NOTE:

CONTRACTOR SHALL MAINTAIN MINIMUM VERTICAL SEPARATION BETWEEN UTILITIES AS REQUIRED BY JURISDICTION HAVING AUTHORITY. CONTRACTOR TO VERIFY SEPARATION REQUIREMENTS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.

UTILITY CONFLICT NOTE:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT BY POTHOLES. THE UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UTILITY LOCATE @ 1-800-332-2344 AND THEN POTHOLES ALL OF THE EXISTING UTILITIES AT LOCATIONS OF NEW UTILITY CROSSINGS TO PHYSICALLY VERIFY WHETHER OR NOT CONFLICTS EXIST. LOCATIONS OF SAID UTILITIES AS SHOWN ON THESE PLANS ARE BASED UPON THE UNVERIFIED PUBLIC INFORMATION AND ARE SUBJECT TO VARIATION. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL CONSULT BARGHAUSEN CONSULTING ENGINEERS, INC. TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.

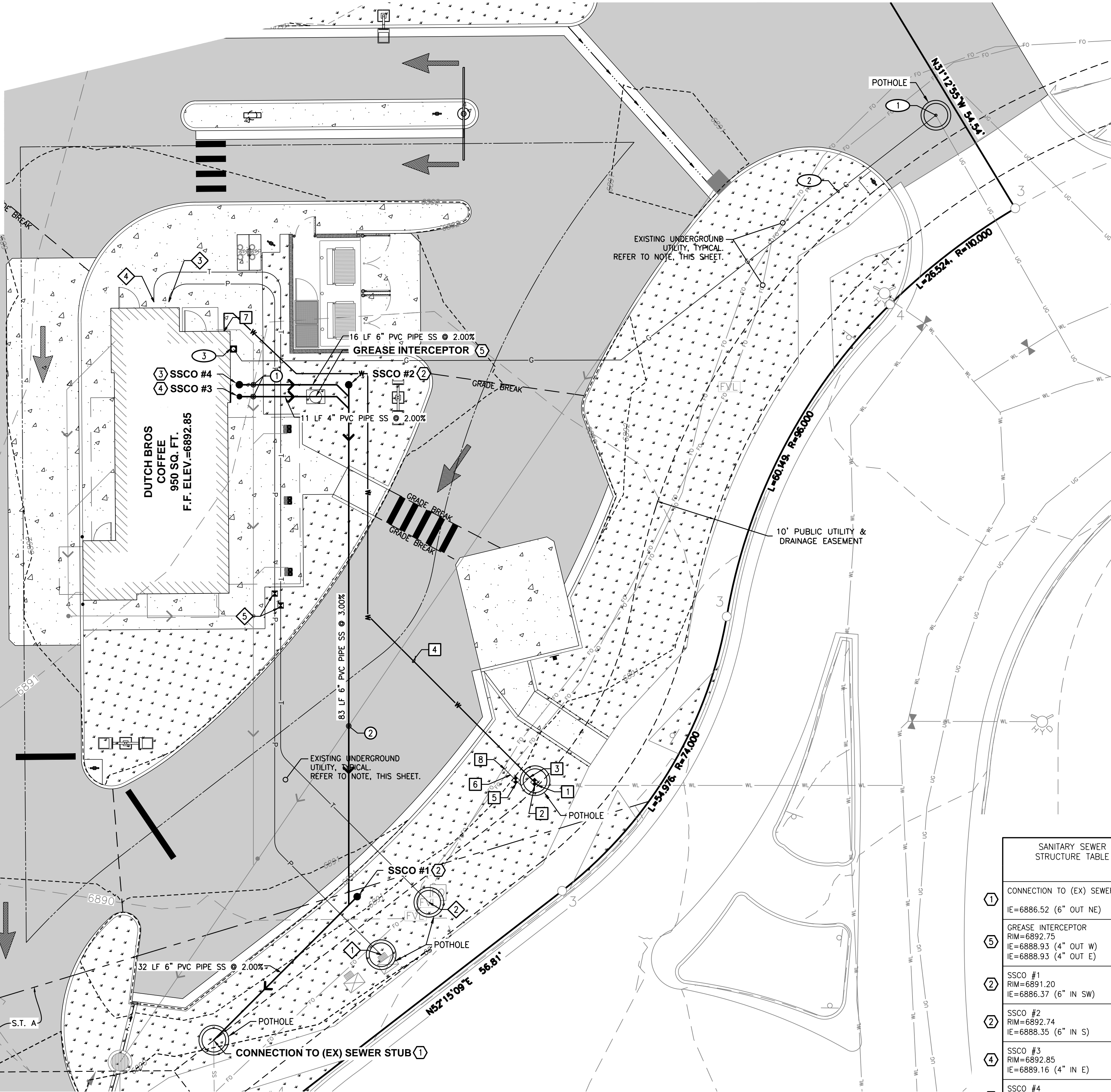


UTILITY PITHOLING NOTE:

THE CIRCLED LOCATIONS ARE REQUIRED TO BE POTHOLED TO VERIFY VERTICAL AND HORIZONTAL LOCATION OF EXISTING UTILITY AND/OR POTENTIAL CONFLICTS WITH EXISTING UTILITIES. POTHOLES SHALL BE PERFORMED PRIOR TO INSTALLING ANY PROPOSED UTILITIES. CONTRACTOR SHALL NOTIFY BARGHAUSEN CONSULTING ENGINEERS, INC. OF ANY CONFLICTS.

UNDERGROUND UTILITY NOTE:

THE PROPOSED DEVELOPMENT HAS MULTIPLE INSTALLATIONS OF EXISTING UTILITIES WITHIN THE BOUNDS OF THE PROJECT. THE CONTRACTOR SHALL VERIFY THE DEPTH OF ALL UTILITIES PRIOR TO ANY EARTHMOVING ACTIVITIES SHALL BEGIN. IF THE PROPOSED ELEVATION WOULD REDUCE THE COVER OVER AN EXISTING UTILITY, THE CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY AND DETERMINE IF CONTINUED EXCAVATION IS ALLOWED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT BY POTHOLES. THE UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UTILITY LOCATE @ 1-800-332-2344 AND THEN POTHOLES ALL OF THE EXISTING UTILITIES.



SANITARY SEWER STRUCTURE TABLE	
①	CONNECTION TO (EX) SEWER STUB IE=6886.52 (6\" OUT NE)
⑤	GREASE INTERCEPTOR RIM=6892.75 IE=6888.93 (4\" OUT W) IE=6888.93 (4\" OUT E)
②	SSCO #1 RIM=6891.20 IE=6886.37 (6\" IN SW)
②	SSCO #2 RIM=6892.74 IE=6888.35 (6\" IN S)
④	SSCO #3 RIM=6892.85 IE=6889.16 (4\" IN E)
③	SSCO #4 RIM=6892.85 IE=6889.25 (6\" IN E)

GENERAL UTILITY NOTES:

- ALL STRUCTURE ELEVATIONS SHOWN ARE TO CENTER OF STRUCTURE AT FINISH SURFACE (TOP OF ASPHALT OR TOP OF CONCRETE PAVEMENT, NOT TOP OF CURB/SIDEWALK) UNLESS OTHERWISE NOTED.
- ALL UTILITY STRUCTURES EXPOSED TO TRAFFIC SHALL BE TRAFFIC RATED INCLUDING STRUCTURE, LID, ETC.
- ALL UTILITY STRUCTURES WITH LIDS EXPOSED TO PEDESTRIAN TRAFFIC SHALL BE SLIP RESISTANT IN ACCORDANCE WITH ACCESSIBILITY REQUIREMENTS.
- PROVIDE ALL INCIDENTAL FITTINGS, BENDS, WYES, TEES, COUPLINGS, GASKETS, ETC. REQUIRED TO CONSTRUCT THE INFRASTRUCTURE DEPICTED.
- ALL TRENCHING SHALL CONFORM TO THE REQUIREMENTS OF THE APPLICABLE PURVEYOR.
- PROVIDE MARKING TAPE AND LOCATE WIRE WITH ALL TRENCH INSTALLATIONS.
- ALL SANITARY SEWER PIPING SHALL BE PVC UNLESS DENOTED OTHERWISE. ALL PVC SEWER PIPE SHALL BE SDR-35 CONFORMING TO ASTM D3034.
- ALL WATER PIPING DENOTED AS PVC SHALL CONFORM TO ASTM D1785, SCHEDULE 40.
- ALL SANITARY SEWER MUST MEET THE REQUIREMENTS OF THE WOODMEN HILLS METROPOLITAN DISTRICT.

① SANITARY CONSTRUCTION NOTES:

- POINT OF CONNECTION: CONSTRUCT CONNECTION TO PROPOSED SANITARY SEWER STUB. STUB PROVIDED BY OVERALL DEVELOPER. ELEVATION NOTED IS APPROXIMATE ONLY. CONTRACTOR TO ADJUST SLOPE FROM SSCO#1 TO CONNECTION POINT TO MATCH ELEVATIONS.
- INSTALL 6\" SANITARY SEWER STANDARD CLEANOUT PER DETAIL 8/C5.1. RIM AND INVERT ELEVATIONS AS NOTED IN THE SANITARY SEWER STRUCTURE TABLE.
- APPROXIMATE LOCATION OF CONNECTION TO BUILDING, INSTALL 6\" SANITARY SEWER CLEANOUT PER DETAIL 8/C5.1. REFER TO PLUMBING PLANS BY OTHERS FOR FINAL LOCATION. RIM AND INVERTS PER SANITARY SEWER STRUCTURE TABLE.
- APPROXIMATE LOCATION OF CONNECTION TO BUILDING, INSTALL 4\" SANITARY SEWER CLEANOUT PER DETAIL 8/C5.1. REFER TO PLUMBING PLANS BY OTHERS FOR FINAL LOCATION. RIM AND INVERTS PER SANITARY SEWER STRUCTURE TABLE.
- INSTALL GREASE INTERCEPTOR WITH SAMPLE BOX; INVERT AND RIM ELEVATIONS AS NOTED IN THE SANITARY SEWER STRUCTURE TABLE. REFER TO ARCHITECTURAL AND PLUMBING PLANS FOR SIZE, TYPE AND VENDOR. PROVIDE VENT LINE; REFER TO ALL PLUMBING PLANS FOR ADDITIONAL INFORMATION.
- INSTALL SANITARY SEWER PIPE SDR-35, LENGTH AD SIZE AS NOTED.

① WATER CONSTRUCTION NOTES:

- APPROXIMATE LOCATION OF 1-1/2\" WATER SERVICE LINE STUB BY OTHERS.
- INSTALL 1-1/2\" DOMESTIC WATER SERVICE METER, COORDINATE WITH WOODMEN HILLS METROPOLITAN DISTRICT FOR METER INSTALLATION REQUIREMENTS.
- INSTALL 1-1/2\" x 1/2\" TEE AND 1-1/2\" x 1\" REDUCER.
- INSTALL 1\" DOMESTIC WATER SERVICE LINE.
- INSTALL 3/4\" REDUCED PRESSURE BACKFLOW DEVICE. COORDINATE WITH WOODMEN HILLS METROPOLITAN DISTRICT FOR APPROVED DEVICES. INSTALL HOT BOX IS REQUIRED BY PURVEYOR.
- INSTALL 3/4\" IRRIGATION SERVICE LINE.
- APPROXIMATE LOCATION OF WATER SERVICE CONNECTION TO BUILDING. REFER TO PLUMBING PLANS BY OTHERS FOR FINAL LOCATION.
- APPROXIMATE LOCATION IRRIGATION SERVICE STUB.

① GAS CONSTRUCTION NOTES:

- APPROXIMATE LOCATION OF EXISTING GAS STUB. REFER TO OVERALL DEVELOPMENT UTILITY DRAWINGS FOR EXACT LOCATION.
- APPROXIMATE ROUTING FOR GAS SERVICE LINE. COORDINATE EXACT ROUTING, SIZE AND ALL TRENCHING/BORING REQUIREMENTS WITH PURVEYOR PRIOR TO CONSTRUCTION.
- APPROXIMATE LOCATION OF GAS CONNECTION TO BUILDING. FINAL LOCATION OF GAS METER TO BE COORDINATED WITH PLUMBING PLANS AND PURVEYOR PRIOR TO CONSTRUCTION.

① DRY UTILITIES CONSTRUCTION NOTES:

- APPROXIMATE LOCATION OF EXISTING TRANSFORMER. CONTRACTOR TO INSTALL UNDERGROUND POWER SERVICE LINE, COMMON TRENCHED AS APPLICABLE. CONTRACTOR SHALL INSTALL CONDUIT(S) WITH PULL TAPE FOR INSTALLATION; ALL DIRECTION CHANGES MUST INCORPORATE A RADIUS SWEEP PER PURVEYORS SPECIFICATIONS. CONTRACTOR TO COORDINATE SCOPE OF WORK AND CONDUIT SIZE AND QUANTITY WITH MEP PLANS AND PURVEYOR PRIOR TO CONSTRUCTION.
- APPROXIMATE LOCATION OF UNDERGROUND DATA/COMMUNICATIONS/TELEPHONE SERVICE VAULT. CONTRACTOR TO INSTALL CONDUIT AND PULL TAPE, COMMON TRENCHED AS APPLICABLE. ALL DIRECTION CHANGES MUST INCORPORATE A RADIUS SWEEP PER PURVEYORS SPECIFICATIONS. CONTRACTOR TO COORDINATE SCOPE OF WORK AND CONDUIT SIZE AND QUANTITY WITH MEP PLANS AND PURVEYOR PRIOR TO CONSTRUCTION.
- APPROXIMATE LOCATION OF POWER CONNECTION TO BUILDING.
- APPROXIMATE LOCATION OF DATA/COMM/TELEPHONE CONNECTION TO BUILDING.
- INSTALL STANDARD PULL BOX THAT MEETS APPLICABLE PURVEYORS STANDARDS. CONTRACTOR TO COORDINATE WITH OVERALL DEVELOPER FOR LOCATIONS OF STUBS

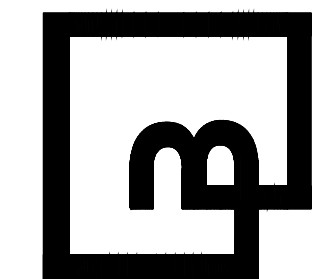
UTILITY CROSSING TABLE

①	BOTTOM UTILITY	TOP	TOP UTILITY	INVERT	CLEAR
1	STORM SEWER	±6886.32	SANITARY SEWER	±6889.08	±2.75'
2	STORM SEWER	±6886.24	SANITARY SEWER	±6887.73	±12\"

UTILITY CROSSING NOTE:

CONTRACTOR SHALL MAINTAIN MINIMUM VERTICAL SEPARATION BETWEEN UTILITIES AS REQUIRED BY JURISDICTIONS HAVING AUTHORITY. CONTRACTOR TO VERIFY SEPARATION REQUIREMENTS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.

Barghausen Consulting Engineers, Inc.
18215 72nd Avenue South
Kent, WA 98032
425.251.6222 barghausen.com



Job Number
21917

Sheet
C40
2019 DB
Franchising USA, LLC

Title:

DUTCH BROS.
Coffee

For:



Scale:
Horizontal
1\" = 10'
Vertical
N/A

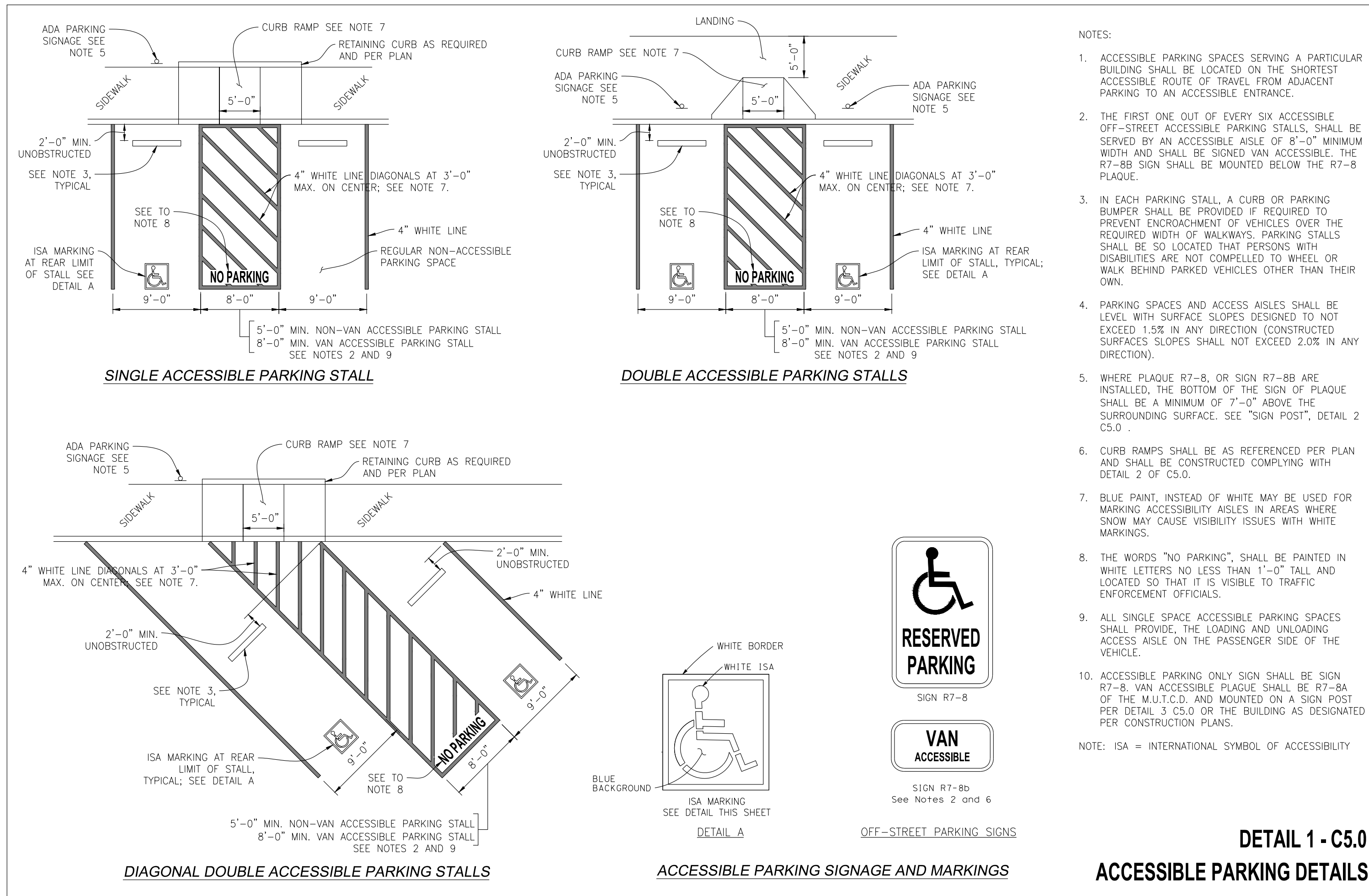
Designed: CCK
Drawn: JAH
Checked: JAH
Approved: HPG
Date: 08/24/21

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DUTCH BROS. COFFEE - CO0707 - PEYTON, CO CIVIL DETAILS



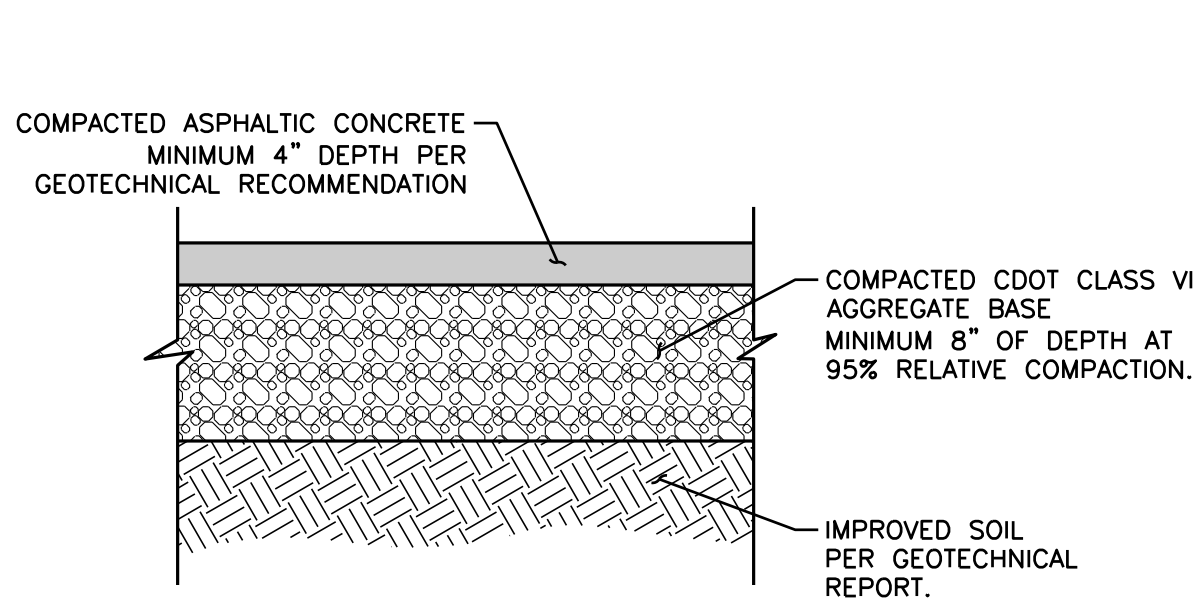
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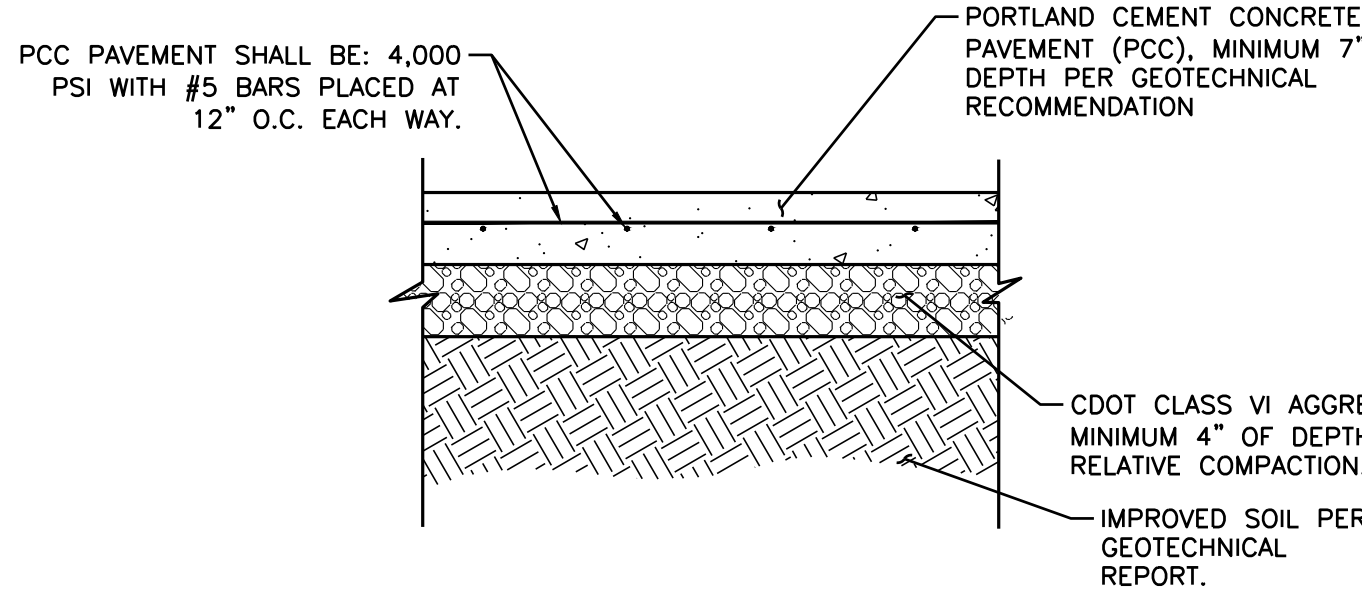
CIVIL DETAILS



NOTE:
ALL ASPHALTIC PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER

1 ASPHALT PAVING SECTION

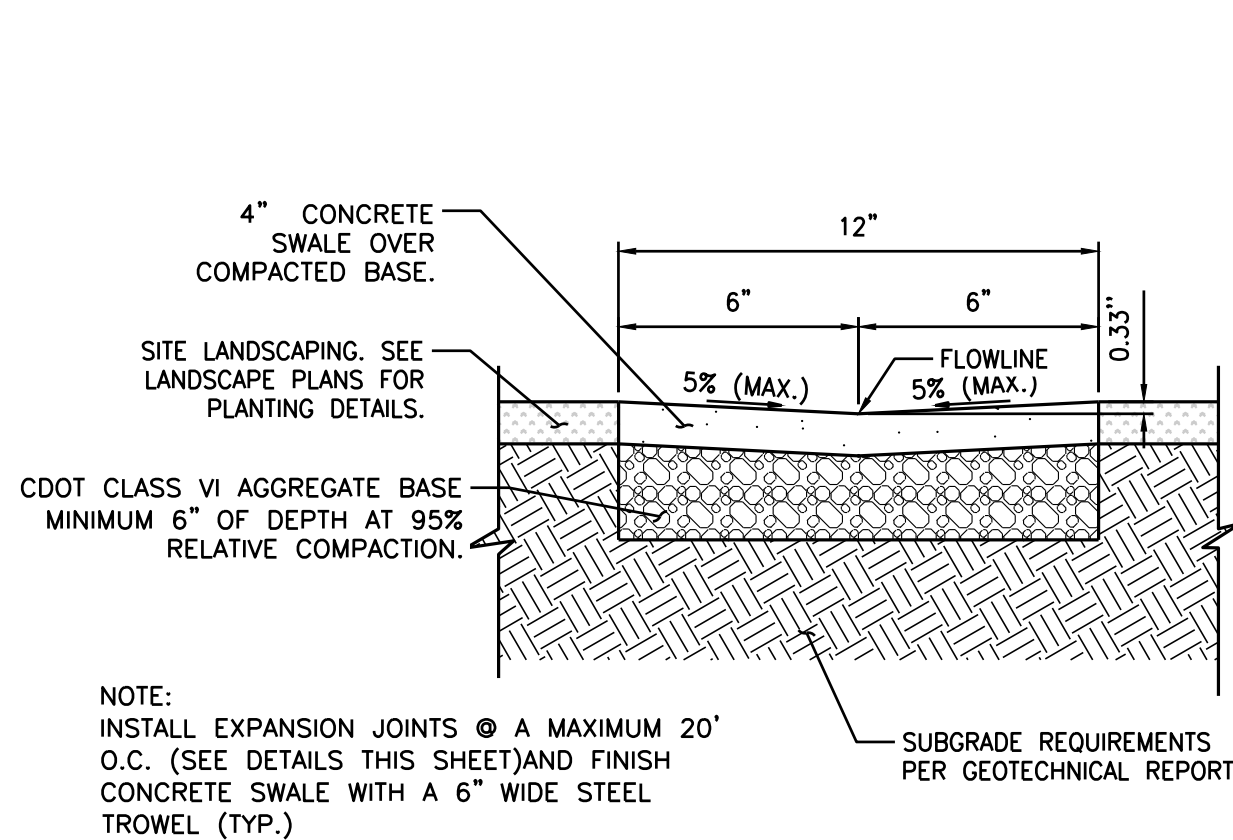
C5.1 NOT TO SCALE



NOTE:
ALL PORTLAND CEMENT CONCRETE PAVEMENT (PCC) SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.

2 PCC PAVING SECTION

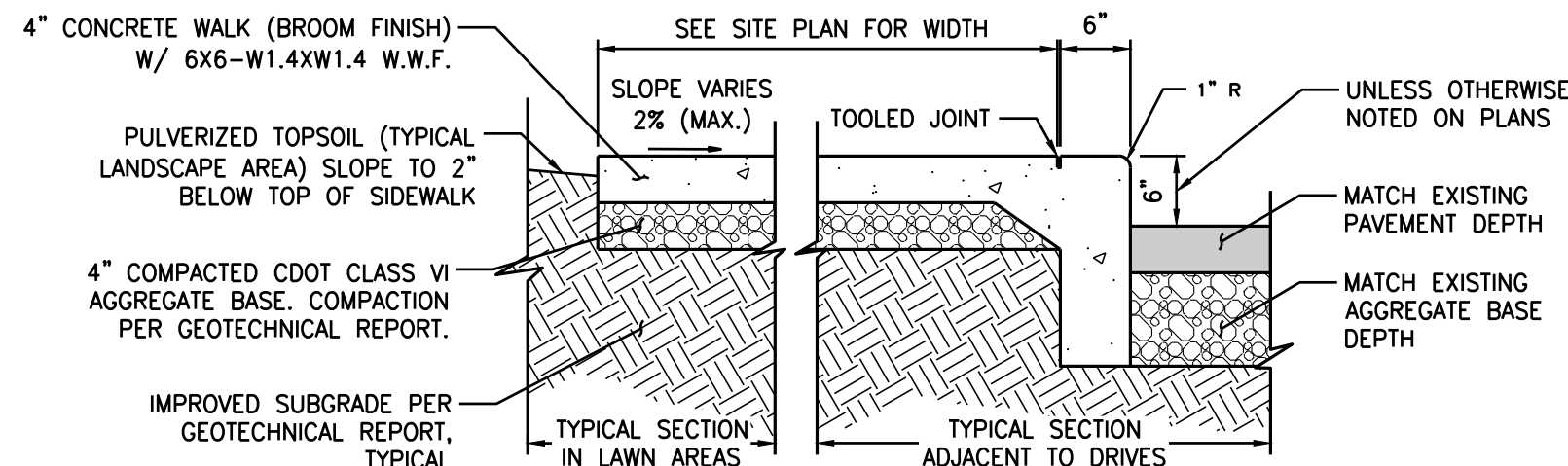
C5.1 NOT TO SCALE



NOTE:
INSTALL EXPANSION JOINTS @ A MAXIMUM 20' O.C. (SEE DETAILS THIS SHEET) AND FINISH CONCRETE SWALE WITH A 6" WIDE STEEL TROWEL (TYP.)

3 CONCRETE SWALE

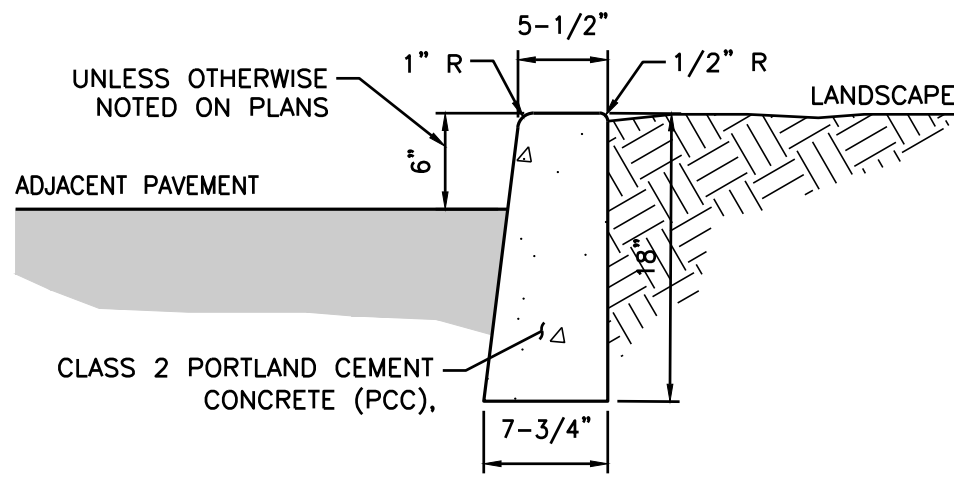
C5.1 NOT TO SCALE



NOTES:
A. SIDEWALKS VARY IN WIDTH. CONTROL JOINTS TO BE PLACED AT SPACING EQUAL TO SIDEWALK WIDTH. REFER TO DETAIL 9/C5.1.
B. PROVIDE EXPANSION JOINTS AT 28' TO 30' O.C. MAXIMUM. SEE DETAIL 9/C5.1.
C. WHEN WALK IS ADJACENT TO THE BUILDING PROVIDE 3/8" X 4" IMPREGATED FIBERBOARD.
D. ALL PORTLAND CEMENT CONCRETE PAVEMENT (PCC) SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORTS.

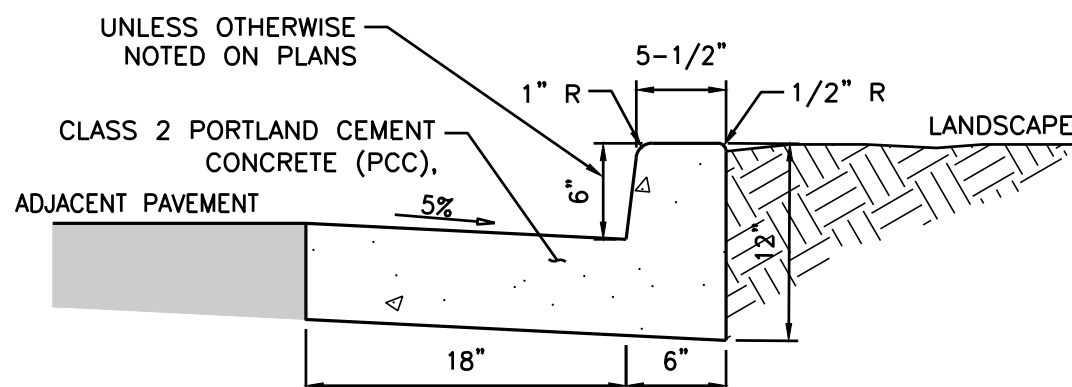
4 ON-SITE CONCRETE SIDEWALK

C5.1 NOT TO SCALE



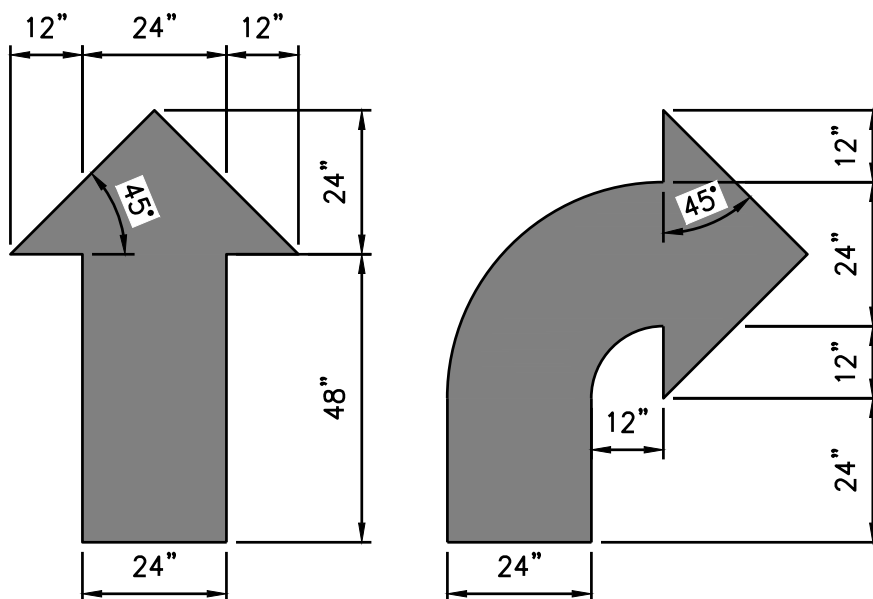
5 ON-SITE BARRIER CURB

C5.1 NOT TO SCALE



6 ON-SITE CURB AND GUTTER

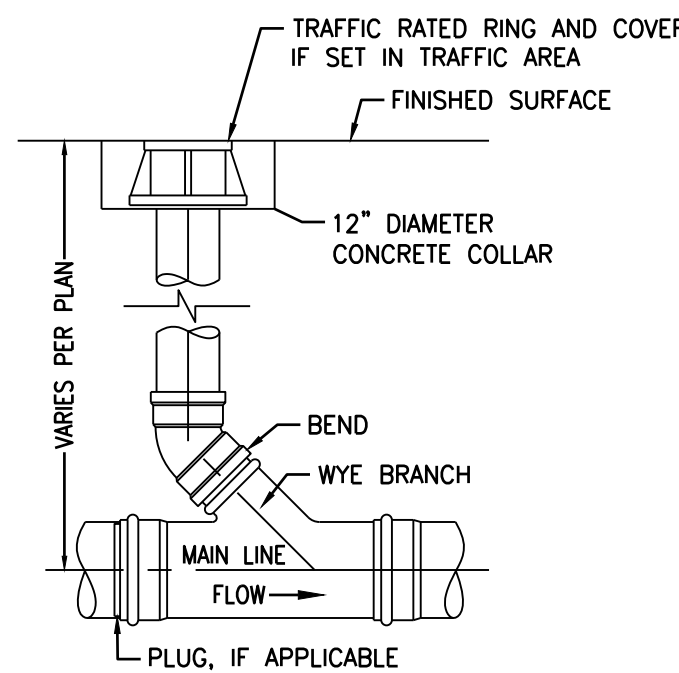
C5.1 NOT TO SCALE



DETAIL NOTES:
APPLY 2 COATS OF CHLORINATED RUBBER-TYPE TRAFFIC-LANE MARKING PAINT OVER CLEANED PAVING SURFACE ACCORDING TO LAYOUT SHOWN ON THE SITE PLAN. PAINT AS REQUIRED BY CITY CODE.

7 TRAFFIC MARKINGS

C5.1 NOT TO SCALE

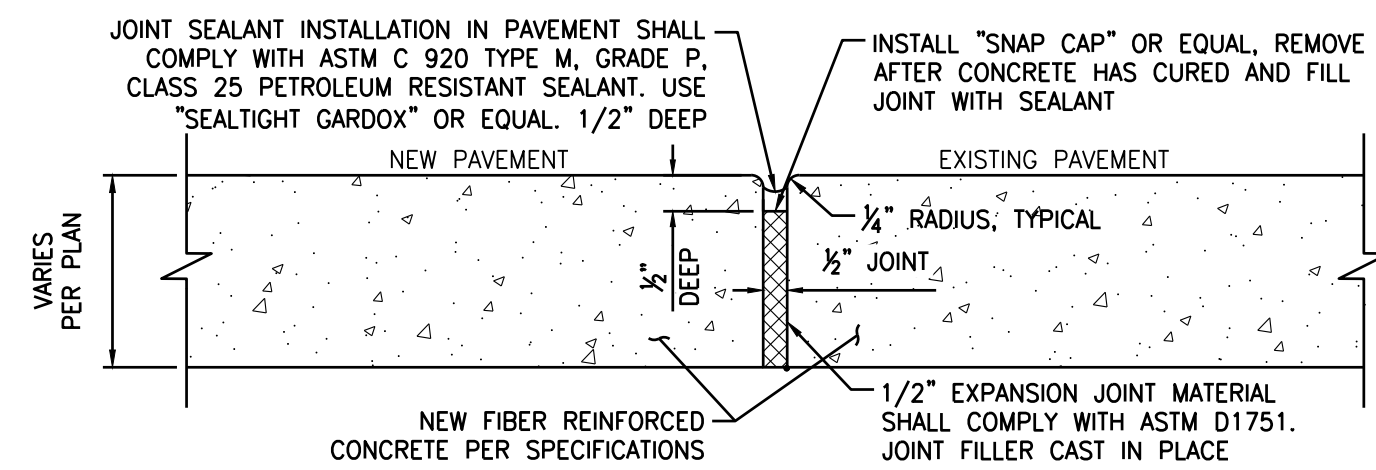


CONSTRUCTION NOTES:

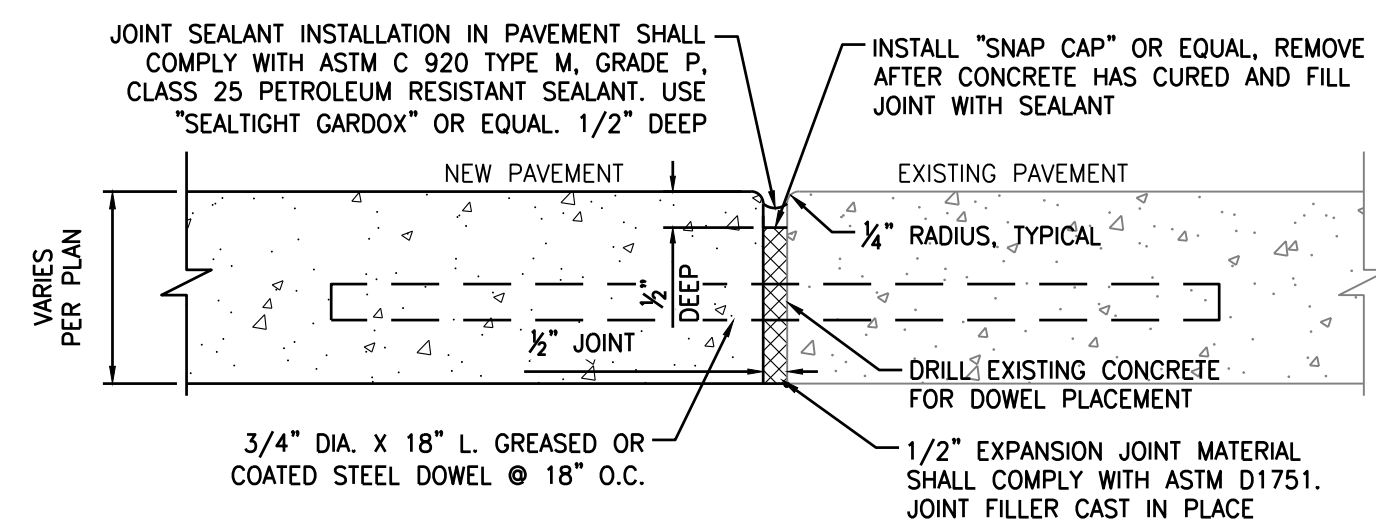
1. RING AND ACCESS COVER SHALL BE H20 TRAFFIC RATED AND DUCTILE OR CAST IRON CASTING.
2. RING AND COVER SHALL BE SET FLUSH WITH FINISHED SURFACE.
3. ALL PIPE/FITTING SHALL CONFORM TO SPECIFICATIONS ON UTILITY SHEET(S).

8 CLEANOUT

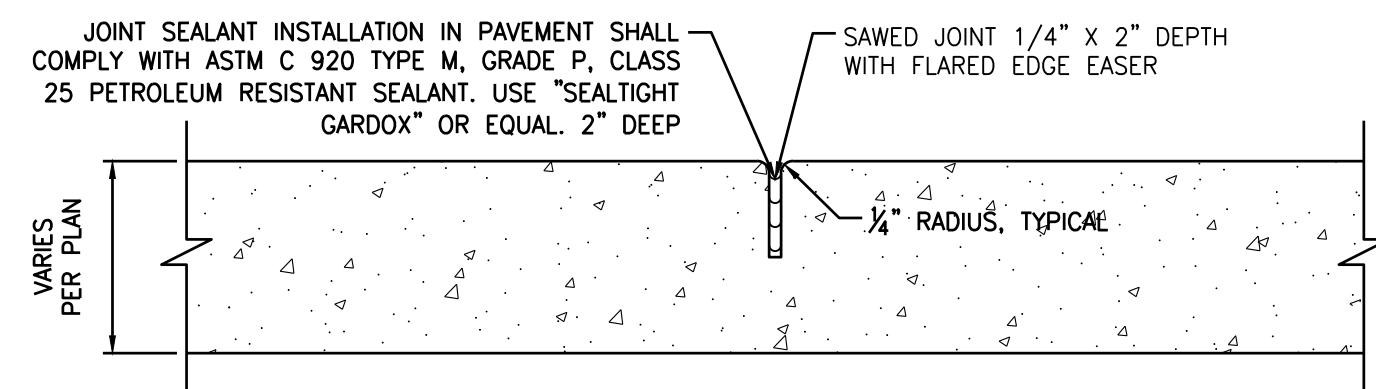
C5.1 NOT TO SCALE



CONSTRUCTION JOINT



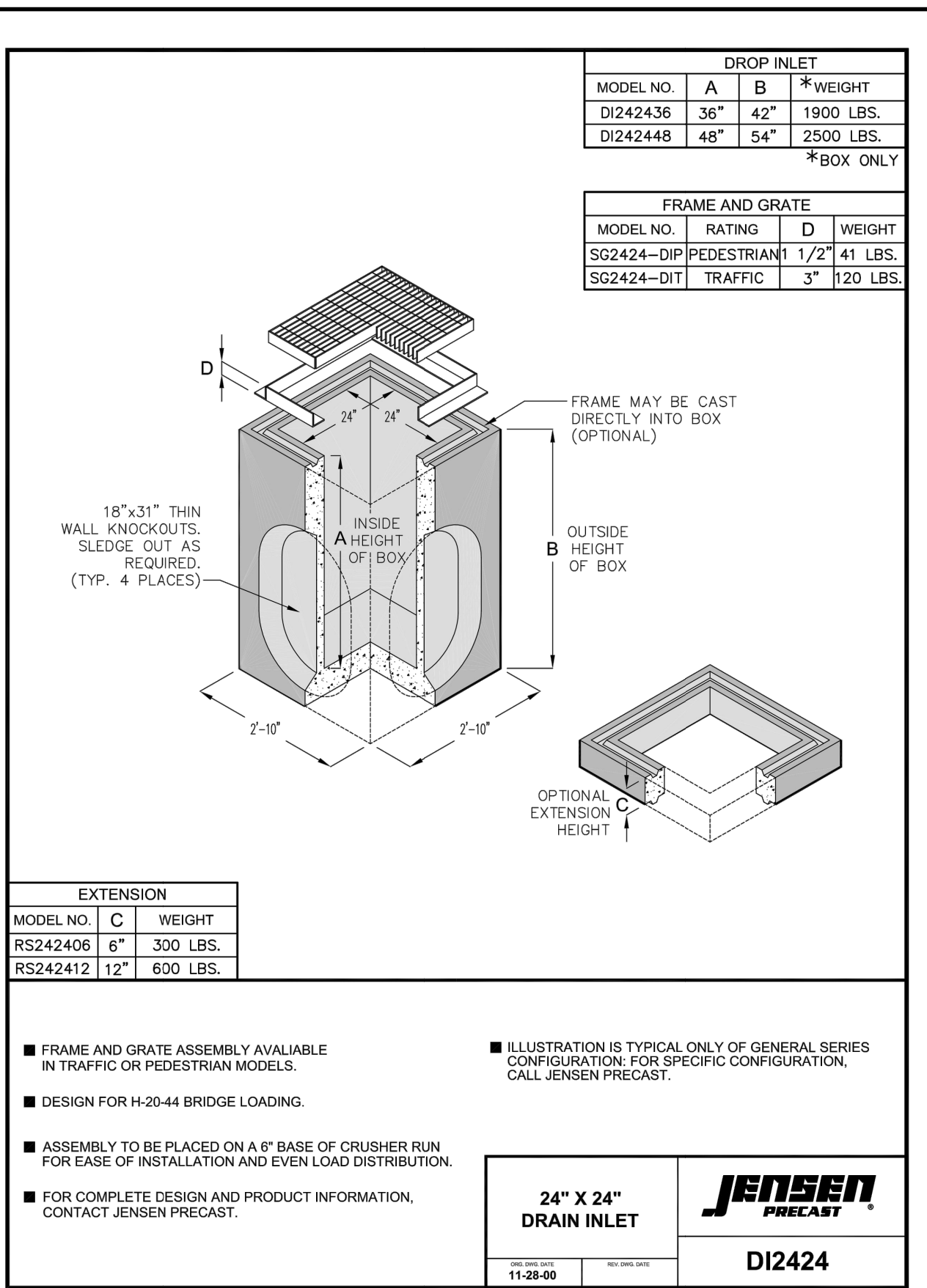
EXPANSION JOINT (TYPICAL)



CONTROL JOINT (SAWED)

9 CONCRETE JOINTING

C5.1 NOT TO SCALE

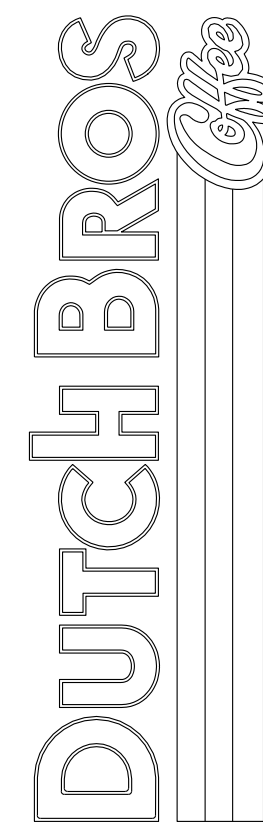


10 PRECAST CATCH BASIN

C5.1 NOT TO SCALE

CIVIL DETAILS
7520 FALCON MARKET PLACE
PEYTON, CO 80831

Title:



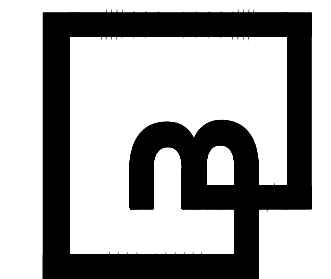
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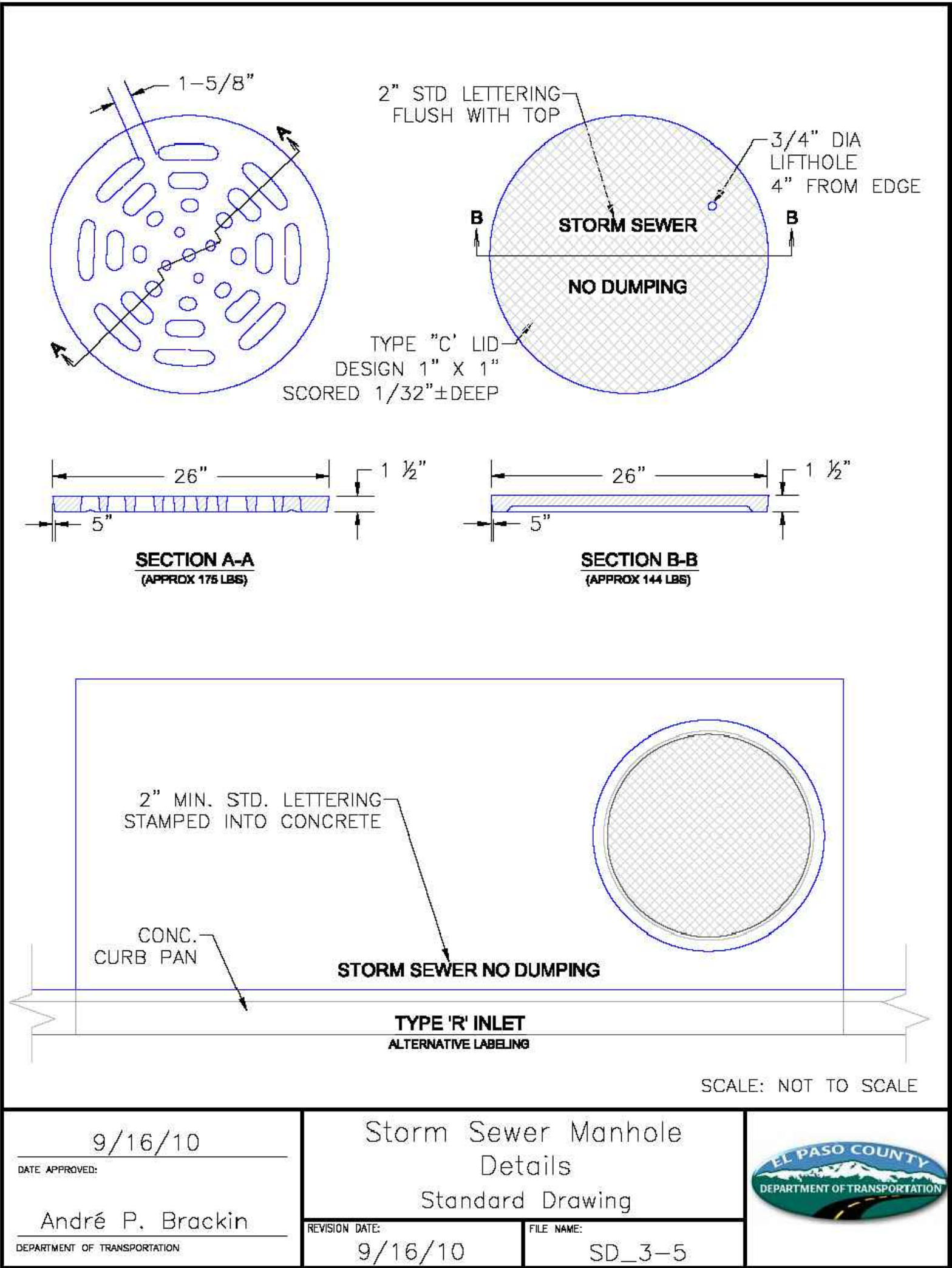
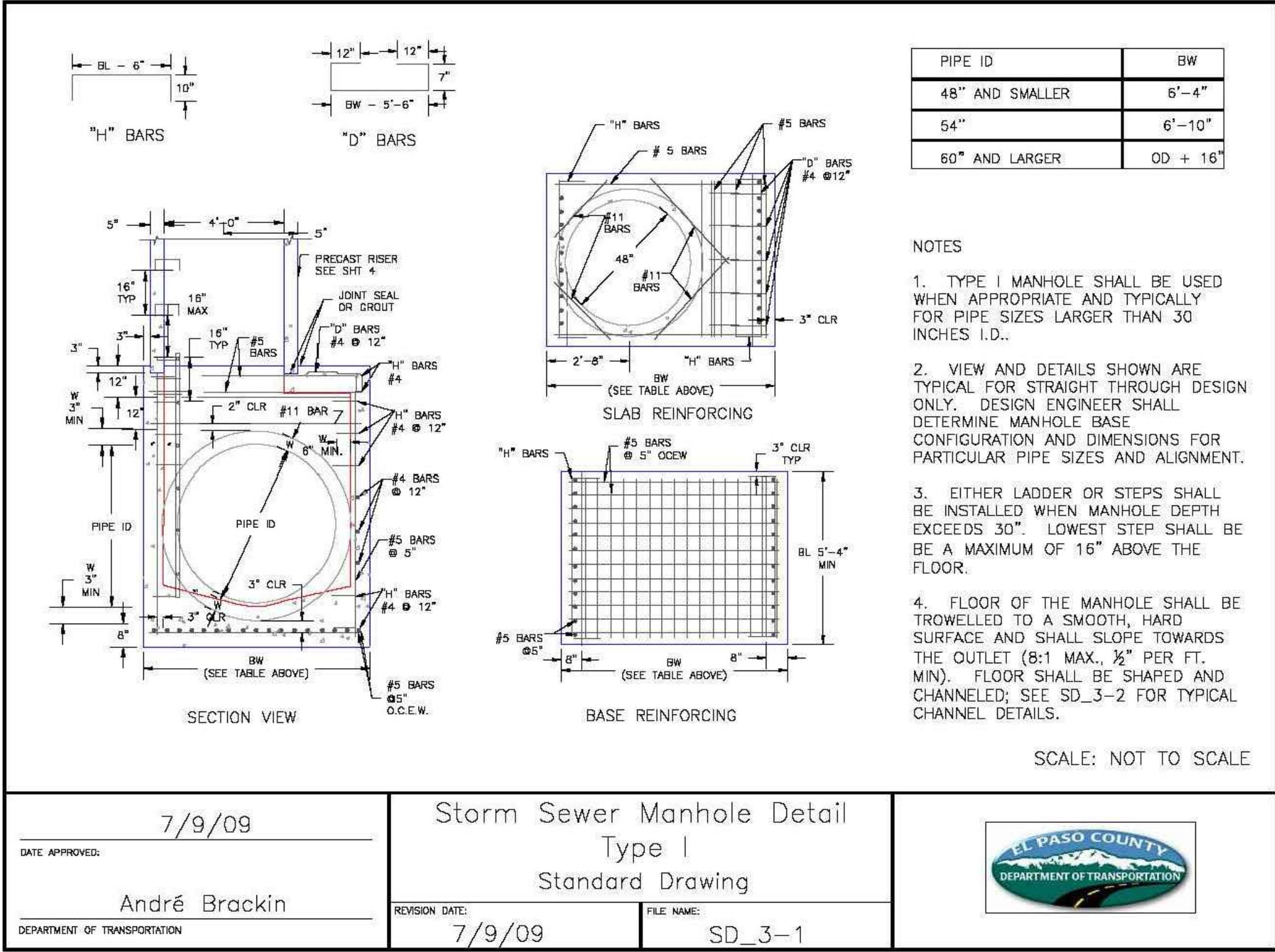
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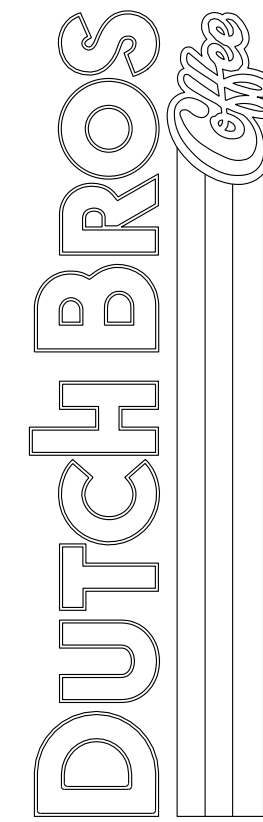
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