

**verizon**<sup>✓</sup>

CSP HIGBY (ALT A)

PROJECT NO. 20141043268  
PUBLIC RECORD PARCEL NO. 6100000298

1480 EAST HIGBY ROAD  
MONUMENT, COLORADO 80132  
EL PASO COUNTY

NEW 70'-0" MONOPINE  
(OVERALL HEIGHT: 75'-0" A.G.L.)  
RAWLAND COMMUNICATION SITE

BUILDING CODE SUMMARY:	
ALL CONSTRUCTION SHALL CONFORM TO THE FOLLOWING APPLICABLE CODES:	
USED	Code Year / Type: (ORDINANCE)
X	2017 PIKES PEAK REGIONAL BUILDING CODE (RBC)
X	2015 INTERNATIONAL BUILDING CODE (IBC)
X	2015 INTERNATIONAL PLUMBING CODE (W/O CHAP. 13) (IPC)
X	2015 INTERNATIONAL FUEL GAS CODE (IFGC)
X	2015 INTERNATIONAL RESIDENTIAL CODE (IRC)
X	2015 INTERNATIONAL MECHANICAL CODE (IMC)
X	2015 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
X	2015 INTERNATIONAL FIRE CODE (IFC)
X	2017 NATIONAL ELECTRICAL CODE (NEC)
REFER TO BUILDING PERMIT DOCUMENTS AND ALL CONSTRUCTION DOCUMENTS FOR ADDITIONAL CODE REQUIREMENTS.	

[illegible]

**PROJECT INDEX:**

**APPLICANT/CLIENT:**  
VERIZON  
CONSTRUCTION DEPARTMENT  
3131 VAUGHN WAY, SUITE 550  
AURORA, COLORADO 80014

**CONTACT: ALLEN MILLER**  
PHONE: 341-993-4916  
EMAIL: ALLEN.MILLER1@VERIZONWIRELESS.COM

**ENGINEERS/DESIGNERS:**  
J5 INFRASTRUCTURE PARTNERS  
8392 S CONTINENTAL DIVIDE RD, UNIT 101  
LITTLETON, CO 80127

**CONTACT: STEVE HAAG**  
PHONE: 303-683-3194 EXT. 151

**SURVEYOR:**  
GALLOWAY  
1755 TELSTAR DRIVE, SUITE 107  
COLORADO SPRINGS, CO 80920

**CONTACT: BRIAN DENNIS**  
PHONE: 719-903-7220

**SITE ACQUISITION:**  
J5 INFRASTRUCTURE PARTNERS  
8392 S CONTINENTAL DIVIDE RD, UNIT 101  
LITTLETON, CO 80127

**CONTACT: PERRY CARROLL**  
MOBILE: 303-435-2252  
EMAIL: pcarroll@j5ip.com

## GENERAL PROJECT NOTES:

1. PRIOR TO SUBMITTING A BID, THE CONTRACTOR SHALL FAMILIARIZE HIMSELF/HERSELF WITH THE SCOPE OF WORK AND ALL CONDITIONS AFFECTING THE PROPOSED PROJECT.
2. CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS AND DIMENSIONS OF THE JOB SITE AND CONFIRM THAT WORK AS INDICATED ON THESE CONSTRUCTION DOCUMENTS CAN BE ACCOMPLISHED AS SHOWN PRIOR TO COMMENCEMENT OF ANY WORK.
3. ALL FIELD MODIFICATIONS BEFORE, DURING, OR AFTER CONSTRUCTION SHALL BE APPROVED IN WRITINGS BY A VERIZON REPRESENTATIVE.
4. INSTALL ALL EQUIPMENT AND MATERIALS PER THE MANUFACTURER'S RECOMMENDATIONS, UNLESS OTHERWISE NOTED OTHERWISE.
5. NOTIFY VERIZON, IN WRITING, OF ANY MAJOR DISCREPANCIES REGARDING THE CONTRACT DOCUMENTS, EXISTING CONDITIONS, AND DESIGN INTENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATIONS FROM A VERIZON REPRESENTATIVE AND ADJUSTING THE BID ACCORDINGLY.
6. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES OF THE WORK UNDER THE CONTRACT.
7. CONTRACTOR SHALL PROTECT ALL EXISTING IMPROVEMENTS AND FINISHES THAT ARE TO REMAIN. CONTRACTOR SHALL REPAIR ANY DAMAGE THAT MAY OCCUR DURING THE CONSTRUCTION TO THE SATISFACTION OF A VERIZON REPRESENTATIVE.
8. THE CONTRACTOR IS RESPONSIBLE FOR RED-LINING THE CONSTRUCTION PLANS TO ILLUSTRATE THE AS-BUILT CONDITION OF THE SITE. FOLLOWING THE FINAL INSPECTION BY VERIZON, THE CONTRACTOR SHALL PROVIDE VERIZON WITH ONE COPY OF ALL RED-LINED DRAWINGS.
9. VERIFY ALL FINAL EQUIPMENT WITH A VERIZON REPRESENTATIVE. ALL EQUIPMENT LAYOUT, SPECS, PERFORMANCE INSTALLATION AND THEIR FINAL LOCATION ARE TO BE APPROVED BY VERIZON. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING HIS/HER WORK WITH THE WORK AND CLEARANCES REQUIRED BY OTHERS RELATED TO SAID INSTALLATIONS.

PROJECT INFORMATION:	
OWNER:	<p>ASPEN WILLOW ESTATES LLC            1480 EAST HIGBY ROAD            MONUMENT, COLORADO 80132-8357</p> <p>CONTACT: CHUCK WOODALL PHONE: (719) 265-6677</p>
JURISDICTION:	<p>EL PASO COUNTY            2880 INTERNATIONAL CIRCLE            COLORADO SPRINGS, COLORADO 80910</p> <p>PIKES PEAK REGIONAL BUILDING DEPARTMENT            CONTACT: MICHAEL REBENAR, PLANNER PHONE: (719) 520-6442</p>
PUBLIC RECORD PARCEL NO:	6100000298

<p><b>FCC COMPLIANCE:</b></p> <p>RADIATION FROM THIS FACILITY WILL NOT INTERFERE WITH OPERATION OF OTHER COMMUNICATION DEVICES.</p>
<p><b>ADA COMPLIANCE:</b></p> <p>THIS FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. LANDINGS AND EXITS SHALL COMPLY WITH ALL APPLICABLE BUILDING CODES.</p>
<p><b>ABBREVIATED LEGAL DESCRIPTION:</b></p> <p>SITUATE WITHIN A TRACT OF LAND IN THE SE ¼ OF S20, T11S, RANGE 66 WEST OF THE 6TH PM, EL PASO COUNTY, COLORADO.</p>

## PROJECT DESCRIPTION:

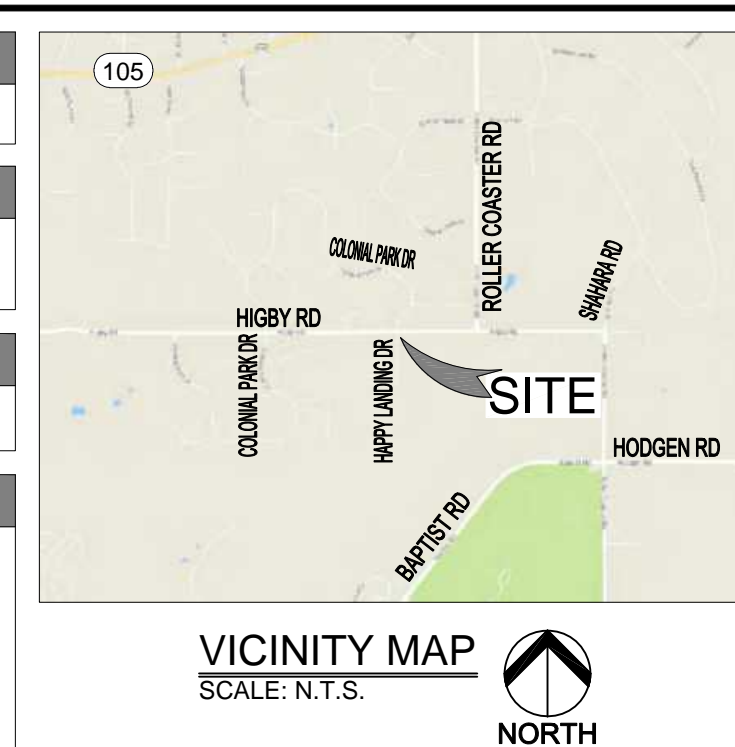
THIS PROJECT CONSISTS OF THE FOLLOWING:

### INSTALLATION

- \* ONE (1) 70'-0" MONOPINE (DESIGNED BY OTHERS)
- \* ONE (1) NEW COMSCOPE RBA72-36 CABINET MOUNTED ON GALVANIZED COMSCOPE PLATFORM
- \* ONE (1) NEW COMSCOPE RBA72-30 CABINET MOUNTED ON GALVANIZED COMSCOPE PLATFORM
- \* ONE (1) NEW MANUFACTURED GALVANIZED COMSCOPE PLATFORM FOR EQUIPMENT CABINETS
- \* ONE (1) NEW OUTDOOR GENERATOR WITH DIESEL BELLY TANK MOUNTED ON CONCRETE PAD
- \* ONE (1) NEW MAIN OVP UNIT
- \* SIX (6) NEW RRR UNITS
- \* ONE (1) NEW LOW INDUCTANCE HYBRID CABLE
- \* NEW BARBLESS FENCE ENCLOSURE WITH GATE
- \* SIX (6) NEW PANEL ANTENNAS
- \* TWO (2) NEW 4'-0" PVC CONDUIT PIPES FOR CABLING
- \* THREE (3) NEW 4'-0" CONCRETE BOLLARDS

### FUTURE INSTALLATION

- \* (1) FUTURE 4'-0" MICROWAVE ANTENNA
- \* TWO (2) FUTURE CARRIERS
- \* ONE (1) FUTURE COMSCOPE RBA72-30 CABINET MOUNTED ON GALVANIZED COMSCOPE PLATFORM
- \* ONE (1) FUTURE MAIN OVP UNIT
- \* SIX (6) FUTURE RRR UNITS
- \* ONE (1) FUTURE LOW INDUCTANCE HYBRID CABLE
- \* SIX (6) FUTURE PANEL ANTENNAS




## DRIVING DIRECTIONS:

FROM THE VERIZON OFFICE LOCATED AT 3131 SOUTH VAUGHN WAY, AURORA, CO: HEAD WEST ON S VAUGHN WAY. MERGE ONTO CO-83/N PARKER RD VIA THE RAMP ON THE LEFT. MERGE ONTO I-225 S. USE THE LEFT LANES TO TAKE EXIT 1A FOR INTERSTATE 25 S TOWARD COLO SPSGS. KEEP LEFT AND MERGE ONTO I-25 S FOR 5.2 MI. CONTINUE STRAIGHT TO STAY ON I-25 S FOR 34.3 MI. TAKE EXIT 161 FOR I-105 TOWARD THE ROCKY MOUNTAIN/PALMER LAKE. TURN RIGHT ONTO CO-105 TO TURN RIGHT ONTO JACKSON CREEK PKWY FOR 1.1MI., TURN LEFT ONTO HIGBY RD FOR 3.1 MI., TURN RIGHT ONTO HAPPY LANDING DRIVE. DESTINATION WILL BE ON THE LEFT.


THESE DRAWINGS AND SURVEYS ARE COPYRIGHTED AND PROTECTED AND THE SOLE PROPERTY OF J5 INFRASTRUCTURE PARTNERS, LLC AND PRODUCED FOR THE USE OF OUR CLIENT. ANY REPRODUCTION OR USE OF THE INFORMATION CONTAINED WITHIN SAID DOCUMENTS IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF J5 INFRASTRUCTURE PARTNERS.

DESIGNED FOR:



3131 SOUTH VAUGHN WAY, SUITE 550  
AURORA, COLORADO 80014

DESIGNED BY:



PROJECT NAME:

CSP HIGBY (ALT A)  
NEW 70'-0" MONOPINE  
(OVERALL HEIGHT: 75'-0" A.G.L.)  
RAWLAND COMMUNICATION SITE

PROJECT ADDRESS:

1480 EAST HIGBY ROAD  
MONUMENT, COLORADO 80132  
EL PASO COUNTY

SHEET TITLE:

TITLE SHEET

REV	DESCRIPTION	DATE	BY	CHK
0	APPROVED FOR LEASING & ZONING	08/28/20	MKR	-

SAVE DATE:

8/28/2020 3:11 PM

SHEET NUMBER:

T1



EXISTING

WALL HATCH

**NEW WORK/  
UTILITY EASEMENT**

ACCESS/UTILITY  
EASEMENT

HYBRID CABLES/COAX

DC POWER

FIBER

## ANTENNAS

RRH/BBU

LEASE AREA

EXISTING  
EASEMENT

## PENETRATIONS

## GENERAL PROJECT NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR ERECTING TEMPORARY BARRICADES AND/OR FENCING TO PROTECT THE SAFETY OF THE PUBLIC DURING CONSTRUCTION. THE CONTRACTOR SHALL REMOVE ALL TEMPORARY BARRIERS AND REPAIR ALL DAMAGE TO PROPERTY ON THE SITE CAUSED BY THIS CONSTRUCTION. THE COST OF REPAIR IS THE CONTRACTOR'S RESPONSIBILITY.
2. ALL WORK SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, STATE, AND FEDERAL REQUIREMENTS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL MEASUREMENTS AT THE SITE PRIOR TO ORDERING ANY MATERIALS OR CONDUCTING ANY WORK.
4. EXCESS SOIL MATERIAL AND DEBRIS CAUSED BY THIS CONSTRUCTION SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER.
5. CONTRACTOR SHALL MAKE ADJUSTMENTS TO GRADING ELEVATIONS AS NECESSARY TO ENSURE A SITE FREE OF DRAINAGE PROBLEMS.
6. CONTRACTOR SHALL COORDINATE A CONSTRUCTION LAYOUT AREA WITH THE PROPERTY OWNER. CONSTRUCTION LAYOUT AREA SHALL BE FENCED-IN WITH TEMPORARY (45 DAY) CONSTRUCTION FENCE. THE TEMPORARY FENCE SHALL BE CONSTRUCTED OF 6 HIGH CHAIN LINK FENCE AND 4" X 4" POSTS. THE FENCE IS TO REMAIN IN PLACE DURING CONSTRUCTION. LAYOUT AREA IS TO BE RESTORED TO ITS ORIGINAL CONDITION AFTER FENCE REMOVAL.
7. SURVEY INFORMATION SHOWN WAS CREATED FROM RECORD INFORMATION AND DOES NOT CONSTITUTE A LEGAL BOUNDARY SURVEY.
8. THESE PLANS DO NOT ADDRESS THE SAFETY AND STABILITY OF THE STRUCTURE DURING ASSEMBLY AND ERECTION, WHICH ARE THE RESPONSIBILITY OF THE ERECTOR, BASED ON THE MEASUREMENTS AND CONDITIONS SHOWN BY THE ERECTOR.
9. NEW EQUIPMENT COMPOUND SHALL BE COVERED W/ 4" CRUSHED ROCK INSTALLED OVER CLIENT-APPROVED WEED BARRIER MATERIAL (IF APPLICABLE). (OR PER BUILT-UP COMPOUND SECTION.)

**GENERAL CONTRACTOR NOTES:**

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE PROJECT SCOPE OF WORK DEFINED UNDER THE REQUEST FOR PROPOSAL (RFP) FOR THIS PROJECT AND ALL ASSOCIATED ATTACHMENTS AND DOCUMENTS PROVIDED.
- THE RFP AND ALL ASSOCIATED DOCUMENTS SHALL DEFINE THE COMPLETE PROJECT SCOPE OF WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL DOCUMENTS AND IS SOLELY RESPONSIBLE FOR ALL WORK.
- ALL DOCUMENTS INCLUDED WITHIN THE PROJECT REQUEST FOR PROPOSAL ARE REQUIRED FOR THE COMPLETE PROJECT SCOPE OF WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK (EQUIPMENT, MATERIAL, INSTALLATION, TESTING, ETC.) INDICATED IN ALL DOCUMENTS. THE RFP, VERIZON NETWORK STANDARDS AND PROJECT ADDENDUMS AND MODIFICATIONS SHALL BE THE ONLY BASIS TO EACH OTHER. THE FORMAT OF THE SPECIFICATIONS AND DRAWING NUMBER PER DISCIPLINE IS NOT INTENDED TO IMPLY SEGREGATION OF SUB CONTRACTOR WORK. CONTRACTOR SHALL ASSIGN ALL SUB CONTRACTOR WORK AND VERIZON WILL NOT ACCEPT ANY CHANGE ORDERS FOR INTERNAL CONTRACTOR WORK ASSIGNMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISTRIBUTING ALL RFP DOCUMENTS TO THEIR SUB CONTRACTORS. ALL RFP DOCUMENTS ARE REQUIRED TO INDICATE THE PROJECT SCOPE OF WORK. PARTIAL SUB CONTRACTOR DOCUMENT PACKAGES ARE HIGHLY DISCOURAGED.
- IN THE EVENT OF A CONFLICT BETWEEN THE DRAWINGS, SPECIFICATIONS, REFERENCED STANDARDS, VERIZON STANDARDS, OR AGREEMENT TERMS AND CONDITIONS THE ARCHITECT/ENGINEER SHALL BE CONTACTED FOR FORMAL INTERPRETATION OF THE REQUIREMENTS. THE CONTRACTOR SHALL HAVE THE FINAL INTERPRETATION. IF THERE IS A CONFLICT IN THE INTERPRETATION, ANY WORK INSTALLED IN CONFLICT WITH THE ARCHITECT/ENGINEER INTERPRETATIONS SHALL BE CORRECTED BY THE CONTRACTOR AT NO EXPENSE TO VERIZON.

## ANTENNA, MOUNTS & HARDWARE INSTALLATION NOTES:

- |    |   |
|----|---|
| 1. | CONTRACTOR TO INSTALL ANTENNAS, MOUNTS AND TOWER HARDWARE PER MANUFACTURER'S RECOMMENDATIONS (OR AS REQUIRED BY THE OWNER/PROVIDER).  |
| 2. | ALL BOLTS SHALL BE TIGHTENED PER AISC REQUIREMENTS (SEE STEEL NOTES).   |
| 3. | ANY GALVANIZED SURFACES THAT ARE DAMAGED BY ABRASIONS, CUTS, DRILLING OR FIELD WELDING DURING SHIPPING OR ERECTION SHALL BE TOUCHED-UP WITH TWO COATS OF COLD GALVANIZING COMPOUND MEETING THE REQUIREMENTS OF ASTM A780. |
| 4. | ANTENNA MOUNTS SHALL NOT BE USED AS A CLIMBING DEVICE. WORKERS SHALL ALWAYS TIE OFF TO AN APPROVED CLIMBING POINT.  |
| 5. | SEE ALSO GENERAL ANTENNA NOTES ON SHEET RF1 (IF APPLICABLE).  |

### STRUCTURAL DESIGN CRITERIA:

ALL LOADS DERIVED FROM REQUIREMENTS OF INTERNATIONAL BUILDING CODE 2015, ASCE 7-05, "MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES" & ANSI TIA-222-G "STRUCTURAL STANDARD FOR ANTENNA SUPPORTING STRUCTURES AND ANTENNAS".

### BUILDING STRUCTURES:

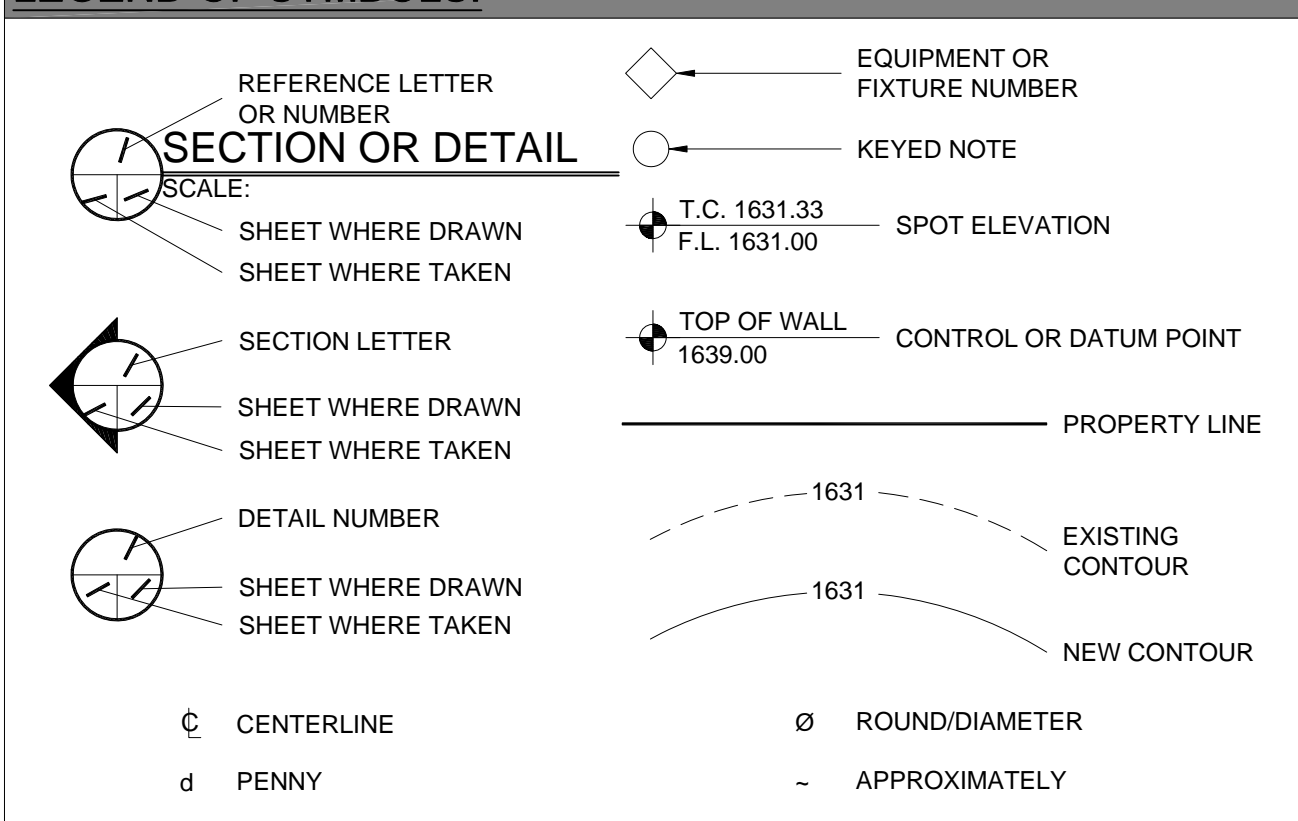
- |    |   |
|----|---|
| 1. | WIND LOADS: IBC 2015 §1609 & ASCE 7-10 §6.4 (SIMPLIFIED METHOD)<br>V = 130 MPH<br>OCCUPANCY CAT. = II; EXPOSURE CAT. = C; IMPORTANCE FACTOR = 1.0   |
| 2. | SEISMIC LOADS: IBC 2015 §1613 & ASCE 7-05 §12.14 (SIMPLIFIED METHOD)<br>OCCUPANCY CAT. = II; SITE CLASS = D<br>$R = F_s S_{DS} W$<br>R<br>F = 1.0 (SINGLE-STORY), 1.1 (TWO STORY), 1.2 (THREE STORY)<br><br>R = 1.5 (ORDINARY PLAIN CONCRETE SHEARWALLS),<br>6.5 (LIGHT-FRAMED WALLS W/ WOOD STRUCTURAL PANELS),<br>4.0 (ORDINARY REINFORCED CONCRETE SHEARWALLS) |

### COMMUNICATIONS STRUCTURES:

1. WIND LOADS: IBC 2015 §1609, ASCE 7-10 §6.5.15 & ANSI TIA-222-G  
 $V = 130 \text{ MPH}$  (3-SEC. GUST)  
 $V = 50 \text{ MPH}$  (0.1 RADIAL ICE)  
 STRUCTURE CLASS = I; EXPOSURE CAT. = C; IMPORTANCE FACTOR = 1.0
2. SEISMIC LOADS: IBC 2017 §1613, ASCE 7-10 §5.15.6 & ANSI TIA-222-G  
 "MAY BE IGNORED FOR STRUCTURE CLASS I AND/OR EARTHQUAKE SPECTRAL RESPONSE FOR SHORT PERIOD ( $S_s$ ) ≤ 1.0"  
 STRUCT. CLASS. = I; OCC. CAT. = I; SITE CLASS = D; IMPORTANCE FACTOR = 1.0  
 $V = \frac{S_{ds}(W_i)}{R}$  (EQUIVALENT LATERAL FORCE PROCEDURE (METHOD 1))  
 $V = \frac{S_{max}(W_2)}{R}$  (EQUIVALENT MODAL ANALYSIS PROCEDURE (METHOD 2))

PCD FILE NUMBER PPR-20-022

**LEGEND OF SYMBOLS:**



**APPROVED**  
FOR LEASING/ZONING



VIEW OF NEW LEASE AREA  
(LOOKING WEST)



VIEW OF NEW LEASE AREA  
(LOOKING NORTH)



VIEW OF NEW LEASE AREA  
(LOOKING NORTHEAST)

THESE DRAWINGS AND SURVEYS ARE COPYRIGHT PROTECTED AND THE SOLE PROPERTY OF J5 INFRASTRUCTURE PARTNERS, LLC AND PRODUCED FOR THE USE OF OUR CLIENT. ANY REPRODUCTION OR USE OF THE INFORMATION CONTAINED WITHIN SAID DOCUMENTS IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF J5 INFRASTRUCTURE PARTNERS.

DESIGNED FOR

**verizon**

3131 SOUTH VAUGHN WAY, SUITE 550  
AURORA, COLORADO 80014

DESIGNED BY:



PROJECT NAME

CSP HIGBY (ALT A)  
NEW 70'-0" MONOPINE  
(OVERALL HEIGHT: 75'-0" A.G.L.)  
RAWLAND COMMUNICATION SITE

PROJECT ADDR

1480 EAST HIGBY ROAD  
MONUMENT, COLORADO 80132  
EL PASO COUNTY

SHEET TITLE:

## SPECIFICATION & PHOTO SHEET

REV	DESCRIPTION	DATE	BY	CHK
0	APPROVED FOR LEASING & ZONING	08/28/20	MKR	-

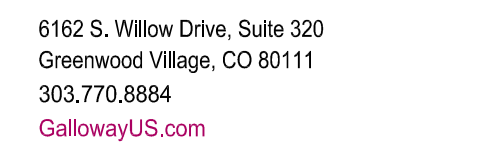
SAVE DATE:

8/28/2020 3:11 PM

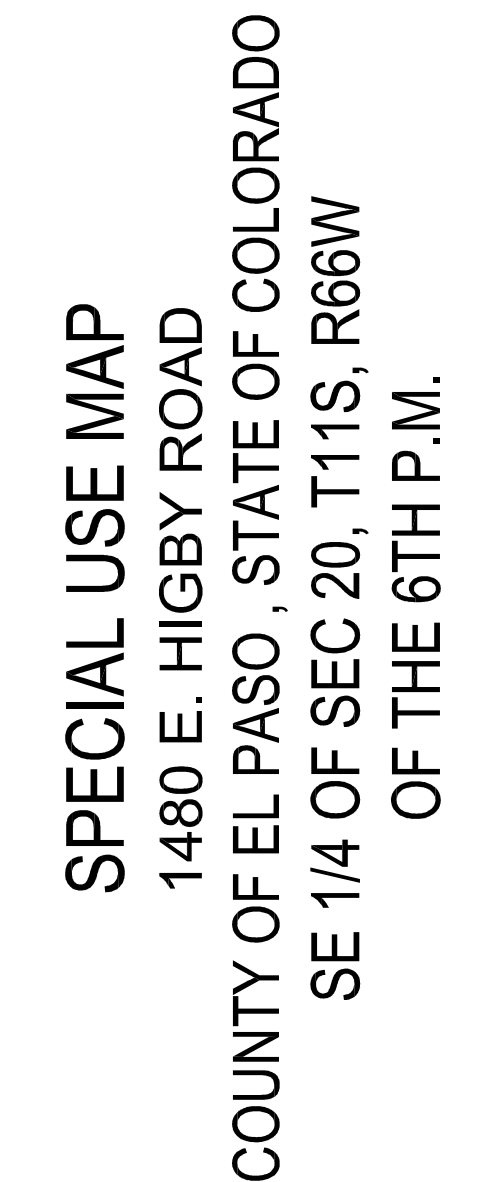
SHEET NUMBER:

SP1





THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF GALLOWAY, AND MAY NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF GALLOWAY. COPYRIGHTS AND INFRINGEMENTS WILL BE ENFORCED AND PROSECUTED.

[illegible]

A TRACT OF LAND AS DESCRIBED IN RECEPTION NO. 216075779 IN THE EL PASO CLERK & RECORDER OFFICE AND BEING A PORTION OF THE SOUTHEAST QUARTER OF SECTION 20, TOWNSHIP 11 SOUTH, RANGE 66 WEST, OF THE 6TH P.M., EL PASO COUNTY, STATE OF COLORADO BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF HAPPY LANDING ESTATES AND THE CENTERLINE OF HIGBY ROAD, AS RECORDED IN PLAT BOOK 5-2 AT PAGE 2 OF THE RECORDS OF EL PASO COUNTY, COLORADO; THENCE SOUTHERLY ALONG THE EAST LINE OF SAID HAPPY LANDING ESTATES, A DISTANCE OF 1351.86 FEET TO THE SOUTHEAST CORNER OF SAID HAPPY LANDING ESTATES; THENCE EASTERLY, ALONG A LINE PARALLEL TO THE CENTERLINE OF HIGBY ROAD, A DISTANCE OF 1127.78 FEET; THENCE NORTHERLY, ALONG A LINE PARALLEL TO THE EAST LINE OF SAID HAPPY LANDING ESTATES, A DISTANCE OF 1351.86 FEET TO THE CENTERLINE OF HIGBY ROAD; THENCE WESTERLY, ALONG THE CENTERLINE OF HIGBY ROAD, A DISTANCE OF 1127.78 FEET MORE OR LESS, TO THE NORTHEAST CORNER OF SAID HAPPY LANDING ESTATES AND THE POINT OF BEGINNING, EL PASO COUNTY, COLORADO, EXCEPT ANY PORTION LYING WITHIN HIGBY ROAD.

THIS MAP DOES NOT REPRESENT A TITLE SEARCH BY GALLOWAY & COMPANY, INC., TO DETERMINE OWNERSHIP OF THIS TRACT, VERIFY THE DESCRIPTION SHOWN, VERIFY THE COMPATIBILITY OF THIS DESCRIPTION WITH THAT OF ADJACENT TRACTS OR VERIFY EASEMENTS OF RECORD FOR ALL INFORMATION REGARDING EASEMENTS, RIGHT OF WAY OR TITLE THEREOF. GALLOWAY & COMPANY, INC., RELIED UPON THE INFORMATION OR TITLE REPORT PROVIDED AT THE TIME OF THE SURVEY BY THE CLIENT.

TITLE BINDER PROVIDED BY CLIENT AND PREPARED BY LAND TITLE GUARANTEE COMPANY, ORDER NO. RND550663008, DATED OCTOBER 11, 2017.

1. EXISTING LEASES AND TENANCIES IF ANY. (NOT SURVEY RELATED)
2. RIGHT OF WAY EASEMENT AS GRANTED TO MOUNTAIN VIEW ELECTRIC ASSOCIATION, INCORPORATED IN INSTRUMENT RECORDED JUNE 14, 1971, IN BOOK 2414 AT PAGE 968. (PROPERTY IS SUBJECT TO AND IS PLOTTED HEREON)
3. THE EFFECT OF INCLUSION OF THE SUBJECT PROPERTY IN THE TRI-LAKES FIRE PROTECTION DISTRICT, AS EVIDENCED BY INSTRUMENTS RECORDED JULY 18, 1977 IN BOOK 2941 AT PAGE 517 AND JULY 18, 1977 UNDER RECEPTION NO. 341388. (PROPERTY IS SUBJECT TO AND IS BLANKET IN NATURE)
4. RIGHT OF WAY EASEMENT AS GRANTED TO MOUNTAIN VIEW ELECTRIC ASSOCIATION, INC., A COLORADO CORPORATION IN INSTRUMENT RECORDED FEBRUARY 17, 1987, IN BOOK 531 AT PAGE 1070. (PROPERTY IS SUBJECT TO AND IS PLOTTED HEREON)
5. THE EFFECT OF RULING OF THE REFEREE AND DECREE OF THE COURT CONCERNING THE APPLICATION FOR WATER RIGHTS, RECORDED SEPTEMBER 01, 1988, UNDER RECEPTION NO. 98125/23. (PROPERTY IS SUBJECT TO AND IS BLANKET IN NATURE)
6. THE EFFECT OF RESOLUTION OF NO 99-307 REGARDING ZONING, RECORDED SEPTEMBER 07, 1999, UNDER RECEPTION NO. 9914208. (PROPERTY IS SUBJECT TO AND IS BLANKET IN NATURE)
7. THE EFFECT OF RESOLUTION NO. 99-308 REGARDING USE SUBJECT TO SPECIAL REVIEW, RECORDED SEPTEMBER 07, 1999, UNDER RECEPTION NO. 9914209 AS AMENDED BY RESOLUTION NO. 01-249 RECORDED MAY 8, 2002 UNDER RECEPTION NO. 202075603. (PROPERTY IS SUBJECT TO AND IS BLANKET IN NATURE)
8. THE EFFECT OF INCLUSION OF THE SUBJECT PROPERTY IN THE BAPTIST ROAD RURAL TRANSPORTATION AUTHORITY, AS EVIDENCED BY INSTRUMENT RECORDED MARCH 03, 2006, UNDER RECEPTION NO. 206032224. (PROPERTY IS SUBJECT TO AND IS BLANKET IN NATURE)
9. DEED OF JAMES TATED JULY 08, 2016, FROM ASPEN WILLOW ESTATES, L.L.C., COLORADO LIMITED LIABILITY COMPANY TO THE PUBLIC TRUSTEE OF EL PASO COUNTY FOR THE USE OF JAM J. JENSEN TO SECURE THE SUM OF \$700,000.00 RECORDED JULY 11, 2016 UNDER RECEPTION NO. 216075780. (PROPERTY IS SUBJECT TO AND IS NOT A PLOTTABLE ITEM)

BEING A 20' x 44' LEASE AREA AND BEING A PORTION OF A TRACT OF LAND AS DESCRIBED IN RECEPTION NO. 216075779 IN THE EL PASO CLERK & RECORDER OFFICE AND BEING A PORTION OF THE SOUTHEAST QUARTER OF SECTION 20, TOWNSHIP 11 SOUTH, RANGE 66 WEST, OF THE 6TH P.M., EL PASO COUNTY, STATE OF COLORADO AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID TRACT AND BEING A POINT ALONG THE EAST RIGHT OF WAY LINE OF HAPPY LANDING DRIVE; THENCE N50°37'13"E, A DISTANCE OF 120.85 FEET TO THE SOUTHEAST CORNER OF SAID LEASE AREA AND BEING THE POINT OF BEGINNING;

THENCE N90°00'00"W, A DISTANCE OF 44.00 FEET;  
THENCE N00°00'00"E, A DISTANCE OF 20.00 FEET;  
THENCE N90°00'00"E, A DISTANCE OF 44.00 FEET;  
THENCE S00°00'00"E, A DISTANCE OF 20.00 FEET TO THE POINT OF BEGINNING.

BEING AN IRREGULAR 12' WIDE ACCESS & UTILITY ROUTE AND BEING A PORTION OF A TRACT OF LAND AS DESCRIBED IN RECEPTION NO. 216075779 IN THE EL PASO CLERK & RECORDER OFFICE AND BEING A PORTION OF THE SOUTHEAST QUARTER OF SECTION 20, TOWNSHIP 11 SOUTH, RANGE 66 WEST, OF THE 6TH P.M., EL PASO COUNTY, STATE OF COLORADO AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID TRACT AND BEING A POINT ALONG THE EAST RIGHT OF WAY LINE OF HAPPY LANDING DRIVE; THENCE ALONG SAID EAST RIGHT OF WAY LINE, N01°08'22"W, A DISTANCE OF 64.67 FEET TO THE SOUTHWEST CORNER OF SAID ACCESS & UTILITY ROUTE; PARCEL AND BEING THE POINT OF BEGINNING;

THENCE N90°00'00"E, A DISTANCE OF 94.68 FEET;  
THENCE N90°00'00"E, A DISTANCE OF 12.00 FEET TO THE SOUTHEAST CORNER OF THE ABOVE DESCRIBED LEASE AREA;  
THENCE ALONG THE SOUTH LINE OF SAID LEASE AREA, N60°00'00"W, A DISTANCE OF 44.00 FEET TO THE SOUTHWEST CORNER OF SAID LEASE AREA;  
THENCE ALONG SAID WEST LINE, N00°00'00"E, A DISTANCE OF 20.00 FEET TO THE NORTHEAST CORNER OF SAID LEASE AREA;  
THENCE ALONG N90°00'00"E, A DISTANCE OF 12.00 FEET;  
THENCE S00°00'00"E, A DISTANCE OF 20.00 FEET;  
THENCE N00°00'00"W, A DISTANCE OF 33.33 FEET TO A POINT ON SAID EAST RIGHT OF WAY LINE OF HAPPY LANDINGS DRIVE;  
THENCE ALONG SAID EAST RIGHT OF WAY LINE, S01°08'22"W, A DISTANCE OF 12.00 FEET TO THE POINT OF BEGINNING.

BEING A 5' WIDE UTILITY ROUTE AND BEING A PORTION OF A TRACT OF LAND AS DESCRIBED IN RECEPTION NO. 216075779 IN THE EL PASO CLERK & RECORDER OFFICE AND BEING A PORTION OF THE SOUTHEAST QUARTER OF SECTION 20, TOWNSHIP 11 SOUTH, RANGE 66 WEST OF THE 6TH P.M., EL PASO COUNTY, STATE OF COLORADO AND THE CENTERLINE OF SAID UTILITY ROUTE BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID TRACT AND BEING A POINT ALONG THE EAST RIGHT OF WAY LINE OF HAPPY LANDING DRIVE; THENCE ALONG SAID EAST RIGHT OF WAY LINE, N01°08'22"W, A DISTANCE OF 79.17 FEET TO THE CENTERLINE OF SAID 5' WIDE UTILITY ROUTE AND BEING THE POINT OF BEGINNING;

THENCE ALONG SAID CENTERLINE N90°00'00"E, A DISTANCE OF 39.02 FEET TO THE WEST LINE OF THE ABOVE DESCRIBED ACCESS & UTILITY ROUTE AND BEING THE POINT OF TERMINATION;

THE SIDELINES OF THE ABOVE DESCRIBED 5' WIDE UTILITY ROUTE SHALL BE 2.50 FEET EACH SIDE OF THE ABOVE DESCRIBED CENTERLINE AND SHALL BE LENGTHENED AND SHORTENED AS NECESSARY TO ENCOMPASS A STRIP OF LAND NO LESS THAN 5' IN WIDTH AT ALL POINTS.

BEING A 12' WIDE UTILITY ROUTE AND BEING A PORTION OF A TRACT OF LAND AS DESCRIBED IN RECEPTION NO. 216075779 IN THE EL PASO CLERK & RECORDER OFFICE AND BEING A PORTION OF THE SOUTHEAST QUARTER OF SECTION 20, TOWNSHIP 11 SOUTH, RANGE 66 WEST OF THE 6TH P.M., EL PASO COUNTY, STATE OF COLORADO AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

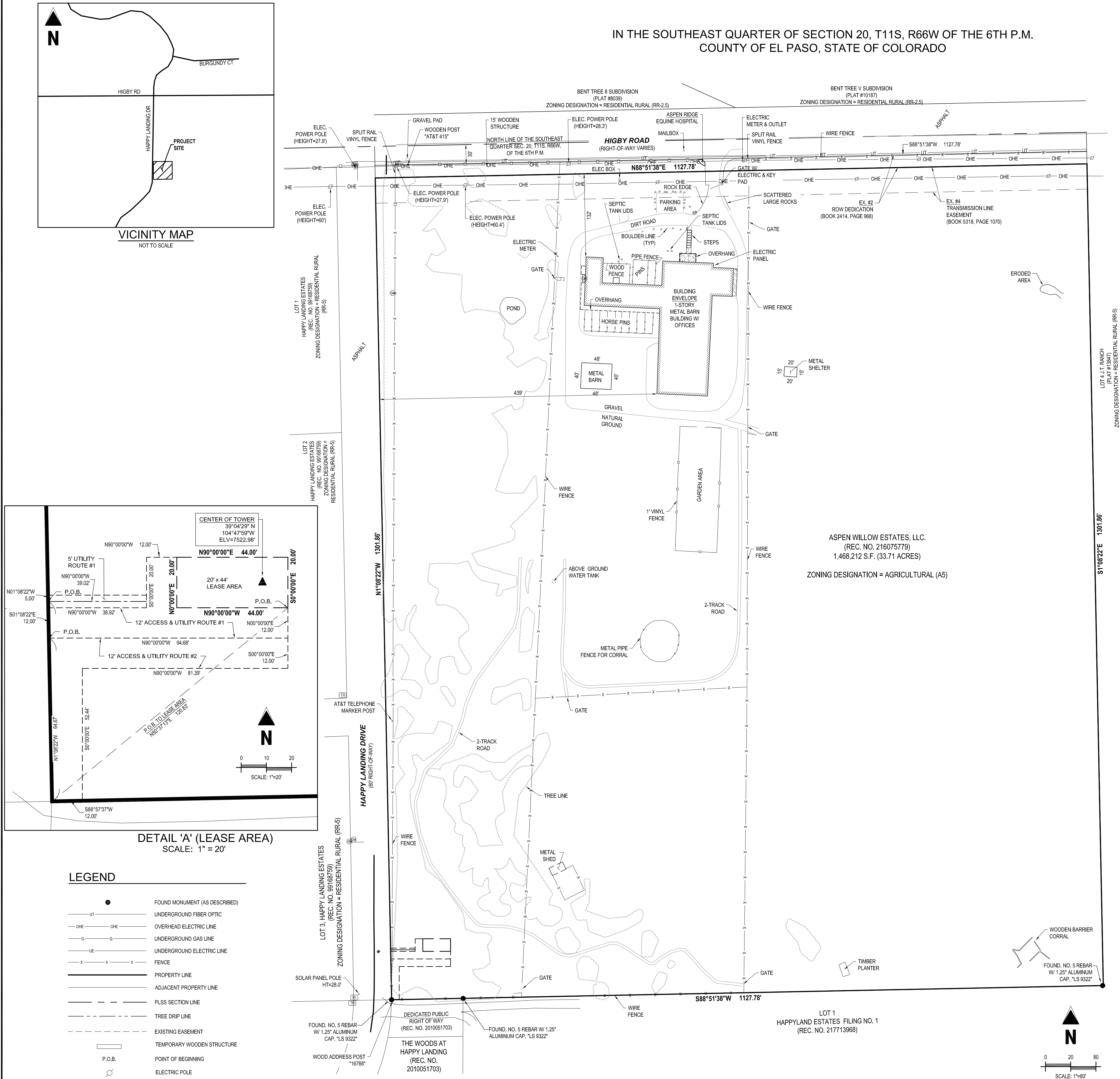
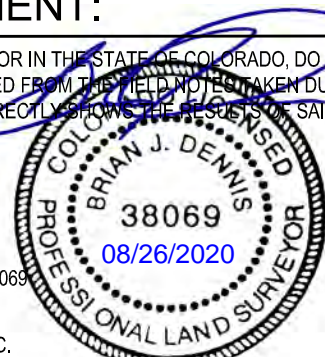
BEGINNING AT THE SOUTHWEST CORNER OF SAID TRACT AND BEING A POINT ALONG THE EAST RIGHT OF WAY LINE OF HAPPY LANDING DRIVE;

THENCE N89°00'00"E, A DISTANCE OF 81.39 FEET;  
THENCE N80°00'00"E, A DISTANCE OF 94.68 FEET;  
THENCE S00°00'00"E, A DISTANCE OF 12.00 FEET;  
THENCE N80°00'00"W, A DISTANCE OF 81.39 FEET;  
THENCE S00°00'00"E, A DISTANCE OF 52.44 FEET TO A POINT ON THE SOUTH LINE OF SAID TRACT;  
THENCE ALONG SAID SOUTH LINE OF SAID TRACT S88°57'37"W, 12.00 FEET TO THE POINT OF BEGINNING;

[illegible]

I, BRIAN J. DENNIS, A PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY STATE THAT, TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THIS MAP WAS PREPARED FROM THE DATA TAKEN DURING AN ACTUAL ON THE GROUND SURVEY MADE BY ME OR UNDER MY DIRECT SUPERVISION AND THAT THIS MAP CORRECTLY REPRESENTS THE SAID SURVEY AND THE MONUMENTS FOUND ARE AS SHOWN.

BRIAN J. DENNIS  
COLORADO PROFESSIONAL LAND SURVEYOR NO. 38061  
PROJECT NO.: J5P000001.01  
FOR AND ON BEHALF OF GALLOWAY & COMPANY, INC.



4:US Infrastructure PartnersUSP01-CO-CSP HighBySurveyCADUSP\_HIGBY\_SITEPLAN\_20190408.dwg - Brian Darrin - 8/28/2020



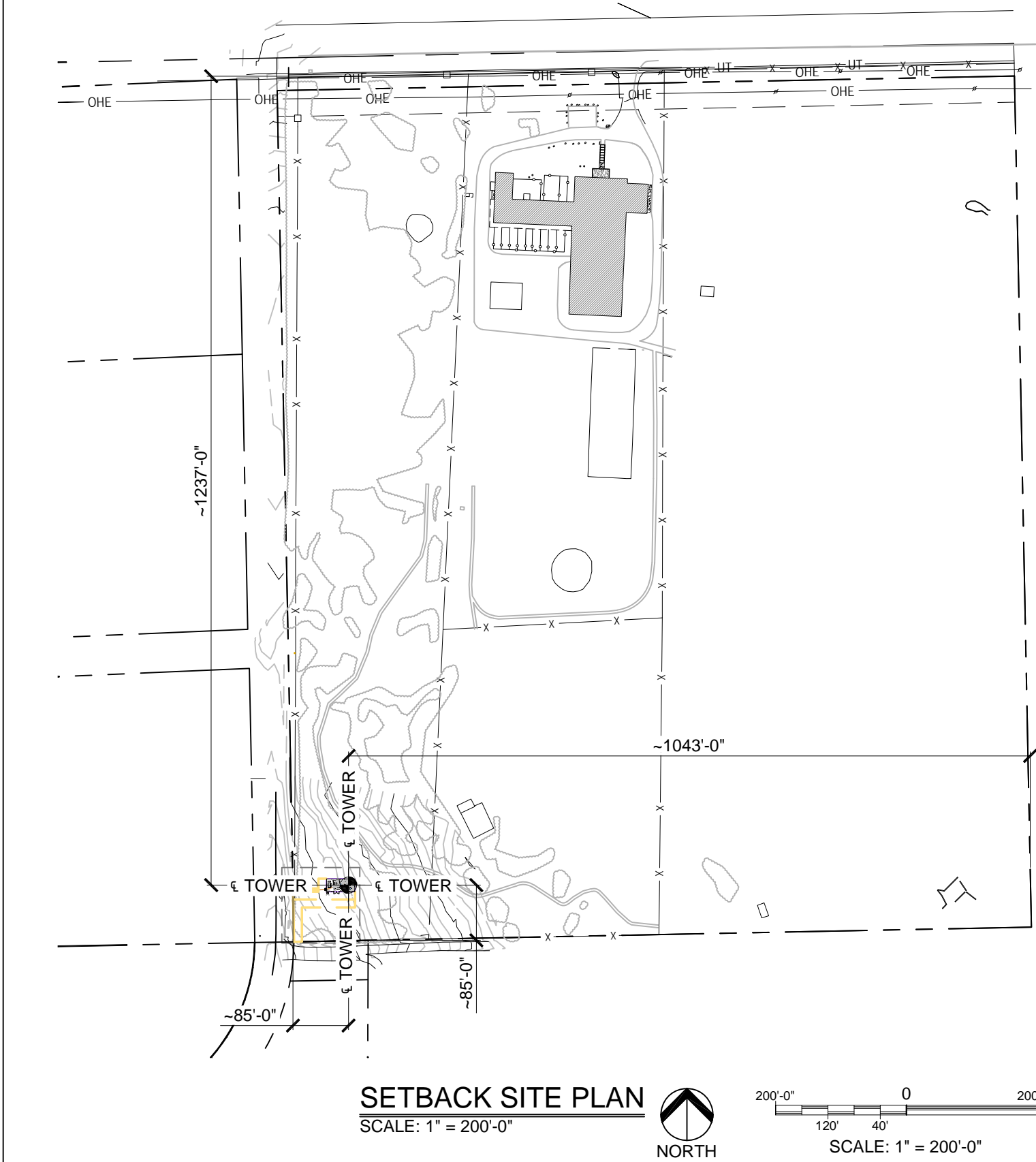
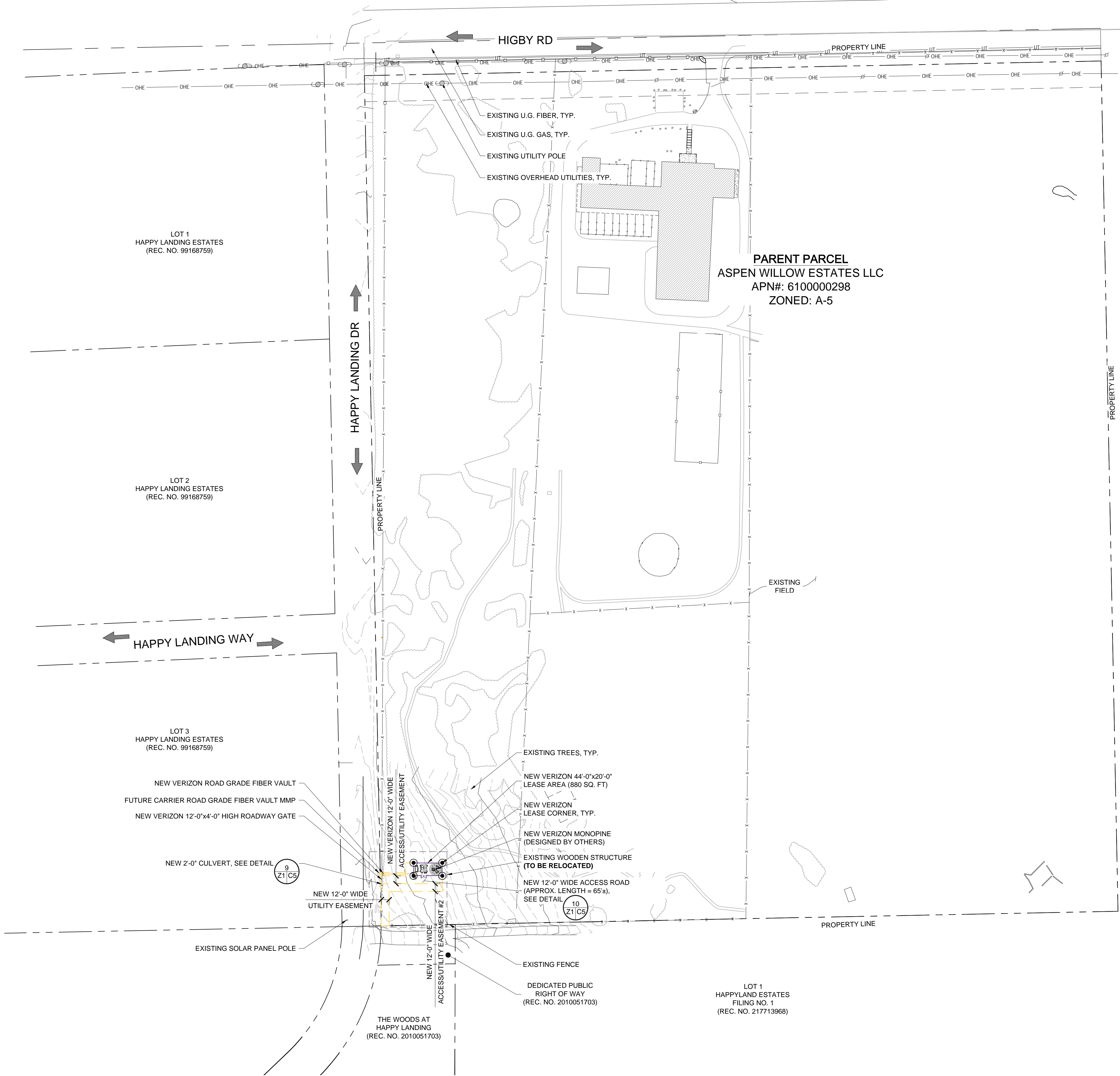
**SITE NOTES:**

1. SITE WILL REQUIRE AN ACCESS PERMIT. PERMIT CAN BE OBTAINED FROM THE EL PASO PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT, AND CAN BE APPLIED FOR ONLINE.

PCD FILE NUMBER PPR-20-022

SETBACK TABLE:		
	TOWER BASE TO PARENT PROPERTY LINE	LEASE BOUNDARY TO PARENT PROPERTY LINE
NORTH	~1237'-0"	~1227'-0"
EAST	~1043'-0"	~1033'-0"
SOUTH	~85'-0"	~75'-0"
WEST	~85'-0"	~51'-0"

EXISTING  
WALL HATCH  
NEW WORK/  
UTILITY EASEMENT  
ACCESS/UTILITY  
EASEMENT  
HYBRID CABLE/COAX  
DC POWER  
FIBER  
ANTENNAS  
RR/HBBU  
LEASE AREA  
EXISTING  
EASEMENT  
PENETRATIONS



LOT 3  
HAPPY LANDING ESTATES  
(REC. NO. 99168759)

APPROVED  
FOR LEASING/ZONING

THESE DRAWINGS AND SURVEYS ARE COPYRIGHT PROTECTED AND THE SOLE PROPERTY OF J5 INFRASTRUCTURE PARTNERS, LLC AND PRODUCED FOR THE USE OF OUR CLIENT. ANY REPRODUCTION OR USE OF THE INFORMATION CONTAINED WITHIN SAID DOCUMENTS IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF J5 INFRASTRUCTURE PARTNERS.

DESIGNED FOR:

**verizon**

3131 SOUTH VAUGHN WAY, SUITE 550  
AURORA, COLORADO 80014

DESIGNED BY:

**J5 INFRASTRUCTURE PARTNERS**

PROJECT NAME:

CSP HIGBY (ALT A)  
NEW 70'-0" MONOPINE  
(OVERALL HEIGHT: 75'-0" A.G.L.)  
RAWLAND COMMUNICATION SITE

PROJECT ADDRESS:

1480 EAST HIGBY ROAD  
MONUMENT, COLORADO 80132  
EL PASO COUNTY

SHEET TITLE:

SITE PLAN & SETBACK SITE PLAN

REV	DESCRIPTION	DATE	BY	CHK
0	APPROVED FOR LEASING & ZONING	08/28/20	MKR	-

SAVE DATE: 8/28/2020 3:11 PM

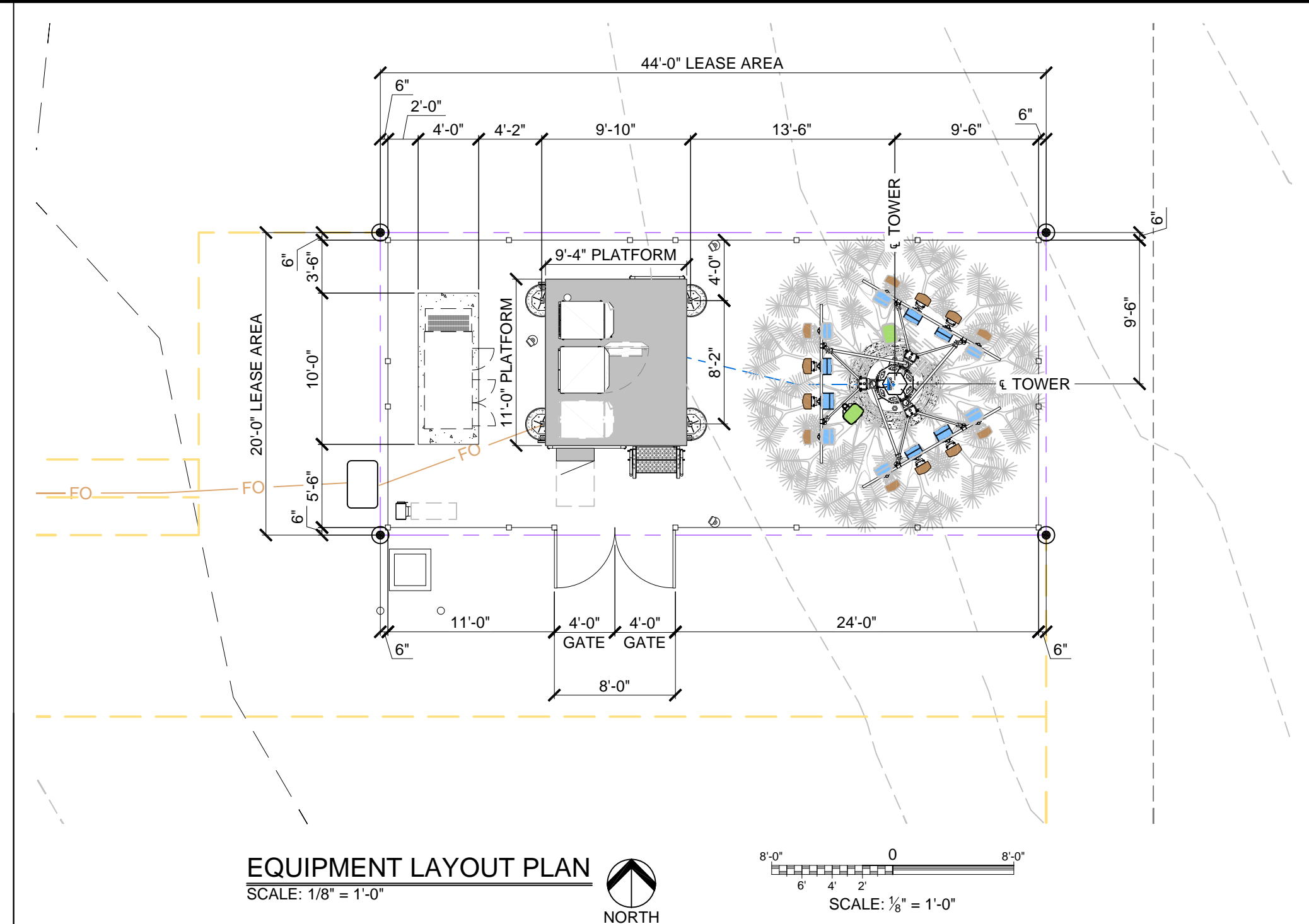
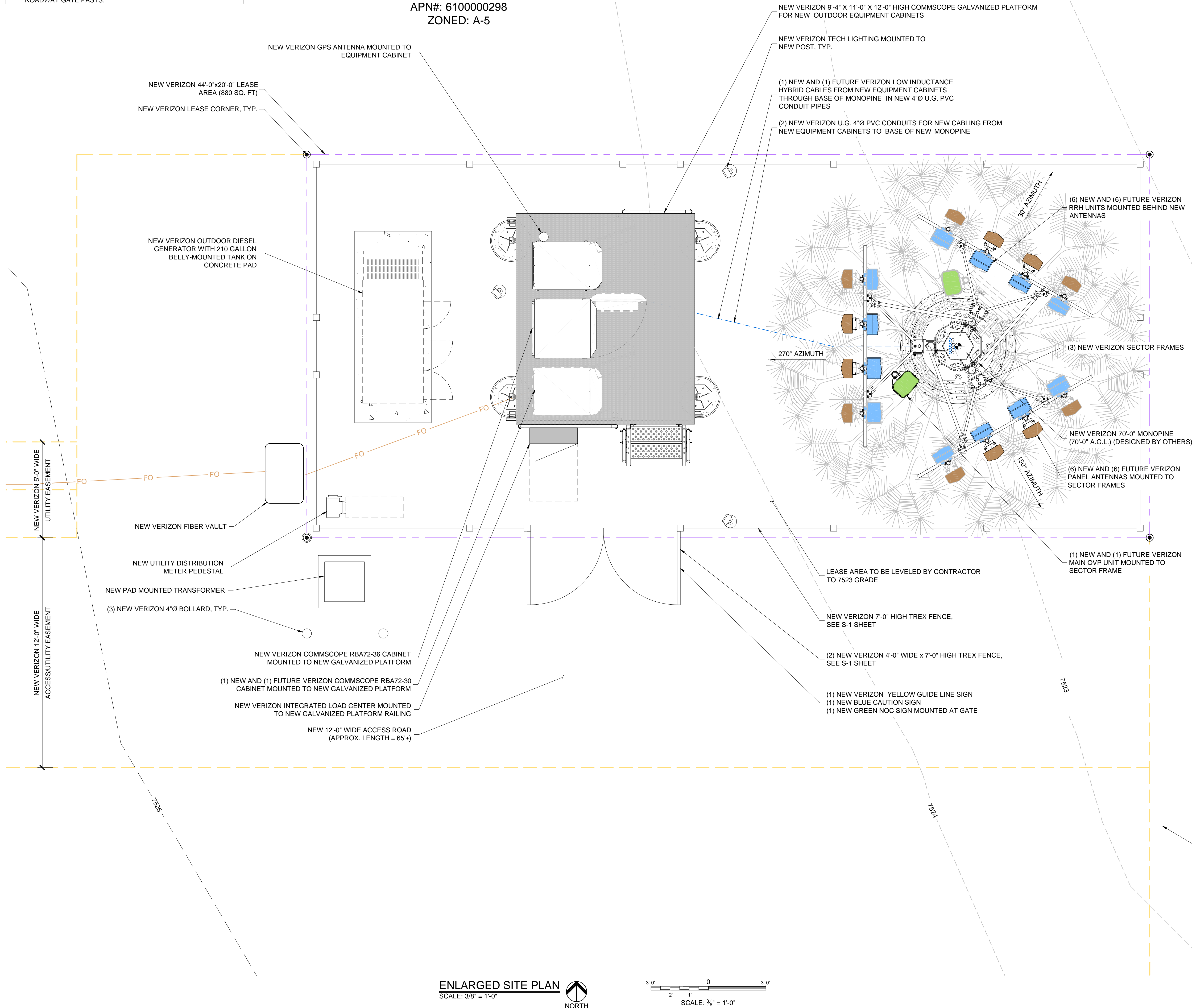
SHEET NUMBER: Z1




-  PENETRATIONS  
 EXISTING  
 LEASE AREA  
 R/R/HBBU  
 ANTENNAS  
 FIBER  
 DC POWER  
 HYBRID CABLE/COAX  
 ACCESS/UTILITY  
 NEW WORK/  
 WALL HATCH  
 EXISTING

PCD FILE NUMBER PPR-20-022

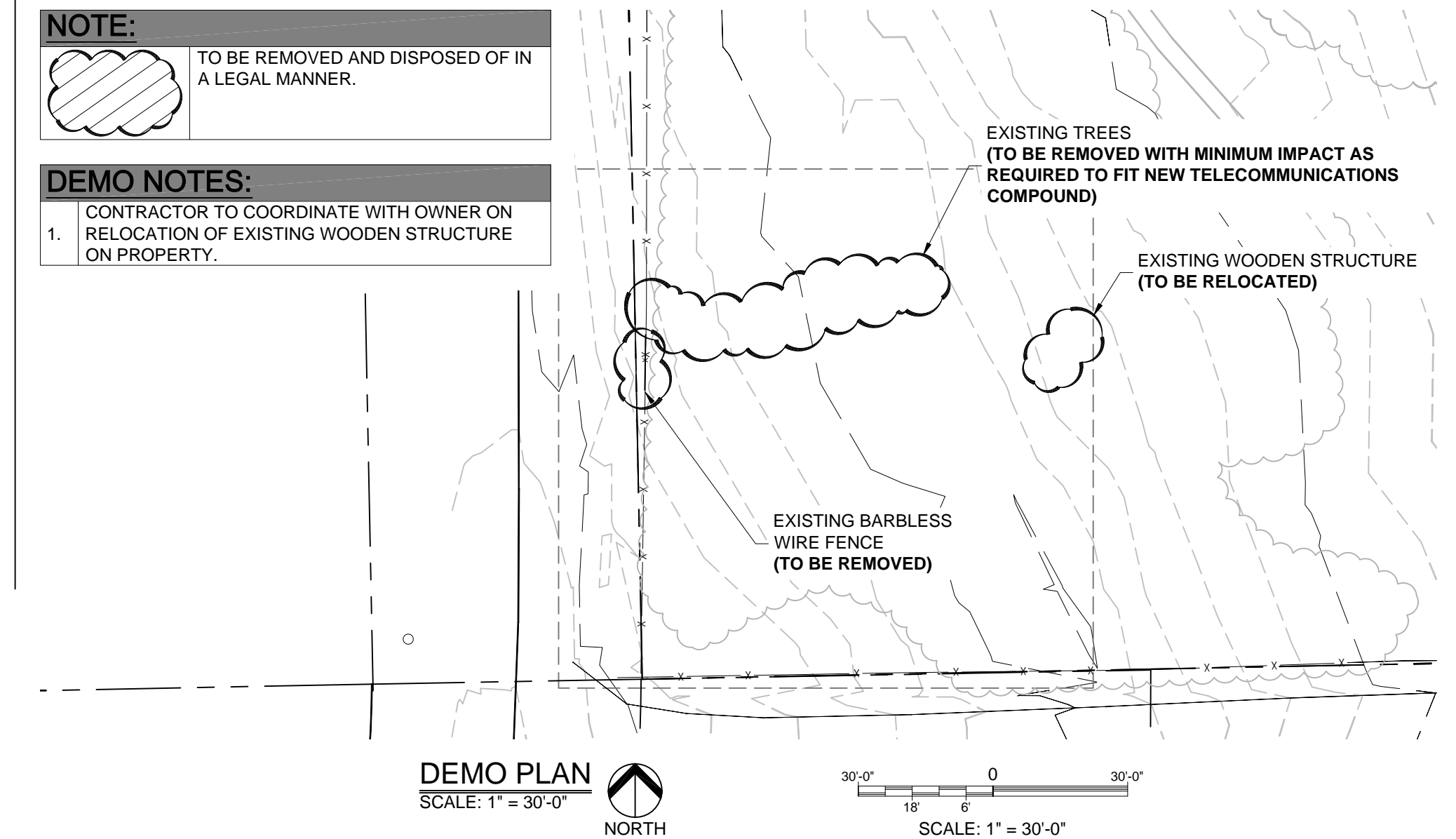
**PARENT PARCEL**  
**ASPEN WILLOW ESTATES LLC**  
**APN#: 6100000298**  
**ZONED: A-5**



<b>NOTE:</b>	
	TO BE REMOVED AND DISPOSED OF IN A LEGAL MANNER.

<b>DEMO NOTES:</b>	
1.	CONTRACTOR TO COORDINATE WITH OWNER ON RELOCATION OF EXISTING WOODEN STRUCTURE ON PROPERTY.



THESE DRAWINGS AND SURVEYS ARE COPYRIGHT PROTECTED AND THE SOLE PROPERTY OF J5 INFRASTRUCTURE PARTNERS, LLC AND PRODUCED FOR THE USE OF OUR CLIENT. ANY REPRODUCTION OR USE OF THE INFORMATION CONTAINED WITHIN SAID DOCUMENTS IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF J5 INFRASTRUCTURE PARTNERS.

DESIGNED FOR:

**verizon** ✓

3131 SOUTH VAUGHN WAY, SUITE 550  
AURORA, COLORADO 80014

DESIGNED BY:

**J5 INFRASTRUCTURE**  
P A R T N E R S

PROJECT NAME: CSP HIGBY (ALT A)  
NEW 70'-0" MONOPINE  
(OVERALL HEIGHT: 75'-0" A.G.L.)  
RAWLAND COMMUNICATION SITE

PROJECT ADDRESS: 1480 EAST HIGBY ROAD  
MONUMENT, COLORADO 80132  
EL PASO COUNTY

SHEET TITLE: ENLARGED SITE PLAN  
&  
EQUIPMENT LAYOUT PLAN

REV	DESCRIPTION	DATE	BY	CHK
0	APPROVED FOR LEASING & ZONING	08/28/20	MKR	-

SAVE DATE: 8/28/2020 3:11 PM

SHEET NUMBER: Z2

APPROVED  
FOR LEASING/ZONING



2'-0" TRENCH

5' (TYP)

1'-0"

UNEXCAVATED

36" OUTSIDE COMPOUND  
24" WITHIN COMPOUND

COMPACTED FILL

POWER CONDUIT  
SCHD. 40 PVC

24" TRENCH OR AS REQ'D  
BY POWER TELEPHONE  
COMPANY

COMPACTED SAND

(1) 2" SCHD. 40  
PVC CONDUIT

(3) MAXCELL  
INNERDUCTS

PROVIDE YELLOW "CAUTION:  
ELECTRICAL LINES BURIED BELOW"  
WARNING TAPE AT 1'-0" BELOW GRADE

**POWER/FIBER TRENCH**  
SCALE: N.T.S.



DESIGNED FOR:

**verizon** 

3131 SOUTH VAUGHN WAY, SUITE 550  
AURORA, COLORADO 80014

DESIGNED BY:

**J5 INFRASTRUCTURE**  
PARTNERS

PROJECT NAME: CSP HIGBY (ALT A)  
NEW 70'-0" MONOPINE  
(OVERALL HEIGHT: 75'-0" A.G.L.)  
RAWLAND COMMUNICATION SITE


PROJECT ADDRESS: 1480 EAST HIGBY ROAD  
MONUMENT, COLORADO 80132  
EL PASO COUNTY

SHEET TITLE:	FIBER COORDINATION SITE PLAN
--------------	---------------------------------

REV	DESCRIPTION	DATE	BY	CHECKED
0	APPROVED FOR LEASING & ZONING	08/28/20	MKR	

SAVE DATE:	SHEET NUMBER:	TC1
8/28/2020 3:11 PM		

**SITE PLAN**  
SCALE: 1/8" = 1'-0"



NORTH





EXISTING  
WALL HATCH  
NEW WORK  
UTILITY EASEMENT  
ACCESS/UTILITY EASEMENT  
HYBRID CABLE/COAX  
DC POWER  
FIBER  
ANTENNAS  
RR/HBBU  
LEASE AREA  
EXISTING EASEMENT  
PENETRATIONS

**NOTES:**

1. POWER COORDINATION INFORMATION DEPICTED ON THESE DRAWINGS IS ACCURATE AND COMPLETE AS OF 7-1-2018. HOWEVER, PRIOR TO BEGINNING CONSTRUCTION, CONTRACTOR SHALL VERIFY WITH VERIZON CONSTRUCTION MANAGER THAT CONDITIONS HAVE NOT CHANGED.
2. REFER TO CONSTRUCTION DRAWING FOR COMPLETE FIBER DESIGN.
3. ALL CONDUIT NOT SPECIFIED OTHERWISE SHALL BE SCHD. 40 PVC BELOW GRADE, IMC ABOVE, EMT ACCEPTABLE INDOORS IN AREAS THAT ARE ACCESSIBLE ONLY TO LESSEE AUTHORIZED PERSONNEL.

**POWER CONTACT:**

MOUNTAIN VIEW ELECTRIC ASSOCIATION, INC.  
VINCE BRACKETT  
PH: 719-494-2615

brackett-v@mvea.org

CONTACT SHALL BE NOTIFIED PRIOR TO START OF CONSTRUCTION.

**PROPERTY OWNER**

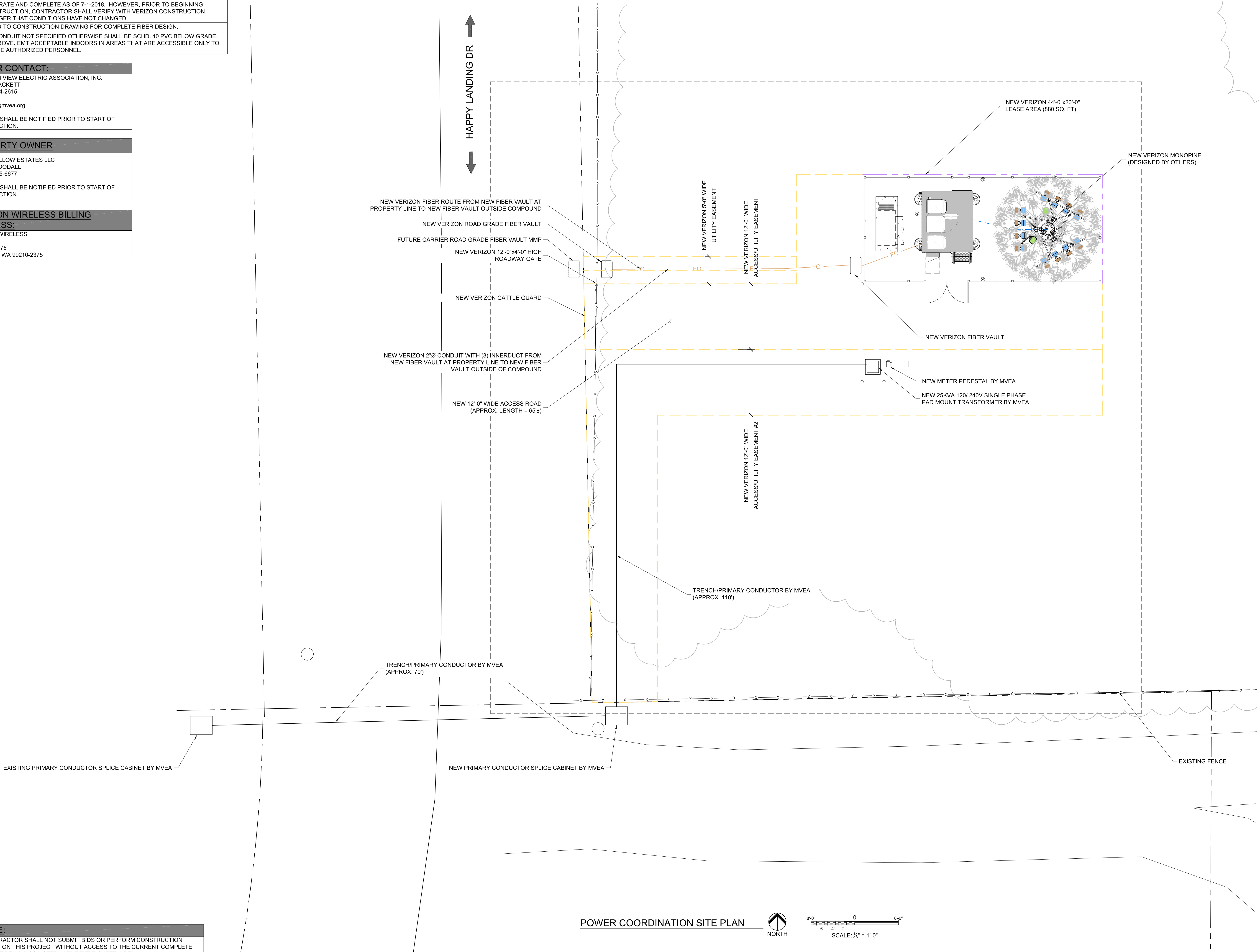
ASPEN WILLOW ESTATES LLC  
CHUCK WOODALL  
PH: 719-265-6677

CONTACT SHALL BE NOTIFIED PRIOR TO START OF CONSTRUCTION.

**VERIZON WIRELESS BILLING ADDRESS:**

VERIZON WIRELESS  
MS 3846  
PO BOX 2375  
SPOKANE, WA 99210-2375

PCD FILE NUMBER PPR-20-022



PRELIMINARY  
NOT FOR CONSTRUCTION

THESE DRAWINGS AND SURVEYS ARE COPYRIGHT PROTECTED AND THE SOLE PROPERTY OF J5 INFRASTRUCTURE PARTNERS, LLC AND PRODUCED FOR THE USE OF OUR CLIENT. ANY REPRODUCTION OR USE OF THE INFORMATION CONTAINED WITHIN SAID DOCUMENTS IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF J5 INFRASTRUCTURE PARTNERS.

DESIGNED FOR:

**verizon**

3131 SOUTH VAUGHN WAY, SUITE 550  
AURORA, COLORADO 80014

DESIGNED BY:

**J5 INFRASTRUCTURE PARTNERS**

PROJECT NAME:

CSP HIGBY (ALT A)  
NEW 70'-0" MONOPINE  
(OVERALL HEIGHT: 75'-0" A.G.L.)  
RAWLAND COMMUNICATION SITE

PROJECT ADDRESS:

1480 EAST HIGBY ROAD  
MONUMENT, COLORADO 80132  
EL PASO COUNTY

SHEET TITLE:

POWER COORDINATION  
SITE PLAN

REV	DESCRIPTION	DATE	BY	CHK
A	PRELIMINARY - NOT FOR CONSTRUCTION	08/27/20	SB	LRP

SAVE DATE: 1/2/2020 8:39 AM

SHEET NUMBER: PC1

**NOTICE:**

1. CONTRACTOR SHALL NOT SUBMIT BIDS OR PERFORM CONSTRUCTION WORK ON THIS PROJECT WITHOUT ACCESS TO THE CURRENT COMPLETE SET OF DRAWINGS LISTED IN THE TITLE-SHEET INDEX.

POWER COORDINATION SITE PLAN



8'-0" 0 8'-0"

6' 4' 2'

SCALE: 1/8" = 1'-0"



EXISTING  
WALL HATCH  
NEW WORK  
UTILITY EASEMENT  
ACCESS/UTILITY EASEMENT  
HYBRID CABLE/CABLE  
DC POWER  
FIBER  
ANTENNAS  
RR/HBBU  
LEASE AREA  
EXISTING EASEMENT  
PENETRATIONS

GENERAL ELECTRICAL NOTES	
1.	CONTRACTOR SHALL COMPLY WITH UTILITY'S ELECTRICAL SERVICE SPECIFICATIONS, OBTAIN A COPY AS NEEDED.
2.	THE ELECTRICAL INSTALLATION WORK SHALL COMPLY WITH ALL LOCAL, STATE AND NATIONAL CODES, LAWS AND ORDINANCES APPLICABLE TO ELECTRICAL WORK.
3.	ARC FLASH HAZARD WARNING SIGNS: PER NEC ARTICLE 110.16 EACH OF THE FOLLOWING DEVICES SHALL HAVE A PERMANENT LABEL OR SIGN AFFIXED WARNING QUALIFIED PERSONS OF POTENTIAL ARC FLASH HAZARDS: SERVICE GUTTER-BOXES, METER ENCLOSURES, DISCONNECTS, TRANSFORMERS DOWN-STREAM OR SERVICE EQUIPMENT, TRANSFER SWITCHES, DISTRIBUTION PANEL BOARDS, ANY OTHER DEVICES THAT ARE INSTALLED AND ARE SPECIFIED IN NEC ARTICLE 110.16. THIS LABEL OR SIGN SHALL MEET THE GUIDELINES FOR SAFETY SIGNS SPECIFIED IN THE CURRENT REVISION OF ANSI Z535.4.
4.	CONTRACTOR SHALL VISIT SITE AND VERIFY EXISTING CONDITIONS BEFORE BEGINNING WORK.
5.	ALL MATERIAL AND EQUIPMENT FURNISHED AND INSTALLED UNDER THIS CONTRACT SHALL BE NEW, FREE FROM DEFECTS, AND SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM DATE OF FINAL ACCEPTANCE BY OWNER OR HIS REPRESENTATIVE. SHOULD ANY TROUBLE DEVELOP DURING THIS PERIOD DUE TO FAULTY WORKMANSHIP, MATERIAL OR EQUIPMENT, THE CONTRACTOR SHALL FURNISH ALL NECESSARY MATERIALS AND LABOR TO CORRECT THE TROUBLE WITHOUT COST TO THE OWNER.
6.	ALL WORK TO BE EXECUTED IN A WORKMANLIKE MANNER AND SHALL PRESENT A NEAT MECHANICAL APPEARANCE WHEN COMPLETED.
7.	CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CUTTING AND PATCHING RELATED TO ELECTRICAL WORK.
8.	ALL BRANCH CIRCUIT CONDUCTORS SHALL BE COPPER TYPE "TH," #12, AND #10 SOLID, #8 AND LARGER STRANDED.
9.	CONTRACTOR SHALL FURNISH AS-BUILT DRAWINGS TO THE VERIZON WIRELESS PROJECT MANAGER UPON COMPLETION OF THE JOB.
10.	ELECTRICAL WORK SHALL INCLUDE ALL LABOR, MATERIALS, AND EQUIPMENT REQUIRED, INCLUDING BUT NOT LIMITED TO COMPLETE ELECTRICAL SYSTEMS POWER AND LIGHTING, TELEPHONE CONDUIT SYSTEM, SIGNAL SYSTEMS, PANELBOARD(S), CONTROL WIRING, GROUNDING, CONDUIT ONLY SYSTEMS, ETC., AS INDICATED ON ELECTRICAL DRAWINGS AND/OR REQUIRED BY GOVERNING CODES.
11.	PRIOR TO INSTALLING ANY ELECTRICAL WORK, THE CONTRACTOR SHALL VERIFY EXACT LOCATIONS AND REQUIREMENTS ON THE JOB, AND BY REFERENCE TO ARCHITECTURE, AND EQUIPMENT SUPPLIER'S DRAWINGS. SHOULD THERE BE ANY QUESTIONS OR PROBLEMS CONCERNING THE NECESSARY PROVISIONS TO BE MADE, PROPER DIRECTIONS FROM THE VERIZON WIRELESS PROJECT MANAGER SHALL BE OBTAINED BEFORE PROCEEDING WITH ANY WORK.
12.	THE CONTRACTOR SHALL VERIFY EXISTING SITE CONDITIONS, ELECTRICAL SERVICE REQUIREMENTS AND COORDINATE ALL INTERCONNECTION REQUIREMENTS WITH LOCAL UTILITY AS NECESSARY.
13.	THE NOTE, SPECIFICATION OR CODE WHICH PRESCRIBES AND ESTABLISHES THE HIGHEST STANDARD OF PERFORMANCE SHALL PREVAIL IN THE EVENT OF ANY CONFLICT OR INCONSISTENCY BETWEEN ITEMS SHOWN ON THE PLANS AND/OR SPECIFICATIONS.
14.	THE CONTRACTOR SHALL FURNISH AND PAY FOR ALL PERMITS AND RELATED FEES.
15.	THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONFORMANCE WITH THE NATIONAL ELECTRICAL CODE, STATE OF COLORADO ELECTRICAL SAFETY ORDERS, ALL CODES AND ORDINANCES AND ALL OTHER ADMINISTRATIVE AUTHORITIES HAVING JURISDICTION OVER THIS WORK.
16.	NETWORK-POWERED BROADBAND COMMUNICATIONS EQUIPMENT AND CABLES SHALL BE LISTED AND MARKED IN ACCORDANCE WITH NEC 830.179 (A) OR (B).
17.	PREMISES - POWERED BROADBAND COMMUNICATIONS SYSTEMS EQUIPMENT & CABLES SHALL BE LISTED AND MARKED IN ACCORDANCE WITH NEC 840.179.

KEYED COMPONENT NOTES:	
1	EXISTING UTILITY SPLICE CABINET
2	NEW 25KVA, 120/240V, SINGLE PHASE PAD MOUNT TRANSFORMER BY UTILITY
3	NEW METER PEDESTAL WITH SERVICE DISCONNECT, BY UTILITY, 200A, 120/240V, SINGLE PHASE, NEMA 3R
4	INTEGRATED LOAD CENTER: GENERAC 200A, 2-POLE, SOLID-NEUTRAL AUTOMATIC TRANSFER SWITCH WITH DISTRIBUTION PANEL BUILT IN, PROVIDED BY VERIZON. SCCR = 25,000A.
5	NEW GENERAC 48KW STANDBY GENERATOR PROVIDED BY VERIZON WIRELESS. GENERATOR NEUTRAL SHALL NOT BE BONDED TO FRAME. IT SHALL BE SOLIDLY CONNECTED THROUGH TRANSFER SWITCH TO SERVICE NEUTRAL.

KEYED CONDUIT NOTES:	
1	NEW CONDUCTORS BY UTILITY.
2	2" C MINIMUM, (3) #3/0 THWN COPPER CONDUCTORS BY CONTRACTOR.
3	2" C MINIMUM, (3) #3/0 THWN COPPER CONDUCTORS, (1) #2 THWN COPPER GROUND BY CONTRACTOR.
4	-

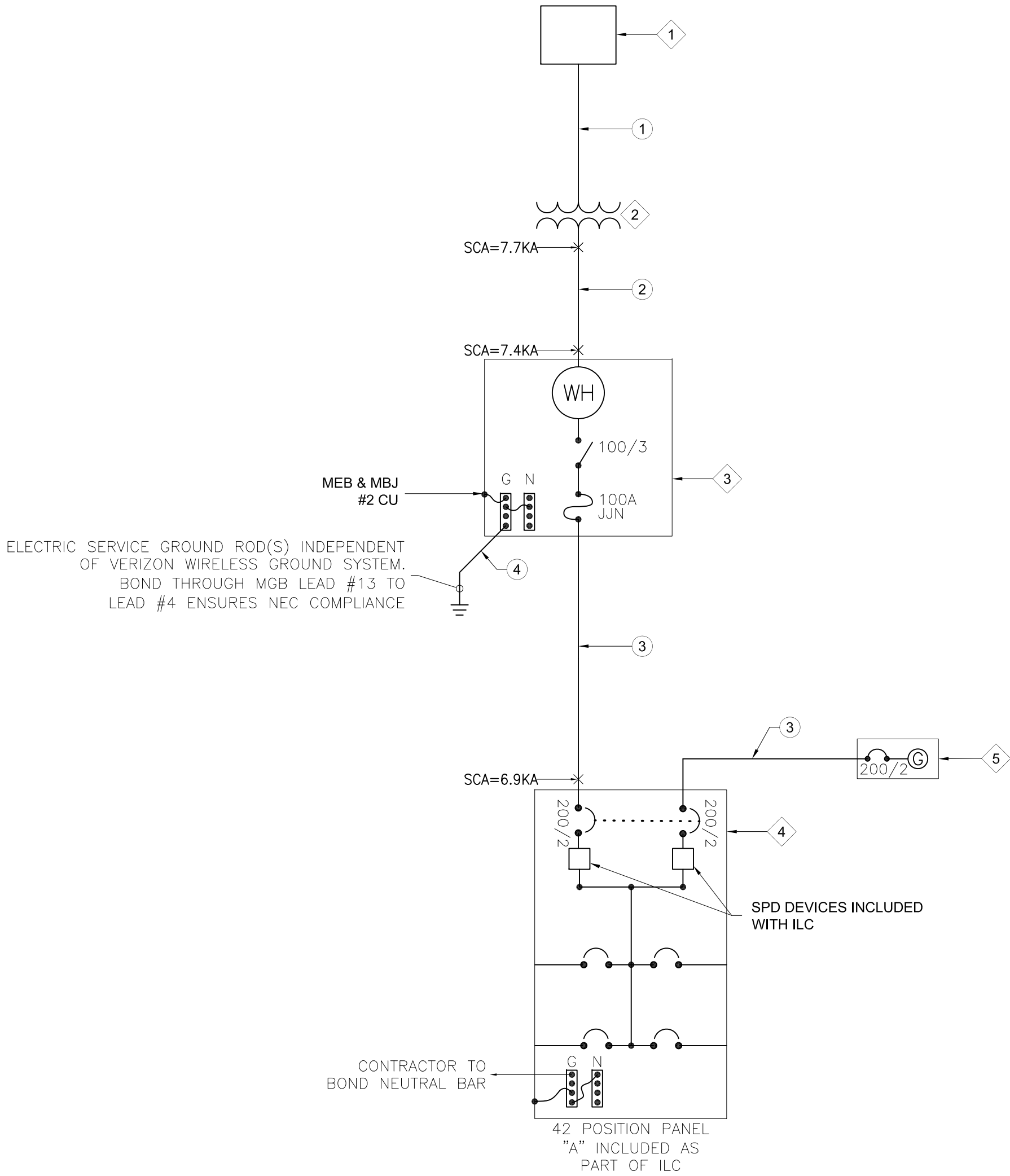
GENERAL GROUNDING NOTES:	
1	CONTRACTOR TO COMPLY WITH VERIZON WIRELESS CELL SITE GROUNDING & BONDING SPECIFICATIONS. IN THE EVENT THAT DRAWINGS CONFLICT WITH VERIZON WIRELESS SPECIFICATIONS, VERIZON WIRELESS SPECIFICATIONS SHALL GOVERN.
2	CONTRACTOR TO INSURE THAT ALL SITE GROUNDING MEETS NEC & LOCAL CODE REQUIREMENTS. IN THE EVENT LOCAL CODE OR NEC REQUIREMENTS CONFLICT W/LESSEE REQUIREMENTS THEN LOCAL CODE AND NEC SHALL GOVERN.

PCD FILE NUMBER PPR-20-022

SHORT CIRCUIT CALCULATIONS:	
POINT TO POINT METHOD FOR SHORT CIRCUIT CALCULATIONS ILLUSTRATED IN BUSSMAN MANUFACTURING PUBLICATION FORM SPD90.	
$I f.L = \frac{25 \times 1000}{240} = 104.167$	
$MULTIPLIER = \frac{100}{1.4} = 71.43$	
AVAILABLE SHORT CIRCUIT CURRENT FROM UTILITY = 7,741 A.	
FIND FACTOR f = $\frac{2.0 \times (\text{length in feet}) \times (\text{short circuit current})}{(\text{constant from Table C}) \times (\text{line-to-line voltage})}$	
$f = \frac{2.0 \times 10 \times 7.741}{13,923 \times 240} = 0.046$	
FIND FACTOR M = $\frac{1}{1+f}$ M = 0.956	
SHORT CIRCUIT CURRENT AT NEW UTILITY METER = M x AVAILABLE S.C. CURRENT	
I = 7,398 A.	
LENGTH IN FEET = 17	
FACTOR f = 0.075	
FACTOR M = 0.93	
SHORT CIRCUIT CURRENT AT PANEL 'VERIZON' = 6,880A	
$f = \frac{2.0 \times 17 \times 7.398}{13,923 \times 240} = 0.075$	

PANELBOARD SCHEDULE "VERIZON"						LOCATION: PER PLAN PANEL ASSEMBLY RATING: 22,000 A.I.C.	
VOLTAGE: 120/240V, 1Ø, 3W		MAINS: 200A, M.B.		MOUNTING: SURFACE		NEMA 3R ENCLOSURE	
USE AND/OR AREA SERVED	C/B	CIR NO.	LOAD ØA ØB	CIR NO.	C/B	USE AND/OR AREA SERVED	
RECTIFIER #1	20	1	1450	2	20	10,000 BTUH A/C #1	
		3	1320				
		5	1450				
RECTIFIER #2	20	5	1450	6	20	10,000 BTUH A/C #2	
		7	1320				
		9	1450				
RECTIFIER #3	20	9	1450	10	20	GFCI RECEPTACLE	
		11	360				
		13	1450				
RECTIFIER #4	20	13	1450	14	20	GENERATOR BATT. CHARGER	
		15	1500				
		17	180				
FUTURE RECTIFIER 5	20	17	1450	18	20	GFCI RECEPTACLE	
		19	180				
		21	1450				
FUTURE RECTIFIER 6	20	21	1450	22	-	SPACE	
		23	-				
		25	-				
SPACE	-	25	-	-	26	-	SPACE
SPACE	-	27	-	-	28	-	SPACE
SPACE	-	29	-	-	30	-	SPACE
SPACE	-	31	-	-	32	-	SPACE
SPACE	-	33	-	-	34	-	SPACE
SPACE	-	35	-	-	36	-	SPACE
SPACE	-	37	-	-	38	-	SPACE
SPACE	-	39	-	-	40	-	SPACE
SPACE	-	41	-	-	42	-	SPACE
TOTAL LOAD PER PHASE		13,380	13,200	26,580VA 240V = 110.8 AMPS			

PANEL SCHEDULE "VERIZON"



SINGLE LINE DIAGRAM

NOTICE:

- CONTRACTOR SHALL NOT SUBMIT BIDS OR PERFORM CONSTRUCTION WORK ON THIS PROJECT WITHOUT ACCESS TO THE CURRENT COMPLETE SET OF DRAWINGS LISTED IN THE TITLE-SHEET INDEX.

PRELIMINARY  
NOT FOR CONSTRUCTION

THESE DRAWINGS AND SURVEYS ARE COPYRIGHT PROTECTED AND THE SOLE PROPERTY OF J5 INFRASTRUCTURE PARTNERS, LLC AND PRODUCED FOR THE USE OF OUR CLIENT. ANY REPRODUCTION OR USE OF THE INFORMATION CONTAINED WITHIN SAID DOCUMENTS IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF J5 INFRASTRUCTURE PARTNERS.

DESIGNED FOR:  
**verizon**  
3131 SOUTH VAUGHN WAY, SUITE 550  
AURORA, COLORADO 80014

DESIGNED BY:  
**J5 INFRASTRUCTURE PARTNERS**

PROJECT NAME:  
CSP HIGBY (ALT A)  
NEW 70'-0" MONOPINE  
(OVERALL HEIGHT: 75'-0" A.G.L.)  
RAWLAND COMMUNICATION SITE

PROJECT ADDRESS:  
1480 EAST HIGBY ROAD  
MONUMENT, COLORADO 80132  
EL PASO COUNTY

SHEET TITLE:  
SINGLE-LINE DIAGRAM & NOTES

REV	DESCRIPTION	DATE	BY	CHK
A	PRELIMINARY - NOT FOR CONSTRUCTION	08/27/20	SB	LRP

SAVE DATE: 1/2/2020 8:39 AM  
SHEET NUMBER: E1

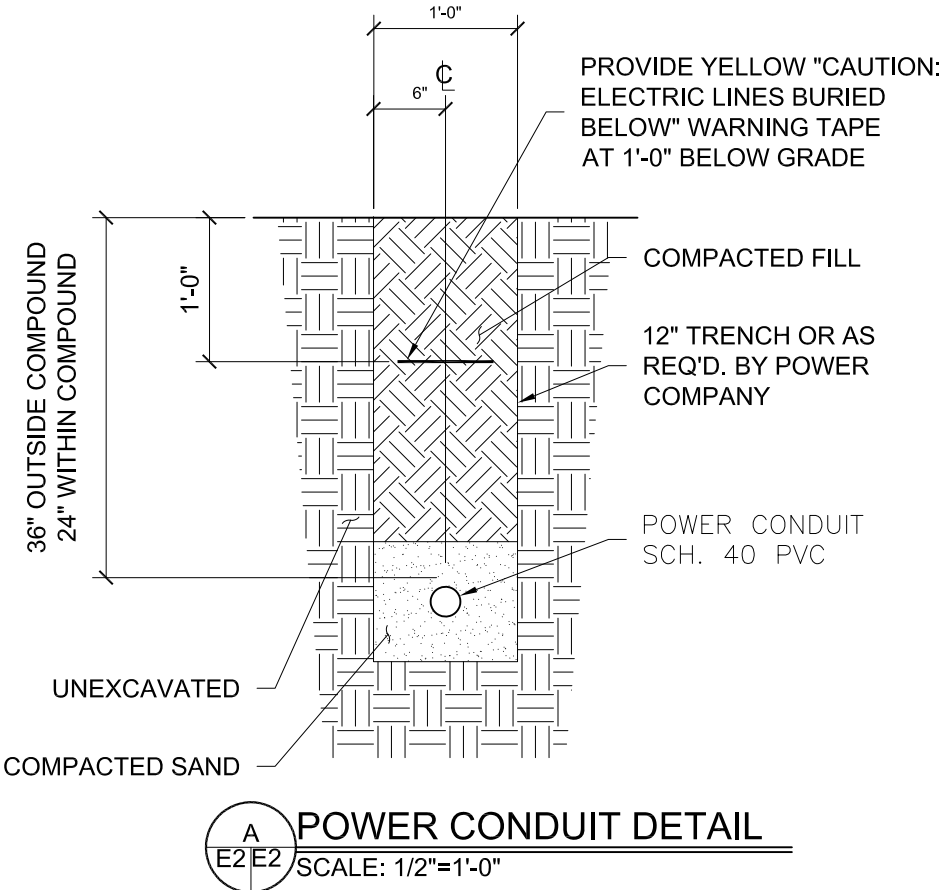


EXISTING  
WALL HATCH  
NEW WORK  
UTILITY EASEMENT  
ACCESS/UTILITY EASEMENT  
HYBRID CABLE/CAX  
DC POWER  
FIBER  
ANTENNAS  
RR/HBBU  
LEASE AREA  
EXISTING EASEMENT  
PENETRATIONS

KEYED COMPONENT NOTES:	
1	NEW 25KVA PAD MOUNT TRANSFORMER, BY UTILITY.
2	NEW METER PEDESTAL/SERVICE DISCONNECT SPECIFIED ON SINGLE-LINE DIAGRAM, BY CONTRACTOR.
3	NEW GENERAC 200A INTEGRATED LOAD CENTER, SPECIFIED ON SINGLE-LINE DIAGRAM, PROVIDED BY VERIZON. INSTALLED BY CONTRACTOR.
4	NEW GENERAC 48KW STANDBY GENERATOR, SPECIFIED ON SINGLE-LINE DIAGRAM, PROVIDED BY VERIZON WIRELESS.

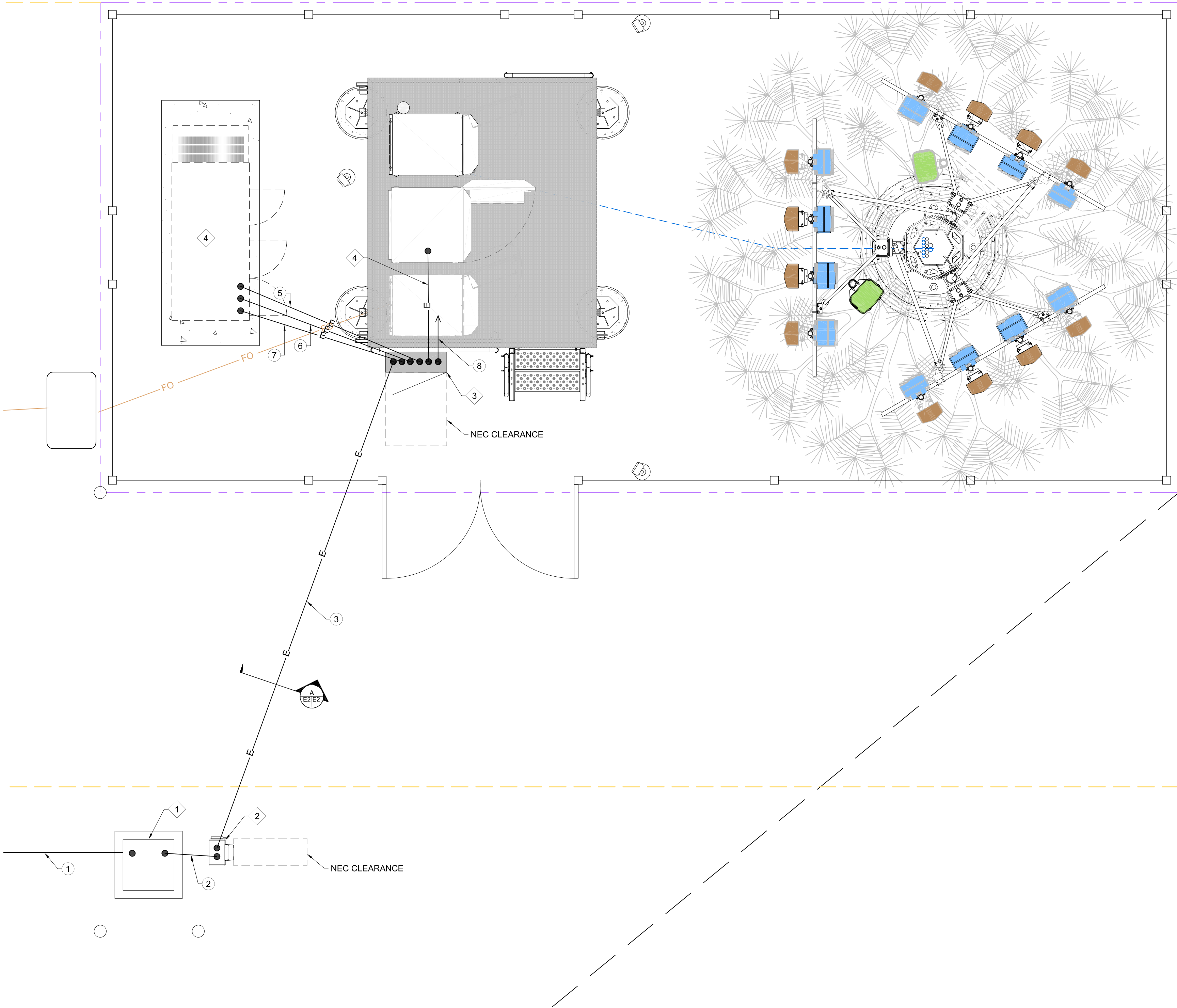
KEYED CONDUIT NOTES:	
1	NEW CONDUCTORS BY UTILITY
2	NEW CONDUIT & CONDUCTORS, SPECIFIED ON SINGLE-LINE DIAGRAM FROM NEW TRANSFORMER TO NEW METER PEDESTAL
3	NEW CONDUIT & CONDUCTORS, SPECIFIED ON SINGLE-LINE DIAGRAM FROM METER PEDESTAL TO ILC.
4	NEW CONDUIT & CONDUCTORS, SPECIFIED ON SINGLE-LINE DIAGRAM, FROM ILC TO VERIZON EQUIPMENT CABINET.
5	3/4" CONDUIT & BLOCK HEATER/BATTERY CHARGER CONDUCTORS FROM ILC TO GENERATOR.
6	3/4" CONDUIT & ALARM & CONTROL CONDUCTORS FROM GENERATOR TO ILC
7	NEW CONDUIT & CONDUCTORS SPECIFIED ON SINGLE-LINE DIAGRAM FROM GENERATOR TO ILC.
8	3/4" CONDUIT & ALARM CONDUCTORS TO VERIZON WIRELESS ALARM PANEL.

NOTES:	
1.	CONTRACTOR TO PROVIDE AND INSTALL (3) QUARTZ HALOGEN OR LED OUTDOOR FLOOD LIGHTS TO BE CONTROLLED OF A TIMER SWITCH MOUNTED ADJACENT TO THE ILC.



NOTICE:	
1.	CONTRACTOR SHALL NOT SUBMIT BIDS OR PERFORM CONSTRUCTION WORK ON THIS PROJECT WITHOUT ACCESS TO THE CURRENT COMPLETE SET OF DRAWINGS LISTED IN THE TITLE-SHEET INDEX.

PCD FILE NUMBER PPR-20-022



3'-0" 0 3'-0"  
2 1  
SCALE: 3/8" = 1'-0"

ELECTRICAL SITE PLAN



THESE DRAWINGS AND SURVEYS ARE COPYRIGHT PROTECTED AND THE SOLE PROPERTY OF J5 INFRASTRUCTURE PARTNERS, LLC AND PRODUCED FOR THE USE OF OUR CLIENT. ANY REPRODUCTION OR USE OF THE INFORMATION CONTAINED WITHIN SAID DOCUMENTS IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF J5 INFRASTRUCTURE PARTNERS.

DESIGNED FOR:

**verizon**

3131 SOUTH VAUGHN WAY, SUITE 550  
AURORA, COLORADO 80014

DESIGNED BY:

**J5 INFRASTRUCTURE**  
P A R T N E R S

PROJECT NAME:

CSP HIGBY (ALT A)  
NEW 70'-0" MONOPINE  
(OVERALL HEIGHT: 75'-0" A.G.L.)  
RAWLAND COMMUNICATION SITE

PROJECT ADDRESS:

1480 EAST HIGBY ROAD  
MONUMENT, COLORADO 80132  
EL PASO COUNTY

SHEET TITLE:

ELECTRICAL SITE PLAN

REV	DESCRIPTION	DATE	BY	CHK
A	PRELIMINARY - NOT FOR CONSTRUCTION	08/27/20	SB	LRP

SAVE DATE:  
1/2/2020 8:39 AM

SHEET NUMBER:

E2

PRELIMINARY  
NOT FOR CONSTRUCTION

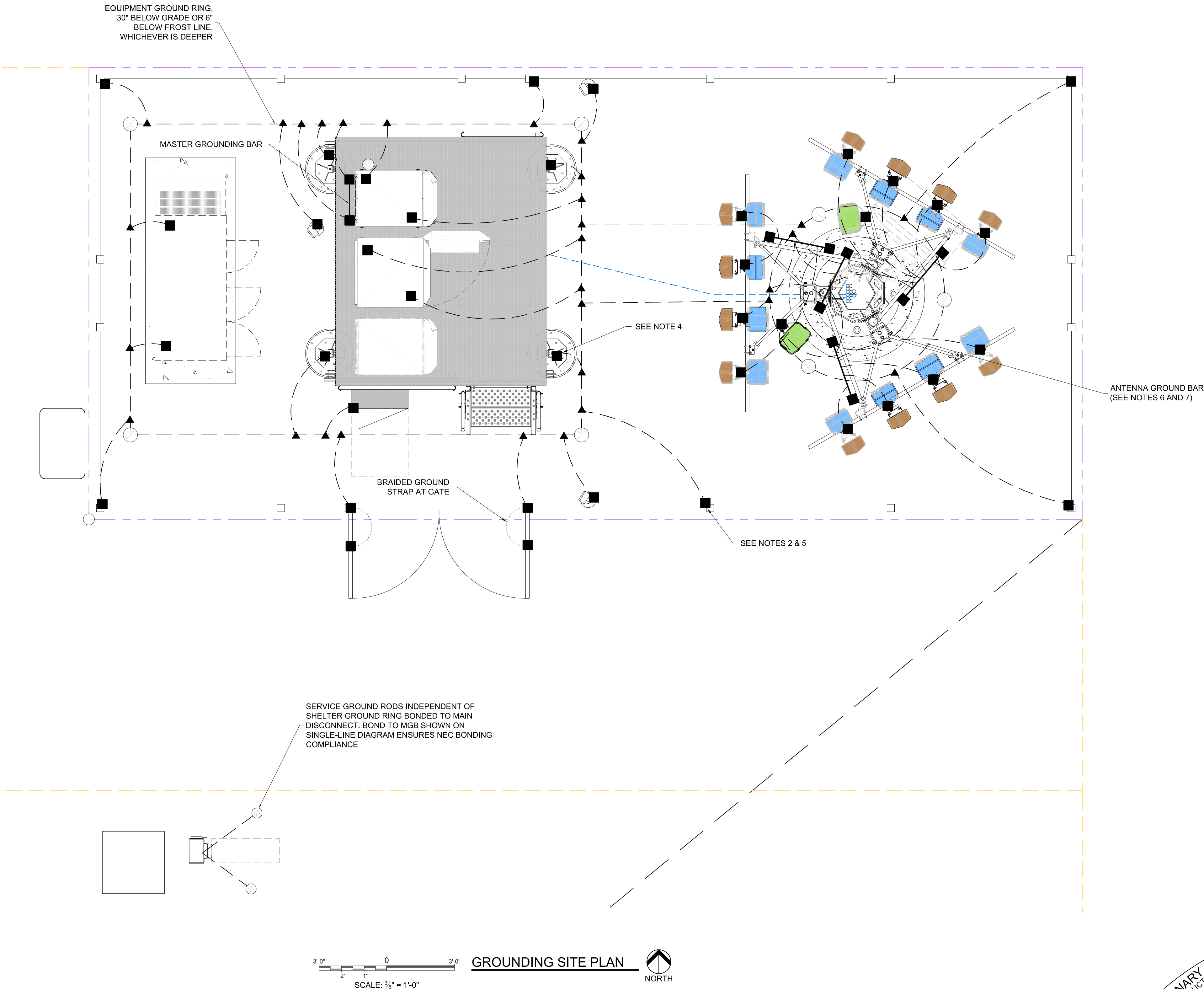


EXISTING  
WALL HATCH  
NEW WORK  
UTILITY EASEMENT  
ACCESS/UTILITY EASEMENT  
HYBRID CABLE/COAX  
DC POWER  
FIBER  
ANTENNAS  
RR/HBBU  
LEASE AREA  
EXISTING EASEMENT  
PENETRATIONS

- NOTES:**
1. ALL EXTERIOR GROUND BARS SHALL BE GALVANIZED STEEL AND SHALL HAVE ALARM CONNECTIONS FOR THEFT PREVENTION PER LESSEE GROUNDING STANDARD NSTD46 REV 2-1-11, SECTION 5.3.
  2. CONTRACTOR TO BOND ANY METALLIC ITEMS WITHIN 6' OF VERIZON WIRELESS EQUIPMENT, SHELTER OR GROUND RING TO VERIZON WIRELESS GROUND RING.
  3. THE GROUNDING DIAGRAM SHOWN HERE IS SOMEWHAT SCHEMATIC IN NATURE AND MANY OF THE GROUNDING CONDUCTORS ARE SHOWN WITH A CURVE TO THEM. THIS IS SIMPLY TO INSURE THAT THEY STAND OUT FROM LEASE LINES, FENCE LINES AND SHELTER LINES ETC. ALL GROUNDING AND BONDING CONDUCTORS SHOULD BE INSTALLED IN AS STRAIGHT A LINE AS POSSIBLE. ANY BENDS THAT ARE REQUIRED IN GROUNDING OR BONDING CONDUCTORS SHOULD HAVE A RADIUS NO LESS THAN 12".
  4. BONDING JUMPERS FROM REBAR CAGE AND ANCHOR BOLT TO GROUND RING SHOULD ATTACH AT LOCATIONS ALLOWING JUMPERS TO BE CLOSE TO HORIZONTAL AS POSSIBLE.
  5. SOME FENCE POSTS BETWEEN CORNER POSTS SHALL BE BONDED TO GROUNDING SYSTEM SO THAT MAXIMUM DISTANCE BETWEEN BONDED POSTS DOES NOT EXCEED 20'.
  6. EACH ANTENNA SECTOR FRAME SHALL BE BONDED TO VERIZON GROUNDING SYSTEM WITH MINIMUM OF (2) BONDS. BONDS SHALL BE INSTALLED IN OPPOSITE SIDES OF COAX CABLE TRAY IS NOT USED.
  7. CONTRACTOR TO LOCATE GROUND BAR FOR SECTOR FRAME AT LOCATION THAT PERMITS GROUNDING COAX FOR FRAME WITHOUT GROUNDING KIT PIGTAILS BENDING BACK ON THEMSELVES. PER VERIZON STANDARDS.

PCD FILE NUMBER PPR-20-022

GROUNDING LEGEND:	
▲	CADWELD CONNECTION
■	MECHANICAL CONNECTION
○	5/8"X8" CU CLAD STEEL GROUND ROD
---	#2 SOLID, TINNED, BARE COPPER



- NOTICE:**
1. CONTRACTOR SHALL NOT SUBMIT BIDS OR PERFORM CONSTRUCTION WORK ON THIS PROJECT WITHOUT ACCESS TO THE CURRENT COMPLETE SET OF DRAWINGS LISTED IN THE TITLE-SHEET INDEX.

THESE DRAWINGS AND SURVEYS ARE COPYRIGHT PROTECTED AND THE SOLE PROPERTY OF J5 INFRASTRUCTURE PARTNERS, LLC AND PRODUCED FOR THE USE OF OUR CLIENT. ANY REPRODUCTION OR USE OF THE INFORMATION CONTAINED WITHIN SAID DOCUMENTS IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF J5 INFRASTRUCTURE PARTNERS.

DESIGNED FOR:  
**verizon**  
3131 SOUTH VAUGHN WAY, SUITE 550  
AURORA, COLORADO 80014

DESIGNED BY:  
**J5 INFRASTRUCTURE PARTNERS**

PROJECT NAME:  
CSP HIGBY (ALT A)  
NEW 70'-0" MONOPINE  
(OVERALL HEIGHT: 75'-0" A.G.L.)  
RAWLAND COMMUNICATION SITE

PROJECT ADDRESS:  
1480 EAST HIGBY ROAD  
MONUMENT, COLORADO 80132  
EL PASO COUNTY

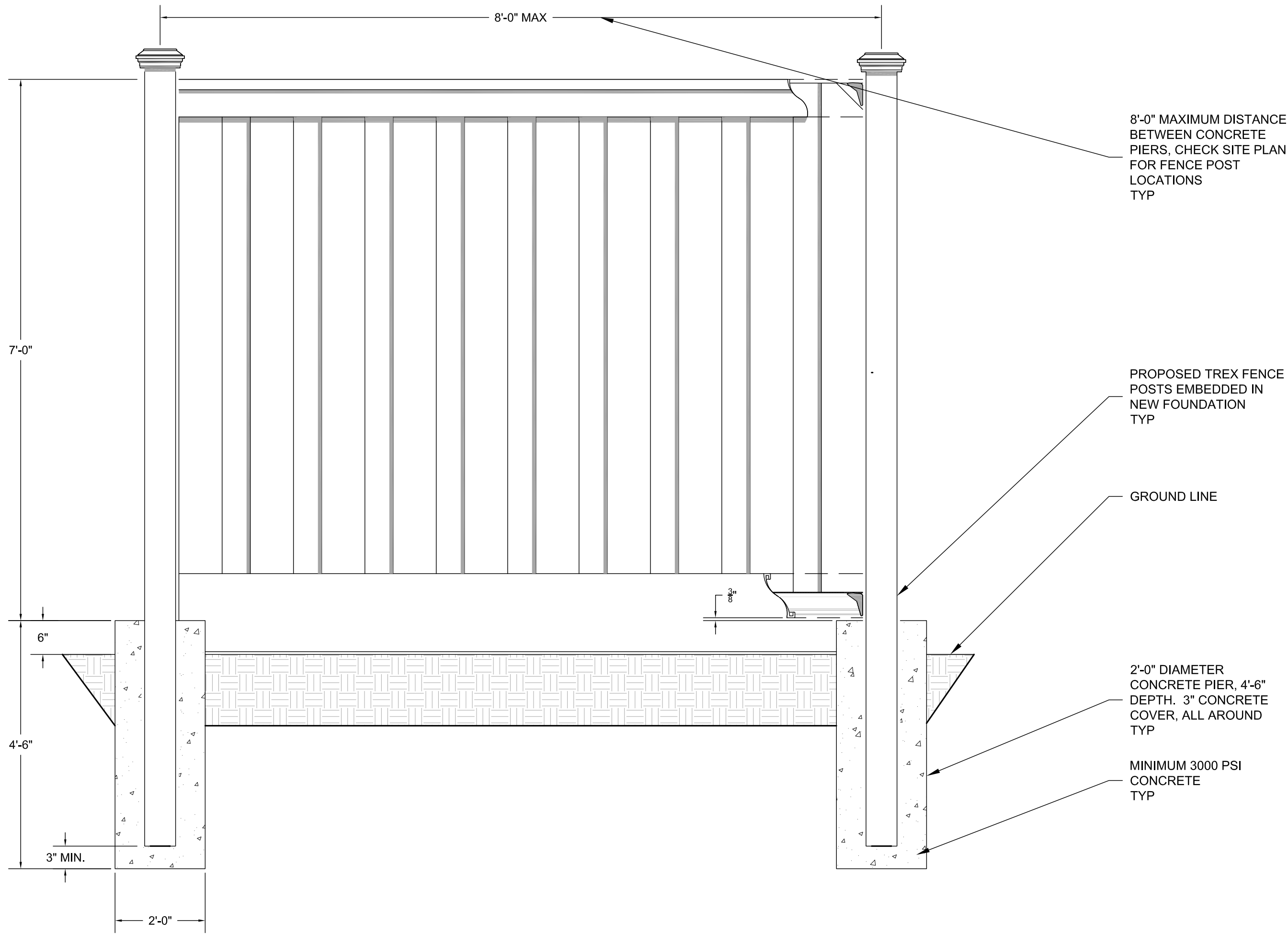
SHEET TITLE: GROUNDING SITE PLAN				
REV	DESCRIPTION	DATE	BY	CHK
A	PRELIMINARY - NOT FOR CONSTRUCTION	08/27/20	SB	LRP
SAVE DATE: 1/2/2020 8:39 AM		SHEET NUMBER: G1		

PRELIMINARY  
NOT FOR CONSTRUCTION





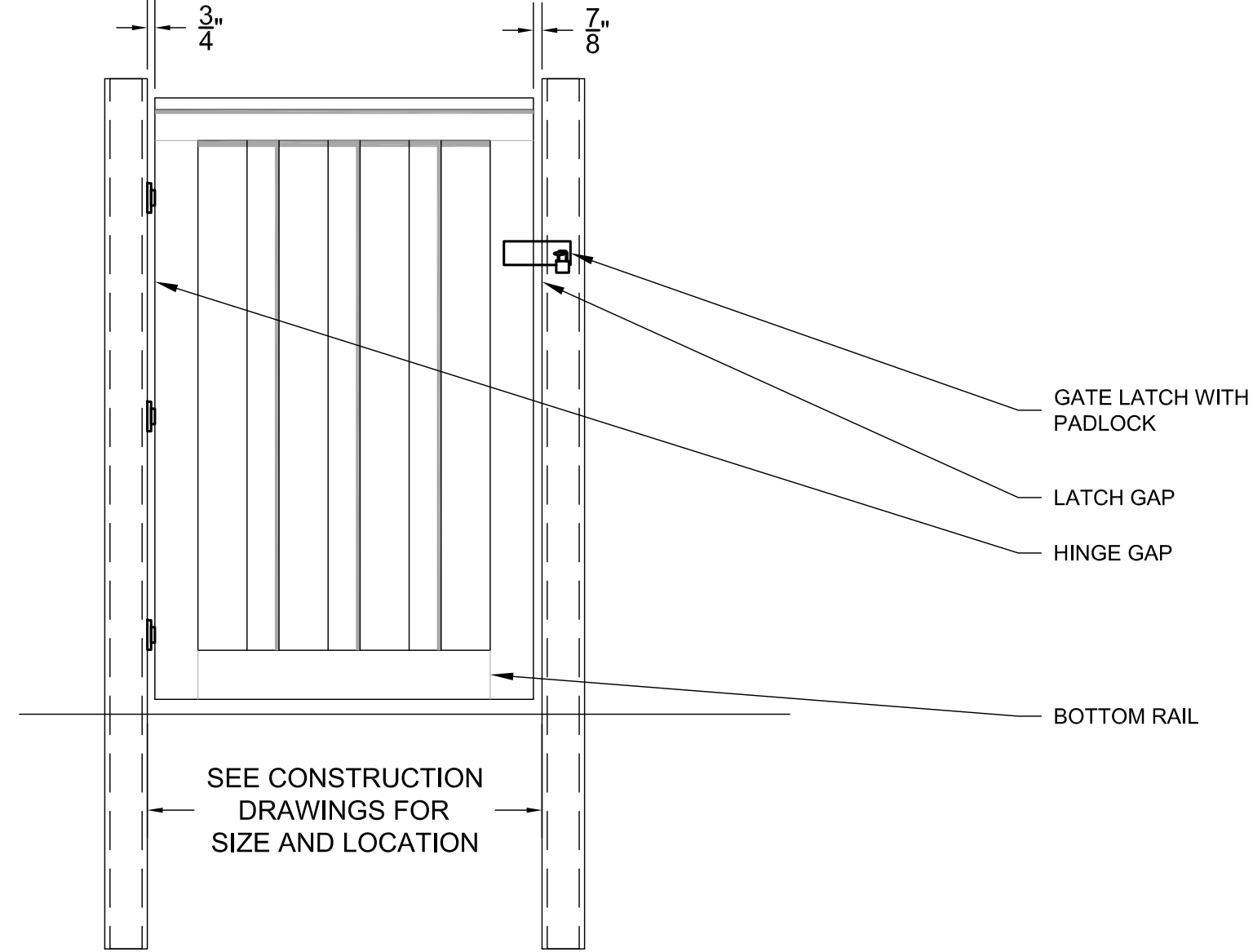




1 S-1 FENCE (ELEVATION) N.T.S.

NOTES:

1. INSTALLATION TO BE COMPLETED PER MANUFACTURER'S SPECIFICATION.
2. THIS DRAWING IS PROVIDED FOR PLANNING PURPOSES. REFER TO MANUFACTURER'S INSTALLATIONS FOR CONSTRUCTION DETAILS.
3. REFER TO MANUFACTURER'S WEBSITE FOR PRODUCT INFORMATION.
4. DRAWING NOT TO SCALE.



2 S-1 FENCE GATE N.T.S.

NOTES:

1. INSTALLATION TO BE COMPLETED PER MANUFACTURER'S SPECIFICATION.
2. THIS DRAWING IS PROVIDED FOR PLANNING PURPOSES. REFER TO MANUFACTURER'S INSTALLATIONS FOR CONSTRUCTION DETAILS.
3. REFER TO MANUFACTURER'S WEBSITE FOR PRODUCT INFORMATION.
4. DRAWING NOT TO SCALE.

GENERAL STRUCTURAL NOTES:

1. DESIGN INFORMATION AND GENERAL REQUIREMENTS

1.1 CODES

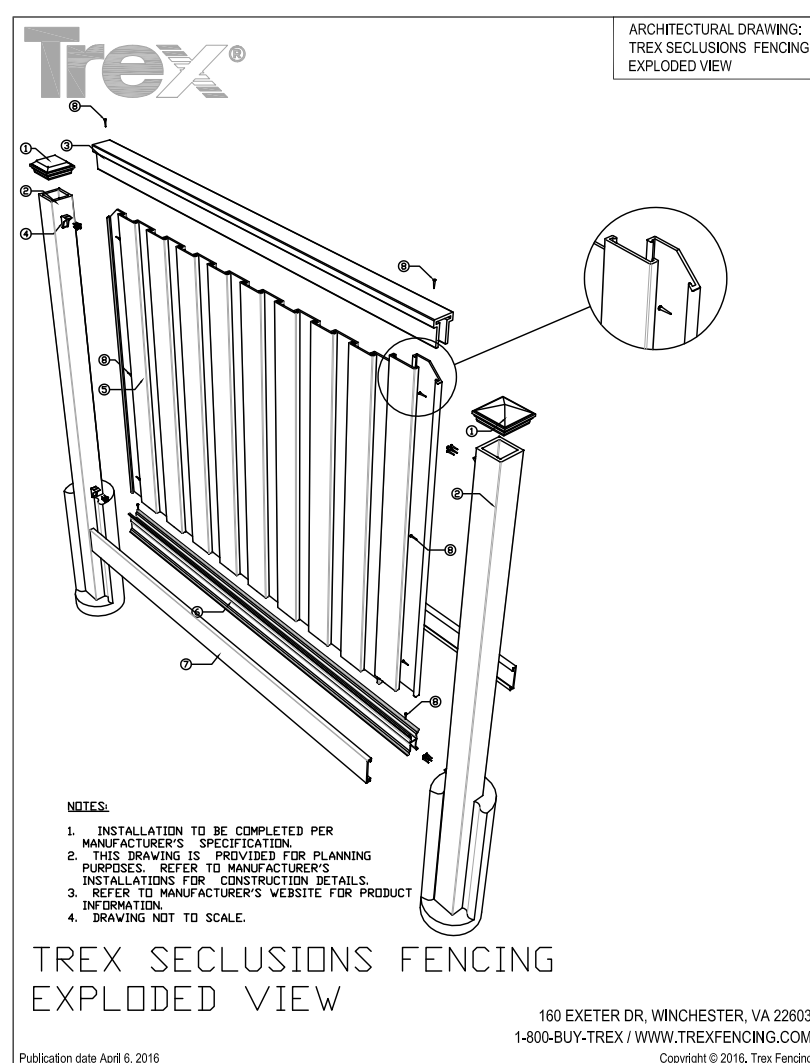
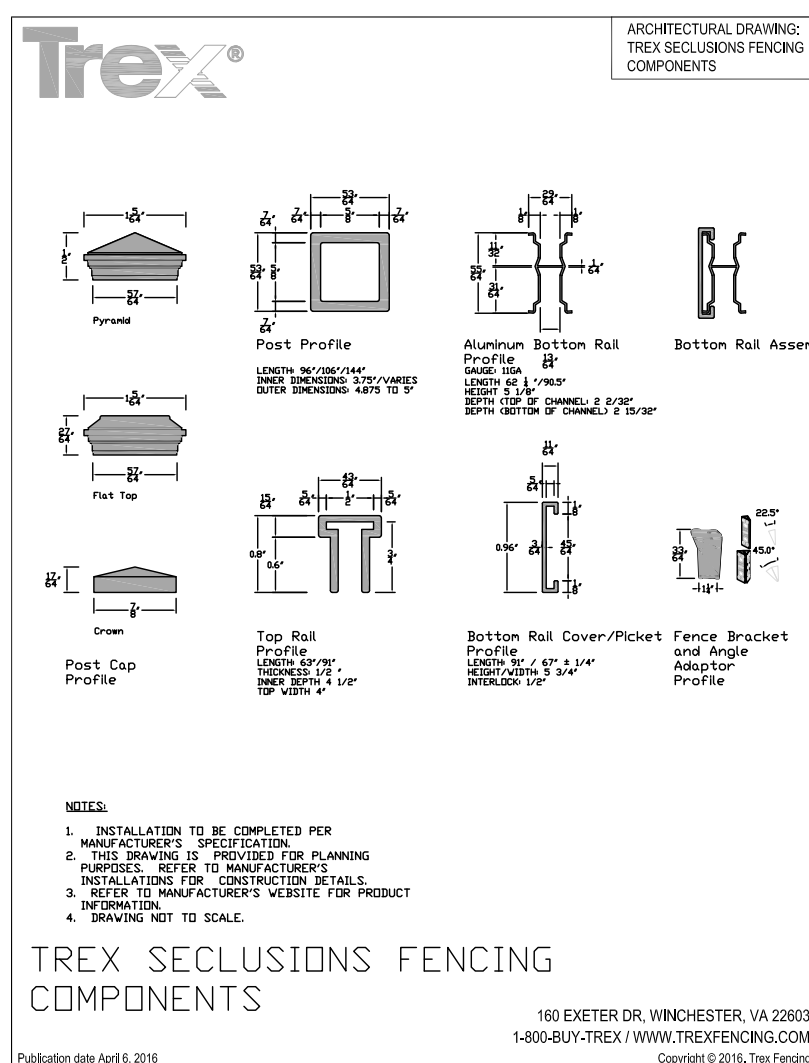
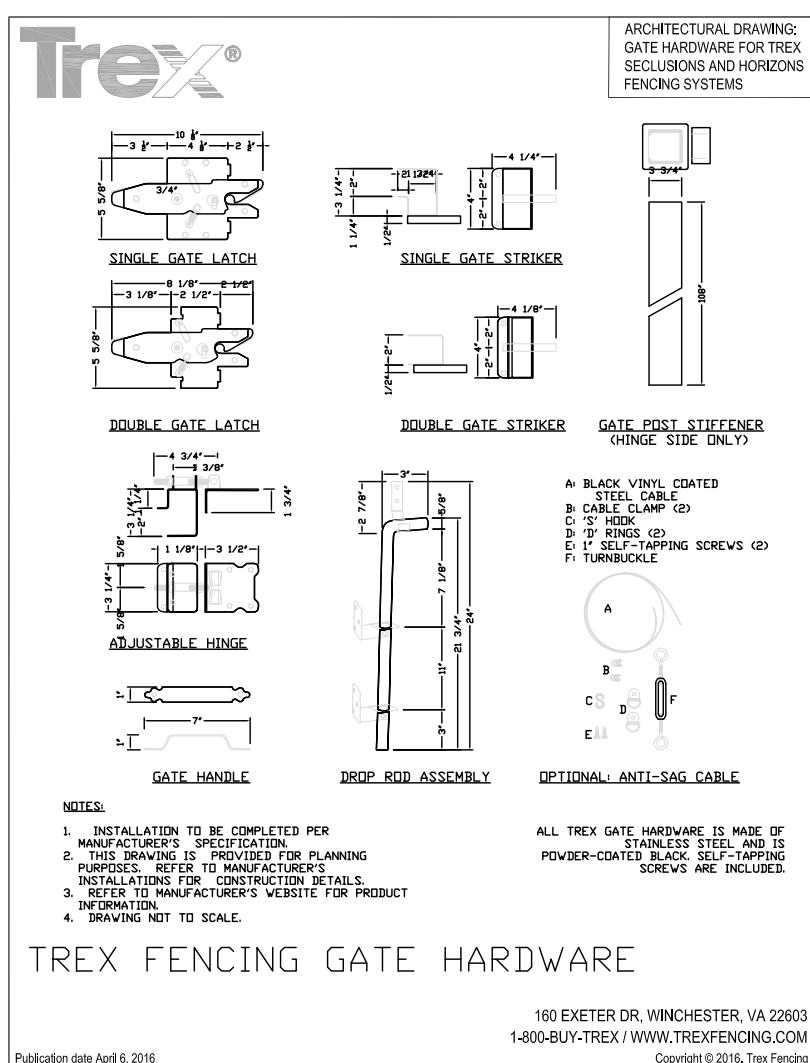
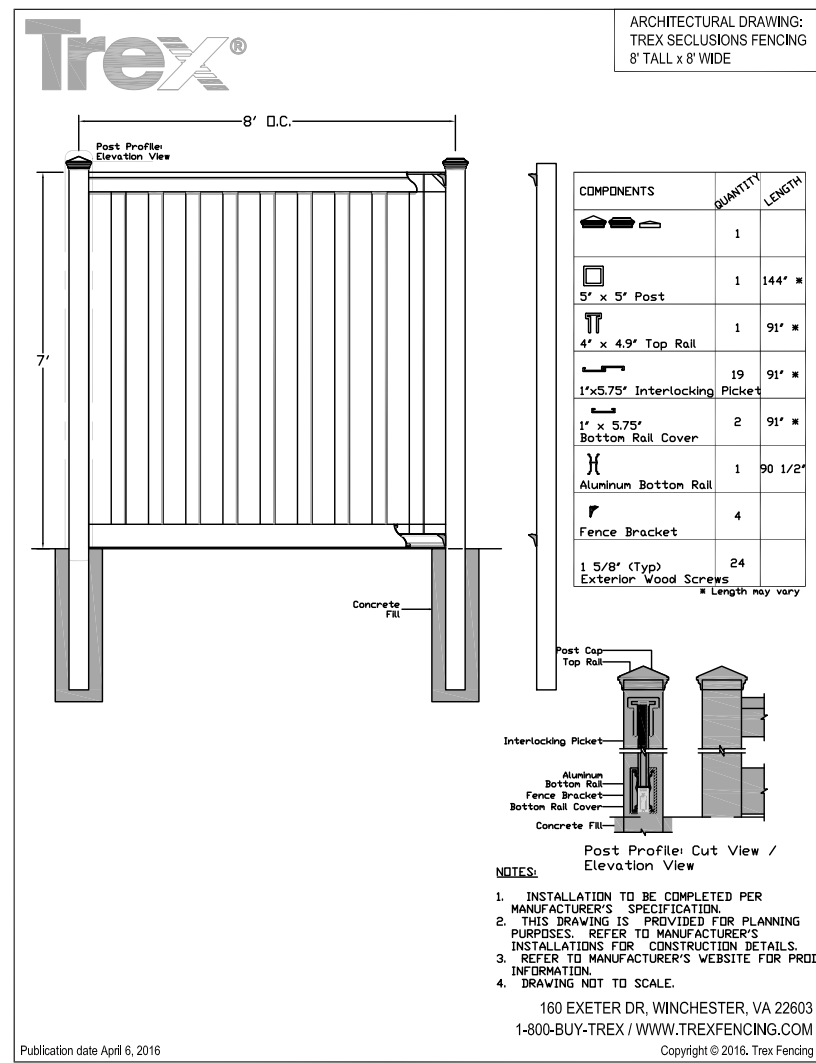
- a. DESIGN TO CONFORM TO 2017 PIKES PEAK REIGONAL BUILDING CODE AND 2015 INTERNATIONAL BUILDING CODE, W/ LOCAL AMENDMENTS.
- b. AMERICAN CONCRETE INSTITUTE (ACI), BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE 318.
- c. ALL DESIGNS SHOULD CONFORM TO ABOVE CODES AND ARE CERTIFIED BY A STRUCTURAL ENGINEER.

1.2 LOADS

- a. WIND LOAD SHALL BE 130 MPH ULTIMATE BASED ON PIKES PEAK REGIONAL BUILDING CODE.

1.3 MISCELLANEOUS

- a. CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND EXISTING CONDITIONS PRIOR TO PROCEEDING WITH THE WORK.
- b. REFER TO STRUCTURAL ANALYSIS FOR CHECK OF PROPOSED CONCRETE PIERS.
- c. ALL MEANS AND METHODS ARE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL CONFORM TO REQUIRED CODES AND NOTES WITHIN THIS CONSTRUCTION SET.



PROJECT #: DK19-0338

REVISION SCHEDULE

REV	DATE	BY	DESCRIPTION
0	12-30-2019	DR	FENCE DRAWINGS

DRAWING TITLE:

FENCE AND  
FOUNDATION

DRAWING SHEET:

S-1

SHEET NUMBER:

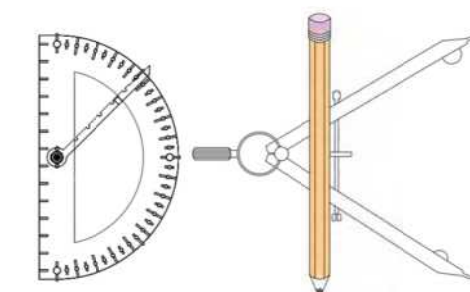
1 OF 1

SITE INFORMATION:

SITE NAME:  
CSP HIGBY

SITE ADDRESS:  
1480 EAST HIGBY ROAD,  
MONUMENT, CO 80132

JURISDICTION:  
PIKES PEAK REGIONAL  
BUILDING DEPARTMENT



STRUCTURAL ENGINEERING

DANIEL F. RECKERT, P.E.  
COLORADO PROFESSIONAL ENGINEER  
LICENSE # 52731 (EXP. 10/31/2021)

5023 W. 120TH AVE SUITE #110  
BROOMFIELD, COLORADO 80020  
PH: (972) 839-4522  
PM@DKSTRUCTURAL.COM

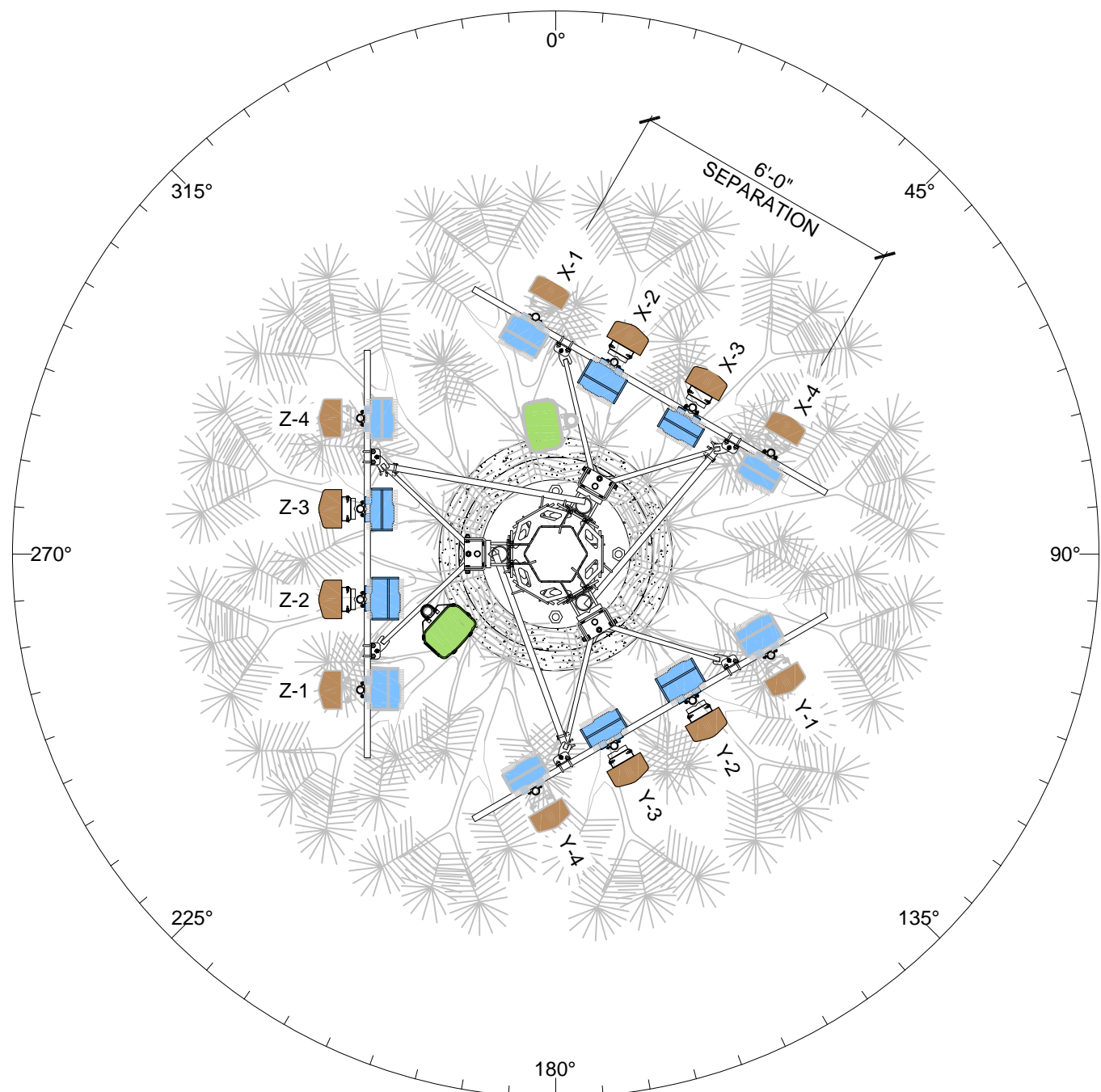


## NEW VERIZON ANTENNA SCHEDULE:

ATTACH LEVEL (COR)	AZIMUTHS (DEG., MN)	ANTENNA TYPE	ANTENNA QUANTITY	MOUNT TYPE	COAX (QUANTITY) SIZE (NOMINAL)	ESTIMATED COAX CABLE LENGTH	MECHANICAL DOWN TILT
65°-0"	30° 150°	ANDREW NHH-65C-R2B 6' PANEL ANTENNA	4	SEE ANTENNA MOUNT SCHEDULE	(1) LOW INDUCTANCE HYBRID CABLES (NEW) +	SEE PLUMBING DIAGRAM	-
	270°	COMMSCOPE NHH-65B-R2B 6' PANEL ANTENNA	2		(1) LOW INDUCTANCE HYBRID CABLES (FUTURE)		
	30° 150° 270°	6' PANEL ANTENNA	6 (FUTURE)				

NOTES:

- |    |   |
|----|---|
| 1. | FOR EXACT ANTENNA INFORMATION REFER TO THE RF DESIGN.   |
| 2. | ALL NEW COAX SHALL BE INSTALLED ON INSIDE OF NEW MONOPINE.  |
| 3. | CONTRACTOR TO INSTALL DIPLEXERS IN SHELTER AND ON TOWER AS REQUIRED BY RF DESIGN (IF APPLICABLE). |
| 4. | NEW AND/OR FUTURE VERIZON MICROWAVES NOT SHOWN FOR CLARITY.                                       |



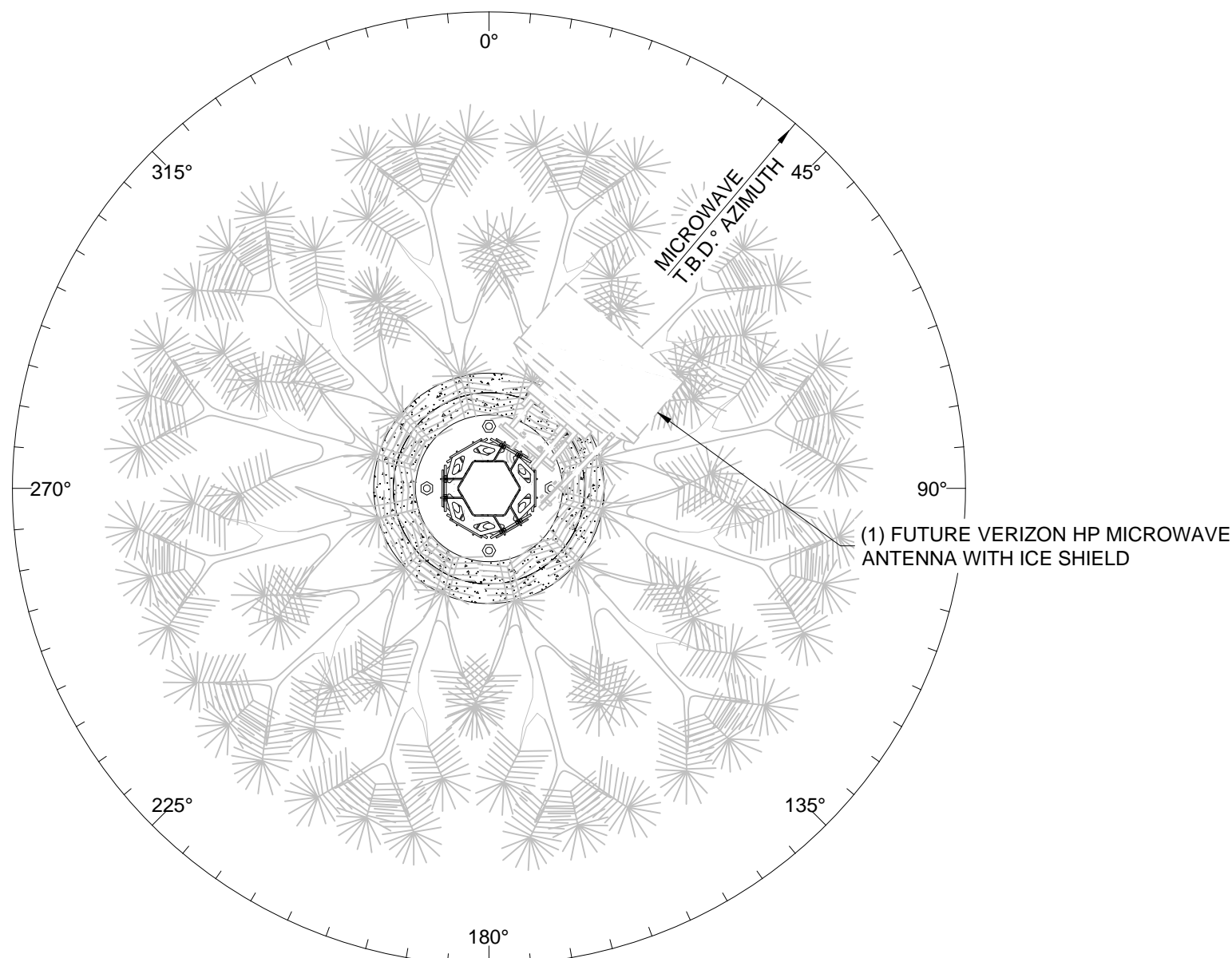
**ANTENNA SECTION @ 65'-0"**  
SCALE: N.T.S.

### **FUTURE VERIZON MICROWAVE SCHEDULE:**

ATTACH LEVEL (COR)	AZIMUTHS (DEG., TN)	ANTENNA TYPE	ANTENNA QUANTITY	MOUNT TYPE	COAX (QUANTITY) SIZE (NOMINAL)	ESTIMATED COAX CABLE LENGTH	FACING
54'-0"	T.B.D.	4'-0" HP MICROWAVE	1	SEE ANTENNA MOUNT SCHEDULE	T.B.D.	T.B.D.	T.B.D.

**NOTES:**

- |    |  |
|----|--|
| 1. | FOR EXACT MICROWAVE INFORMATION REFER TO THE MICROWAVE DESIGN. |
|----|--|



**MICROWAVE SECTION @ T.B.D.**  
SCALE: N.T.S.

PCD FILE NUMBER PPR-20-022

## ANTENNA COLOR CODES

ANTENNA FUNCTION	ANTENNA SECTOR					
	X		Y		Z	
	FIRST STRIPE	SECOND STRIPE	FIRST STRIPE	SECOND STRIPE	FIRST STRIPE	SECOND STRIPE
800 VOICE	WHITE/RED	WHITE/YELLOW	BLUE/RED	BLUE/YELLOW	GREEN/RED	GREEN/YELLOW
800 EVDO	WHITE/2 RED	WHITE/2 YELLOW	BLUE/2 RED	BLUE/2 YELLOW	GREEN/2 RED	GREEN/2 YELLOW
800 LTE	WHITE/3 RED	WHITE/3 YELLOW	BLUE/3 RED	BLUE/3 YELLOW	GREEN/3 RED	GREEN/3 YELLOW
1900 EVDO	PURPLE/RED	PURPLE/YELLOW	ORANGE/RED	ORANGE/YELLOW	BROWN/RED	BROWN/YELLOW
1900 VOICE	PURPLE/2 RED	PURPLE/2 YELLOW	ORANGE/2 RED	ORANGE/2 YELLOW	BROWN/2 RED	BROWN/2 YELLOW

**NOTICE:**

- |    |   |
|----|---|
| 1. | CONTRACTOR SHALL NOT SUBMIT BIDS OR PERFORM CONSTRUCTION WORK ON THIS PROJECT WITHOUT ACCESS TO THE CURRENT COMPLETE SET OF DRAWINGS LISTED IN THE TITLE-SHEET INDEX. |
|----|---|

## ANTENNA COLOR CODE:

ANTENNA FUNCTION	COLOR
CDMA-800 B-BAND	RED
CDMA-800 A-BAND	WHITE
PCS-1900	YELLOW
LTE-700	PURPLE
ANTENNA SECTOR	
X	GREEN
Y	ORANGE
Z	BROWN

### ANTENNA MOUNT SCHEDULE:

QUANTITY	DESCRIPTION	PART NUMBER(S)
1	10'-6" FACE, SECTOR FRAME • (2) RING MOUNTS • (12) 96" PIPES • (3) SECTOR FRAMES • PIPE MOUNTS • STIFF ARM	MCQG23HD-10M-12-96
NOTE: ALL PRODUCTS ARE FROM "COMMSCOPE, INC OF NORTH CAROLINA" WWW.COMMSCOPE.COM		

## GENERAL ANTENNA NOTES:

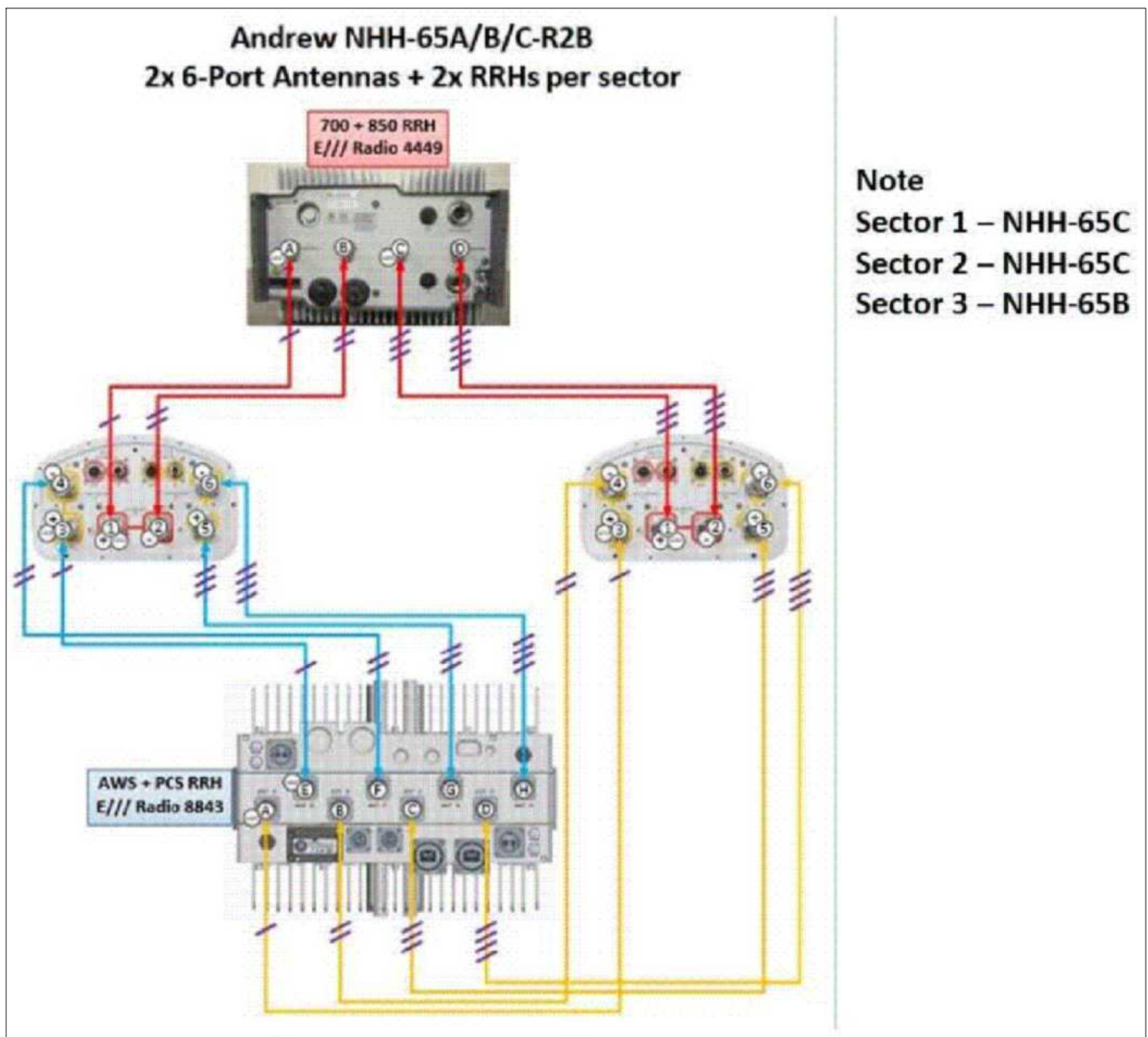
- |    |  |
|----|--|
| 1. | DUAL POLAR ANTENNAS REQUIRE TWO RUNS OF COAX PER ANTENNA.  |
| 2. | LENGTHS GIVEN ON THIS CHART ARE ESTIMATED FROM AVAILABLE INFORMATION.  |
| 3. | TYPES AND SIZES OF THE ANTENNA CABLES ARE BASED ON THE ESTIMATED LENGTH OF THE CABLES. CONTRACTOR TO VERIFY ALL ACTUAL LENGTHS IN FIELD PRIOR TO INSTALLATION AND NOTIFY THE FIELD ENGINEER FOR VERIFICATION OF SIZES OF CABLES. |
| 4. | CONTRACTOR TO PROVIDE AS BUILT FOR THE LENGTH OF CABLES UPON COMPLETION OF INSTALLATION.   |
| 5. | CONTRACTOR TO PROVIDE FINAL CABLE LENGTHS AND RETURN LOSSES FOR ALL CABLES.  |
| 6. | ALL AZIMUTHS REFERENCE TRUE NORTH. CONSULT REQUIRED QUADRANGLE MAP FOR NECESSARY MECHANICAL DECLINATION.   |

**DIAGRAM ABBREVIATIONS:**

T.O.M.=	TOP OF MONOPINE
O.E.C.=	OUTDOOR EQUIPMENT CABINET
RRH=	REMOTE RADIO HEAD
PDF=	POWER DISTRIBUTION FRAME
LTE=	LTE PANEL ANTENNA
AWS=	AWS PANEL ANTENNA
PCS=	PCS PANEL ANTENNA

### NEW HYBRID CABLE LENGTHS:

FROM (MAIN OVP) TO (MAIN OVP)				
MAIN TRUNK	SECTOR	CABLE/COAX SIZE (NOMINAL)	CABLE/COAX (QUANTITY)	ESTIMATED CABLE/COAX LENGTH
	-	HYB 6X12	1	~105'
	-	HYB 6X12	1	~105'
FROM (MAIN OVP) TO (RRH)				
RRH JUMPERS	SECTOR	CABLE/COAX SIZE (NOMINAL)	CABLE/COAX (QUANTITY)	ESTIMATED CABLE/COAX LENGTH
	X	HYB 1X1	1	~12'
		HYB 1X1	1	~12'
		HYB 1X1	1	~12'
		HYB 1X1	1	~12'
	Y	HYB 1X1	1	~13'
		HYB 1X1	1	~13'
		HYB 1X1	1	~13'
		HYB 1X1	1	~13'
	Z	HYB 1X1	1	~12'
		HYB 1X1	1	~12'
		HYB 1X1	1	~12'
HYB 1X1		1	~12'	
FROM (RRH) TO (ANTENNAS)				
ANTENNA JUMPERS	SECTOR	CABLE/COAX SIZE (NOMINAL)	CABLE/COAX (QUANTITY)	ESTIMATED CABLE/COAX LENGTH
	X	½"Ø	16	CUT TO FIT
		½"Ø	16	CUT TO FIT
		½"Ø	16	CUT TO FIT
	Y	½"Ø	16	CUT TO FIT
		½"Ø	16	CUT TO FIT
		½"Ø	16	CUT TO FIT
	Z	½"Ø	16	CUT TO FIT
½"Ø		16	CUT TO FIT	



**Note**  
Sector 1 – NHH-65C  
Sector 2 – NHH-65C  
Sector 3 – NHH-65B

## RRH HYBRID CABLE DIAGRAM AND CHART

SCALE: N.T.S.

**APPROVED**  
FOR LEASING/ZONING

THESE DRAWINGS AND SURVEYS ARE COPYRIGHT PROTECTED AND THE SOLE PROPERTY OF J5 INFRASTRUCTURE PARTNERS, LLC AND PRODUCED FOR THE USE OF OUR CLIENT. ANY REPRODUCTION OR USE OF THE INFORMATION CONTAINED WITHIN SAID DOCUMENTS IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF J5 INFRASTRUCTURE PARTNERS.

DESIGNED FOR:

**verizon** 

3131 SOUTH VAUGHN WAY, SUITE 550  
AURORA, COLORADO 80014

DESIGNED BY:

**J5 INFRASTRUCTURE**  
P A R T N E R

PROJECT NAME: CSP HIGBY (ALT A)  
NEW 70'-0" MONOPINE  
(OVERALL HEIGHT: 75'-0" A.G.L.)  
RAWLAND COMMUNICATION SITE

PROJECT ADDRESS: 1480 EAST HIGBY ROAD  
MONUMENT, COLORADO 80132  
EL PASO COUNTY

SHEET TITLE: ANTENNA INFORMATION & RRH  
HYBRID CABLE DIAGRAM & CHART

REV	DESCRIPTION	DATE	BY	CHK
0	APPROVED FOR LEASING & ZONING	08/28/20	MKR	

SAVE DATE: 8/28/2020 3:11 PM
 SHEET NUMBER: RF1