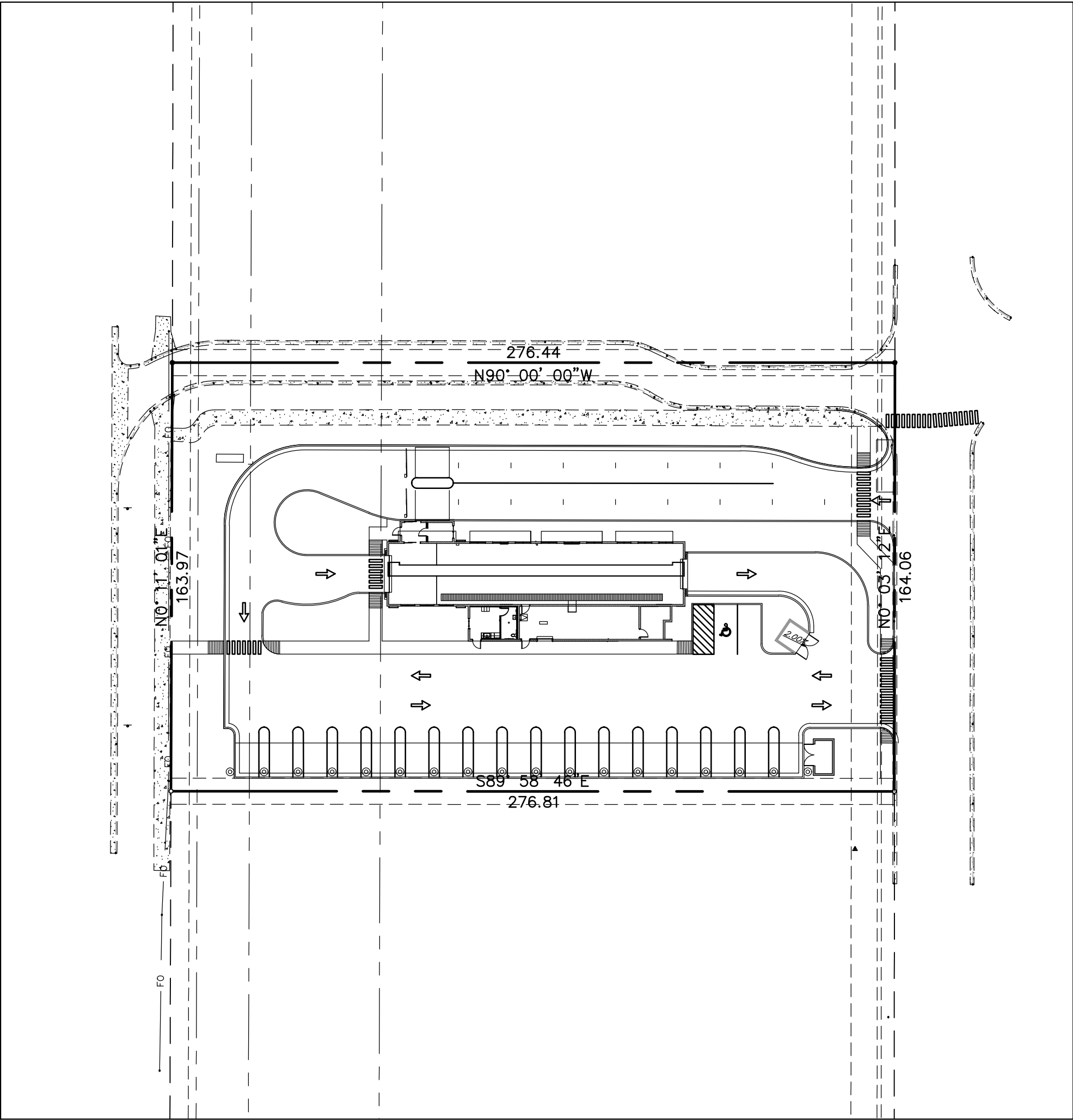
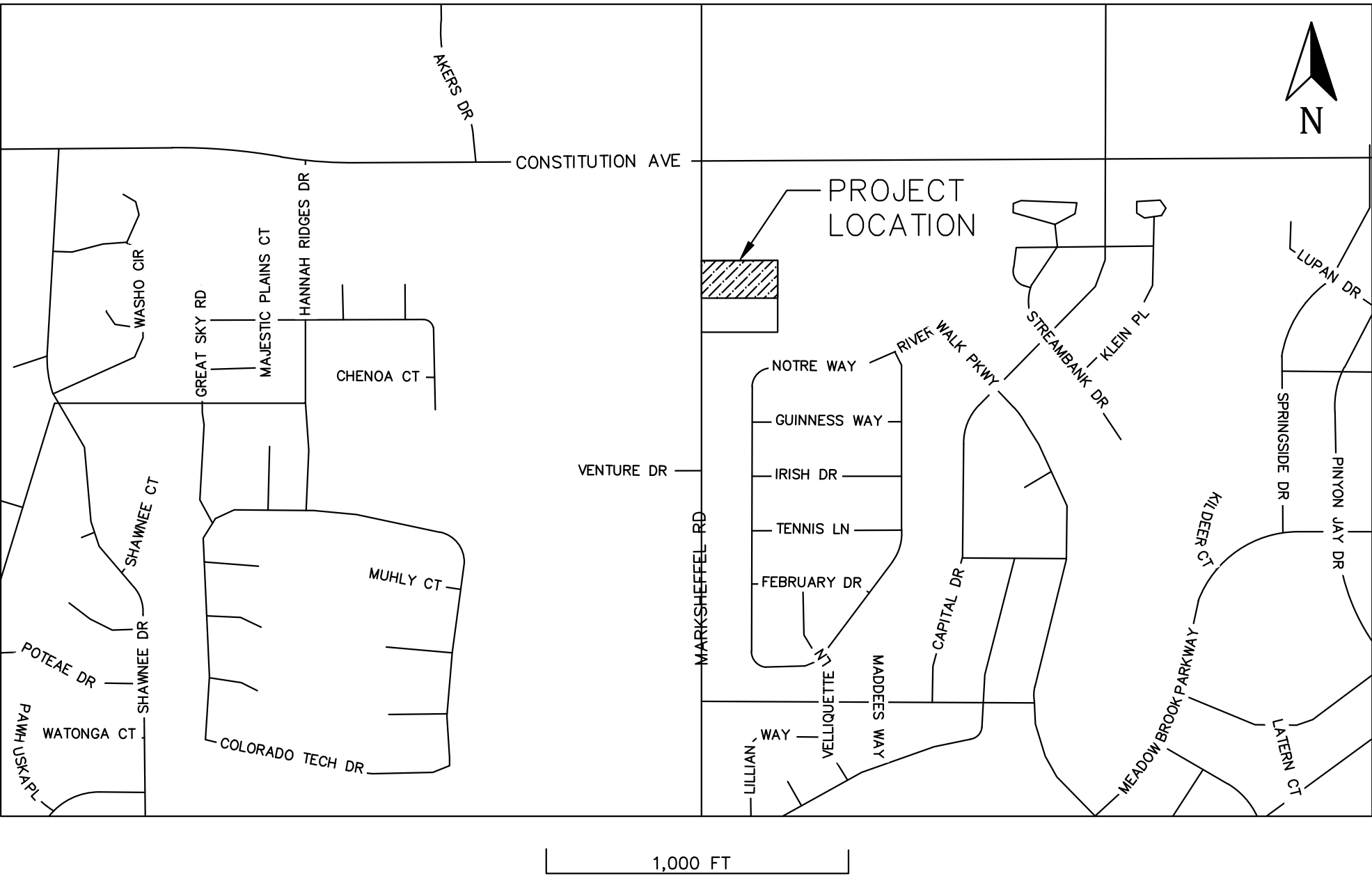


QUICK QUACK

Constitution Colorado Springs, CO

VICINITY MAP



SITE MAP
1"=40'

INDEX

- C-0 Cover Sheet
- C-1 Site Development Plan
- C-2 Grading Plan
- C-2.1 Drainage Plan
- C-2.2 Drainage Basin Plan
- C-3 Utility Plan
- C-4 Details
- C-5 Utility Details
- C-6 Stormwater Pollution Prevention Plan
- C-7 SWPPP Details
- LP101 Landscape Planting Plan
- LP102 Landscape Planting Schedule
- LD501 Planting Details
- LS600 Landscape Specifications
- Photometric Plan
- A100 Dimension Floor Plan
- A200 Exterior Elevations
- A200 Exterior Color Elevations
- Signage Plans

Remove the Grading and SWPPP details from the site development plan set and submit as a standalone grading and erosion control plan set. See the grading and erosion control plan for comments.

Same as engineer notes, there are submittal links for the Landscape, Elevations, floor plans, and photometric plan. Please only include the Site Development Plan with ADA route here. This helps if there are no issues with a Site development plan, but there are issues with a Landscape plan, then you have to upload this document every time.

PROJECT ENGINEER:
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(801) 718-5993
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DEVELOPER:
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QQ UTAH COUNTY PO BOX 887
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(801) 400-1944
JOSEPH@LONESTARBUILDERSINC.COM

SITE DATA

LOT AREA: 45,370 SF (1.04 ACRES)
BUILDING AREA: 3,980 SF± 8.8%
PAVEMENT AREA: 28,554 SF± 62.9%
LANDSCAPE AREA: 12,836 SF± 28.3%

ZONING: CR (COMMERCIAL REGIONAL)
PERMITTED USE

BUILDING DATA

CONSTRUCTION TYPE: V-B
OCCUPANCY TYPE: B
SPRINKLERS: NO
BUILDING HEIGHT: 29'6"
SETBACKS:
FRONT=50 FEET
REAR=0 FEET
SIDE=0 FEET

PARKING TABULATION

REQUIRED: 1 SPACE PER BAY OR STALL

PROVIDED: 2 STALLS
1 ADA STALL

TAX SCHEDULE NUMBER
5404210067

LEGEND & ABBREVIATION TABLE

R.O.W./PROPERTY LINE	---	EXISTING CURB AND GUTTER	==
EASEMENT LINE	---	PROPOSED CURB AND GUTTER	==
CENTER LINE	---	INVERT ELEVATION	I.E.
PROPOSED TRAIL	---	TOP BACK CURB	TBC
PROPOSED WATER LINE	W W W	TOP ASPHALT	TA
PROPOSED PRESSURIZED IRRIGATION	IRR IRR	TOP OF GRATE	TOG
PROPOSED GROUND WATER DRAIN	GW GW GW	FINISHED GRADE	FG
PROPOSED SEWER LINE	SS SS SS SS SS	TOP OF CONCRETE	TC
PROPOSED STORM DRAIN LINE	SD SD SD SD SD	HIGH WATER ELEVATION	HWE
EXISTING SEWER LINE	SS SS SS SS SS	CATCH BASIN	
EXISTING WATER LINE	W W W W W	SURFACE FLOW DIRECTION	
EXISTING STORM DRAIN LINE	SD SD SD SD SD	PROPOSED STREET LIGHT	
EXISTING CONTOUR	42.47	STORM DRAIN MANHOLE	D
FINISHED CONTOUR	47.00	SANITARY SEWER MANHOLE	S
		PROPOSED WATER VALVE	

The following note should be added to all site development plans or non-residential site plans, as applicable, prior to PCD approval:

"The parties responsible for this plan have familiarized themselves with all current accessibility criteria and specifications and the proposed plan reflects all site elements required by the applicable ADA design standards and guidelines as published by the United States Department of Justice. Approval of this plan by El Paso County does not assure compliance with the ADA or any regulations or guidelines enacted or promulgated under or with respect to such laws."

Also required is an additional page illustrating the ADA route.

Remove City File # from all pages and include File # PPR-19-004



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LEGEND

LOT LINES (PROPERTY)

EXISTING CURB AND GUTTER	=====
PROPOSED CURB AND GUTTER	=====
STRIPING	=====
BUILDING SETBACK	-----
LANDSCAPE SETBACK	- - - - -
EXISTING BUILDING	=====
EXISTING FENCE	----- x -----
TOP BACK OF CURB	TBC
FINISHED FLOOR ELEVATION	FFE
LANDSCAPE AREA	[Pattern]
CONCRETE AREA	[Pattern]

SITE DATA

LOT AREA:	45,370	SF (1.04 ACRES)
BUILDING AREA:	3,980	SF± 8.8%
PAVEMENT AREA:	28,554	SF± 62.9%
LANDSCAPE AREA:	12,836	SF± 28.3%

ZONING: CR (COMMERCIAL REGIONAL)
PERMITTED USE

BUILDING DATA

CONSTRUCTION TYPE: V-B
OCCUPANCY TYPE: B
SPRINKLERS: NO
BUILDING HEIGHT: 29'6"
SETBACKS:
FRONT=50 FEET
REAR=0 FEET
SIDE=0 FEET

PARKING TABULATION

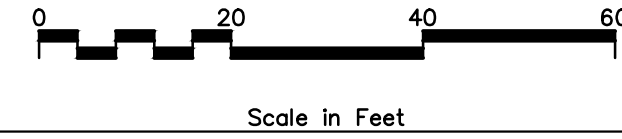
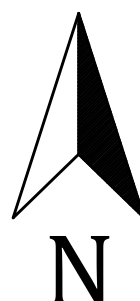
REQUIRED: 1 SPACE PER BAY OR STALL

PROVIDED: 2 STALLS
1 ADA STALL

VACUUM STALLS: 17 STALLS
TUNNEL LENGTH: 114 FEET
STACKING: 16 STALLS

NOTES:

- PROPOSED 5' SIDEWALK PER CITY OF COLORADO SPRINGS STD D-8L. SEE SHEET C-4 FOR DETAILS.
- ALL HANDICAP STALLS AND RAMPS TO BE INSTALLED PER ADA AND APWA STANDARDS. SEE SHEET C-4 FOR DETAILS.
- PROPOSED CURB & GUTTER TYPE 1 PER CITY OF COLORADO SPRINGS STD D-6. SEE SHEET C-4 FOR DETAILS.
- PROPOSED CURB TYPE 3 PER CITY OF COLORADO SPRINGS STD D-6. SEE SHEET C-4 FOR DETAILS.
- CONSTRUCT VACUUM ENCLOSURE WITH CONCRETE PAD AND APRON. INSTALL OWNER PROVIDED VACUUM EQUIPMENT, UNDERGROUND TRUNK LINES, PIPING, ETC. COORDINATE WITH ARCHITECTURAL PLANS.
- PAINT 4" SOLID YELLOW PAINT STRIPE AS SHOWN (TYPICAL).
- INSTALL OWNER PROVIDED "TOMMY BALL" PLANTERS/GARBAGE RECEPTACLE (TYPICAL). COORDINATE WITH ARCHITECTURAL PLANS FOR DETAILS.
- INSTALL OWNER PROVIDED PAY STATIONS WITH CANOPY. COORDINATE WITH ARCHITECTURAL PLANS FOR DETAILS.
- INSTALL OWNER PROVIDED GATES AND LOOP DETECTION SYSTEM. COORDINATE TIMING OF INSTALLATION PRIOR TO CONSTRUCTION OF PAVEMENT. SEE ARCHITECTURAL PLANS FOR DETAILS.
- PROPOSED DUMPSTER LOCATION. SEE SHEET C-4 FOR DETAILS.



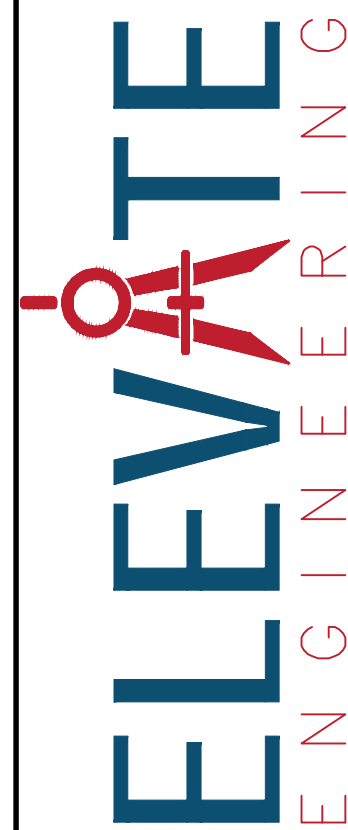
GENERAL NOTES:

- CONTRACTOR TO NOTIFY BLUE STAKES PRIOR TO CONSTRUCTION
- CONTRACTOR TO VERIFY LOCATION AND ELEVATION OF ALL EXISTING UTILITY LINES AND STRUCTURES PRIOR TO CONSTRUCTION
- ALL PROPOSED WATER LINES TO HAVE A MINIMUM OF 5' OF COVER
- ALL SEWER, WATER AND STORM DRAIN PIPES SHALL BE BACKFILLED WITH SELECT GRANULAR FILL AS PER CITY STANDARDS.
- ANY OFF SITE DAMAGE TO EXISTING ASPHALT, CURB & GUTTER, LANDSCAPING AND ALL UTILITIES TO BE REPLACED IN KIND.
- SEE UTILITY PLAN FOR CONSTRUCTION OF SEWER AND WATER LINES.
- ALL WORK TO BE ACCORDING TO CITY STANDARDS.

Replace with El Paso County.
The site is located within
unincorporated El Paso County.

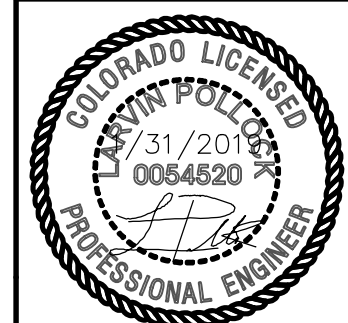
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larvin@elevateeng.com



QUICK QUACK CONSTITUTION
SITE PLAN

2437 MARKSHEFFEL ROAD COLORADO SPRINGS, CO 80951



SHEET:
C-1

DATE:
Jan 31, 2019

DESIGNER: DL
PROJECT ENGINEER: LP

REVISIONS
NO. BY DATE

LOT 2
CLAREMONT
RANCH FILING
NO. 9B

10' PUBLIC UTILITY AND
DRAINAGE EASEMENT

ASPHALT
276.44
N90° 00' 00"W

50' BUILDING
SETBACK
PROPOSED
MONUMENT SIGN

N. MARKSHEFFEL ROAD
PUBLIC R.O.W. VARIES

ASPHALT
MUST TURN
RIGHT SIGN

provide the reception
number or plat
reference that
established these
easements

Canopies are
required to be 15'
from the front
property line or ROW,
please provide this
measurement.

Provide actual
distance structure is
from property line

revise line type or
update the legend.

update legend,
property lines no
correctly depicted

Label the radius.

KING SOOPERS
MARKETPLACE
PARCEL#
5404210054

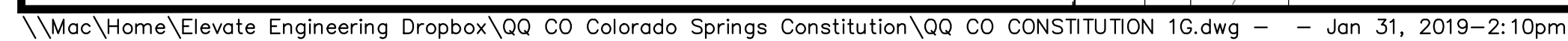
Over 7 foot tall will
also be required to
show setbacks from
property lines.

Are these easements? The canopy
is considered a structure and
written permission from the
easement holder would be required
for the canopy to be located in an
easement.

LOT 4
CLAREMONT
RANCH FILING
NO. 9B

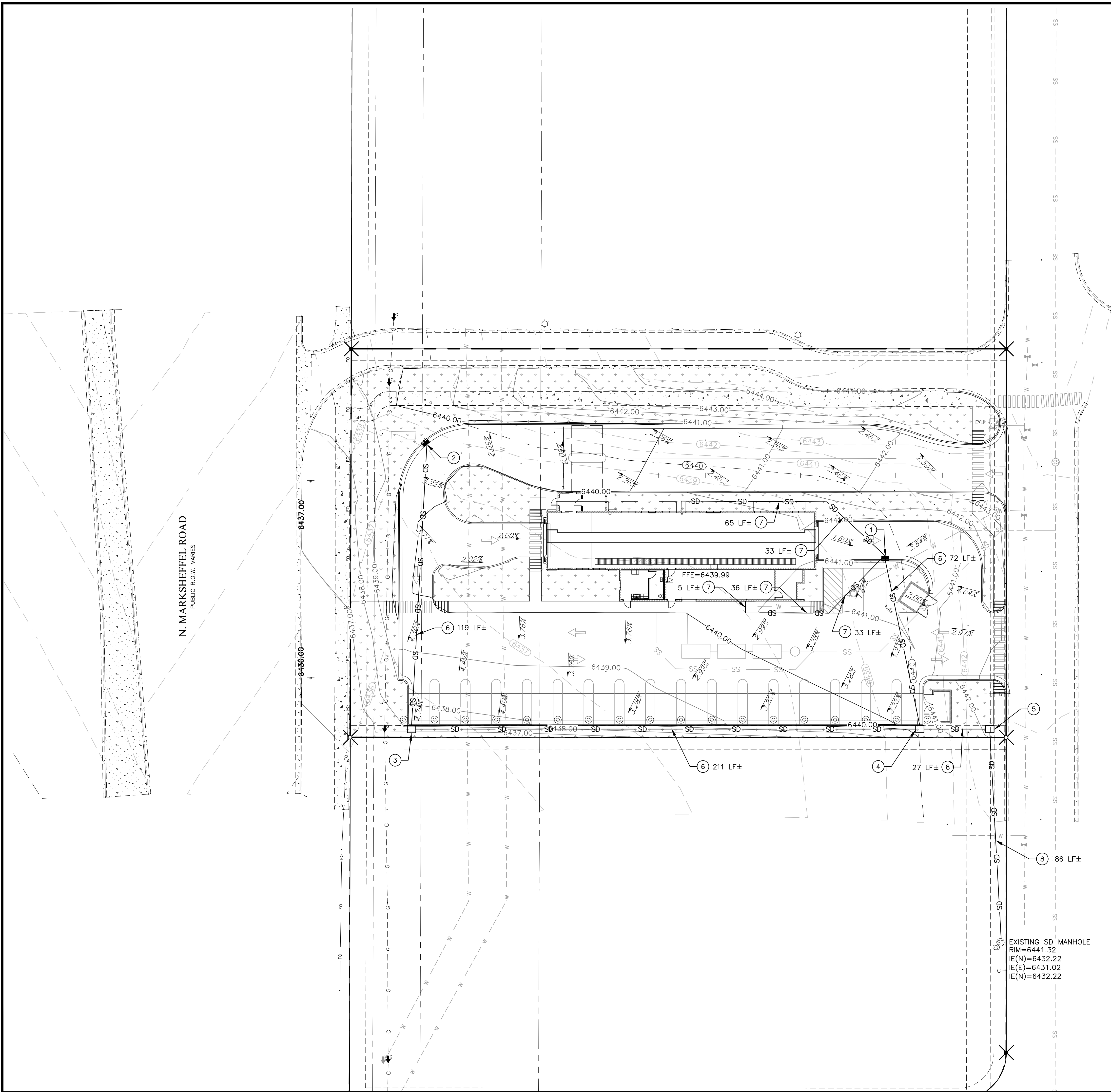
CONTROL POINT #100
SET 60D NAIL
ELEV.=6442.06'

ALL SITE PAVEMENT TO BE CONCRETE.



L=31.34' (M)
L=31.42' (R)
R=20.00' (R&M)
 $\Delta=89^{\circ}47'45''$ (M)
 $\Delta=90^{\circ}00'00''$ (R)
CH=N45°03'38"E (M)
CH=N45°00'00"E (R)
CH=28.23' (M)
CH=28.28' (R)

SHEET:
C-2
DATE: Jan 31, 2019



LEGEND

- LOT LINES (PROPERTY) ---
EXISTING CURB AND GUTTER ---
PROPOSED CURB AND GUTTER ---
PROPOSED STORM DRAIN LINE ---SD---
EXISTING STORM DRAIN LINE ---SD---

EXISTING FENCE ---
GRADE BREAK ---GRADE BREAK---
FINISH GRADE CONTOUR LINES ---4960---
EXISTING GRADE CONTOUR LINES ---4960---
FINISH GRADE SLOPE ---SLOPE---
GRADE BREAK GB
INVERT ELEVATION IE
TOP OF GRATE TOG
TOP OF ASPHALT TA
TOP BACK OF CURB TBC
PROPOSED PROP
EXISTING EX
FINISHED GRADE FG
FINISHED FLOOR ELEVATION FFE
BACK OF SIDEWALK BOW
JUNCTION BOX □
CURB INLET BOX ■

DESIGN NOTES:

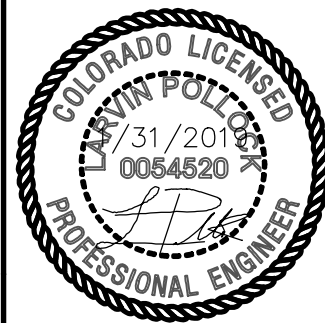
1. INSTALL CURB INLET BOX PER APWA PLAN 315. SEE SHEET C-5 FOR DETAILS. RIM=6440.20 IE=6437.20
2. INSTALL CURB INLET BOX PER APWA PLAN 315. SEE SHEET C-5 FOR DETAILS. RIM=6439.29 IE=6436.29
3. INSTALL STANDARD INLET PER CITY OF COLORADO SPRINGS STANDARD INLET DETAIL. SEE SHEET C-5 FOR DETAILS. RIM=6437.42 IE=6435.69
4. INSTALL STANDARD INLET PER CITY OF COLORADO SPRINGS STANDARD INLET DETAIL. SEE SHEET C-5 FOR DETAILS. RIM=6442.39 IE=6434.63
5. INSTALL CLEANOUT BOX PER APWA PLAN 331. SEE SHEET C-5 FOR DETAILS. RIM=6440.39 IE=6434.55
6. INSTALL 12" ADS PIPE @ 0.5% MINIMUM SLOPE
7. ROOF DRAINS TO CONNECT TO STORM DRAIN SYSTEM WITH 6" ROOF DRAIN PIPE.
8. INSTALL 18" ADS PIPE @ 0.3% MINIMUM SLOPE



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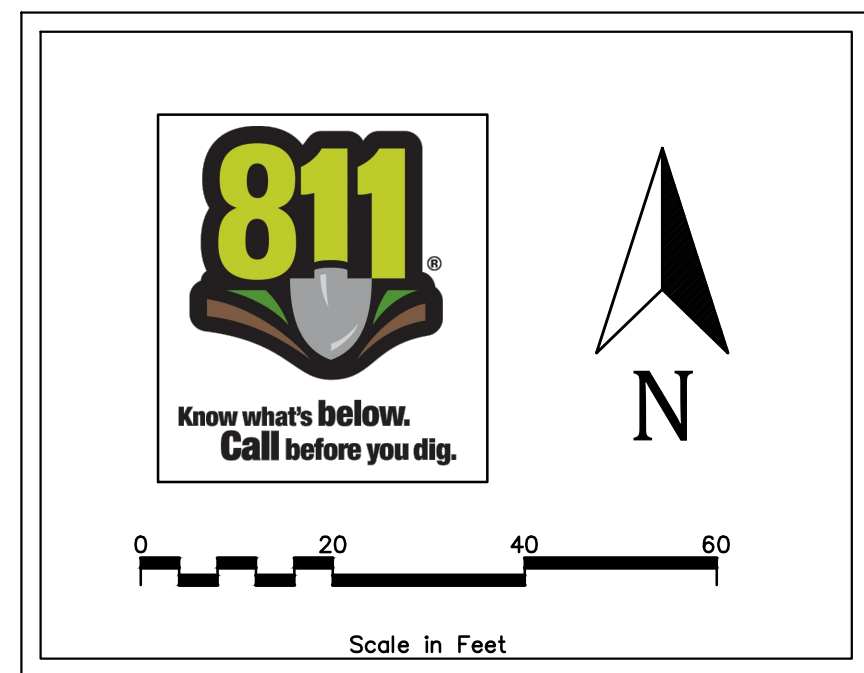
ELEVATE
ENGINEERING

QUICK QUACK CONSTITUTION
DRAINAGE PLAN
2437 MARKSHEFFEL ROAD COLORADO SPRINGS, CO 80951



SHEET:
C-2.1

DATE: Jan 31, 2019



PROPERTY/ROW LINE	
EXISTING CURB AND GUTTER	
PROPOSED CURB AND GUTTER	
PROPOSED STORM DRAIN LINE	
EXISTING STORM DRAIN LINE	
PROPOSED SEWER LINE	
EXISTING SEWER LINE	
PROPOSED WATER LINE	
EXISTING WATER LINE	
INVERT ELEVATION	IE
EXISTING	EX
FINISHED GRADE	FG
FINISHED FLOOR ELEVATION	FFE

- ① CONNECT TO EXISTING WATER STUB.
- ② INSTALL 2" WATER METER PER CITY STANDARD DRAWING. SEE SHEET C-5 FOR DETAILS.
- ③ INSTALL 2" POLY WATER LINE PER CITY STANDARDS.
- ④ END ALL UTILITIES 5' FROM BUILDING, SEE PLUMBING PLANS FOR CONTINUATION.
- ⑤ CONNECT TO EXISTING SEWER STUB PER CITY STANDARDS. SEE SHEET C-5 FOR DETAILS. CONTRACTOR TO VERIFY LOCATION AND ELEVATION PRIOR TO ANY CONSTRUCTION.
- ⑥ INSTALL 6"Ø PVC SDR-35 SEWER PIPE AT 1% MIN. SLOPE.
- ⑦ INSTALL 6" CLEANOUT.
- ⑧ INSTALL 48" SANITARY SEWER SAMPLING MANHOLE PER APWA PLAN 411. SEE SHEET C-5 FOR DETAILS.
RIM=6440.30
IE=6433.76
OUT=6433.68
- ⑨ INSTALL 1500 GAL. GREASE INTERCEPTOR/RECLAIM TANKS. INSTALL 3' OF 6"Ø PVC SDR-35 SEWER PIPE AT 1% MIN. SLOPE BETWEEN TANKS. COORDINATE WITH PLUMBING PLANS FOR DETAILS.

1. CONTRACTOR TO NOTIFY BLUE STAKES PRIOR TO CONSTRUCTION
2. CONTRACTOR TO VERIFY LOCATION AND ELEVATION OF ALL EXISTING UTILITY LINES AND STRUCTURES PRIOR TO CONSTRUCTION
3. ALL PROPOSED WATER LINES TO HAVE A MINIMUM OF 5' OF COVER
4. ALL SEWER, WATER AND STORM DRAIN PIPES SHALL BE BACKFILLED WITH SELECT GRANULAR FILL AS PER CITY STANDARDS.
5. AND SEWAGE MANHOLE TO EXISTING ASPHALT CURB, GUTTER, LANDSCAPING AND ALL UTILITIES TO BE REPLACED IN KIND.
6. SEE GRADING AND DRAINAGE PLAN FOR CONSTRUCTION OF SEWER AND WATER LINES.
7. ALL WORK TO BE ACCORDING TO CITY STANDARDS.

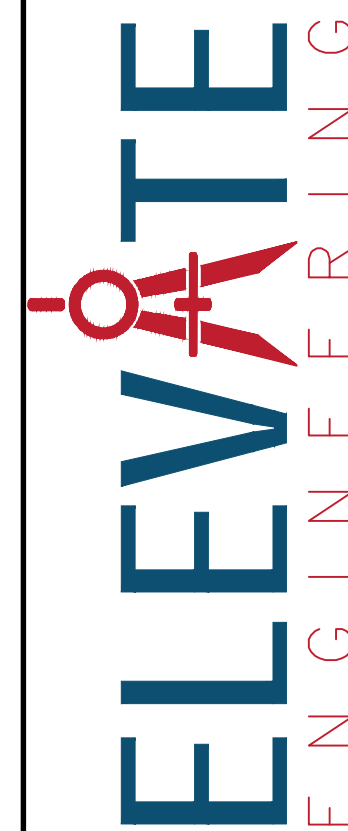
CONTRACTOR TO CONTACT THE FOLLOWING COMPANIES PRIOR TO ANY CONSTRUCTION. EXACT LOCATION OF THESE UTILITIES TO BE DESIGNED AND COORDINATED BY THE FOLLOWING COMPANIES.

DOMINION ENERGY – 801-853-6597
ROCKY MOUNTAIN POWER – 801-756-1310
CENTURY LINK – 801-536-6975

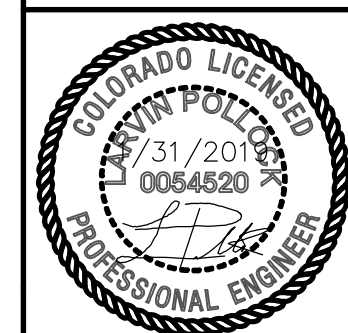
NO.	REVISIONS	BY	DATE

PROJECT ENGINEER: LP DESIGNER: DJ

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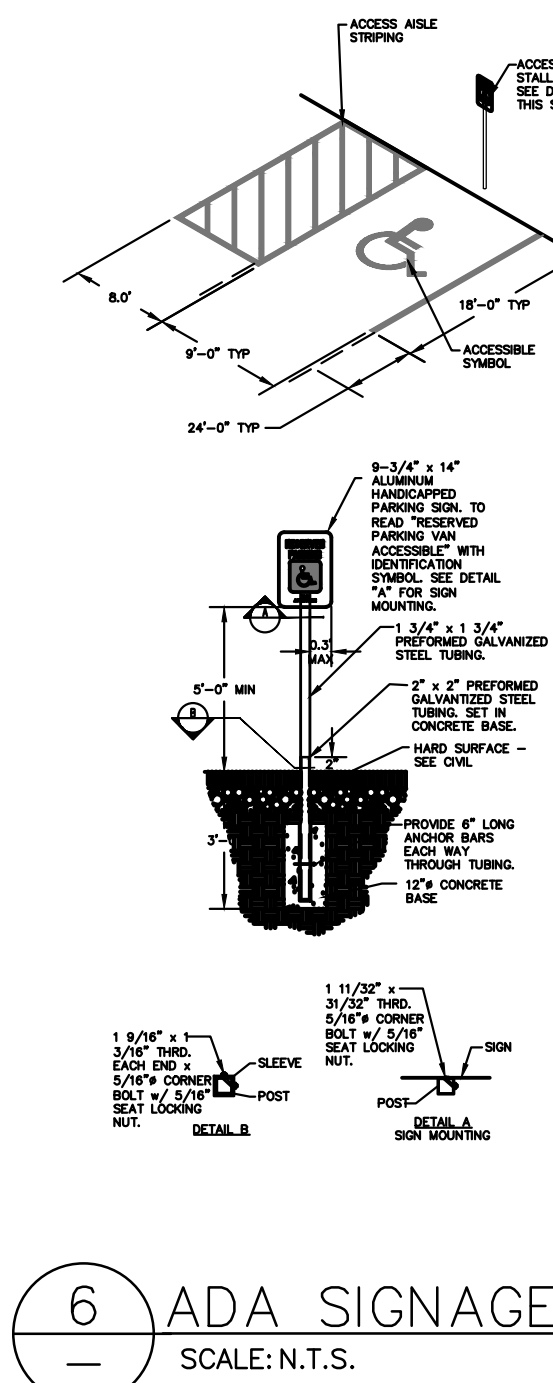
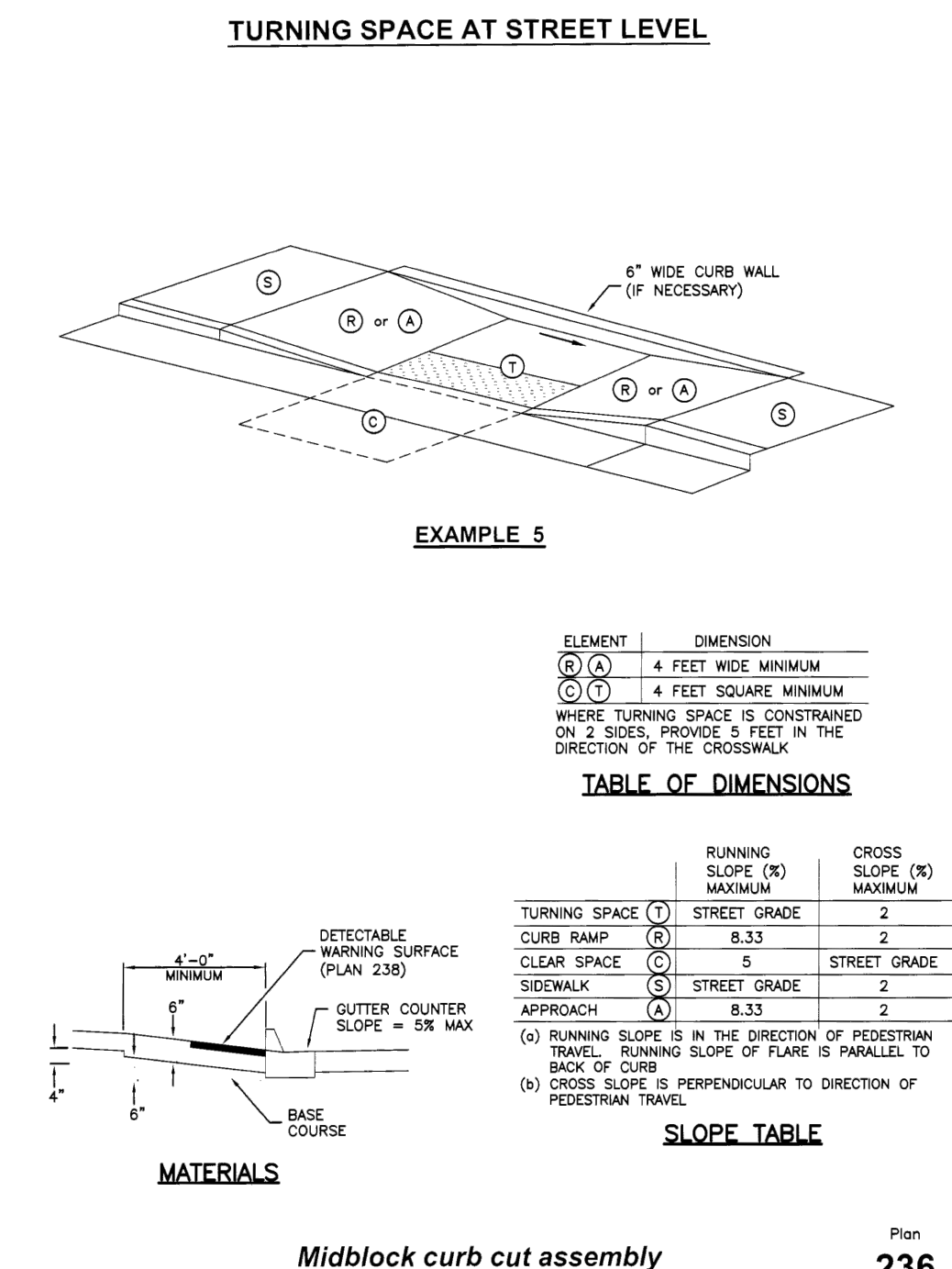
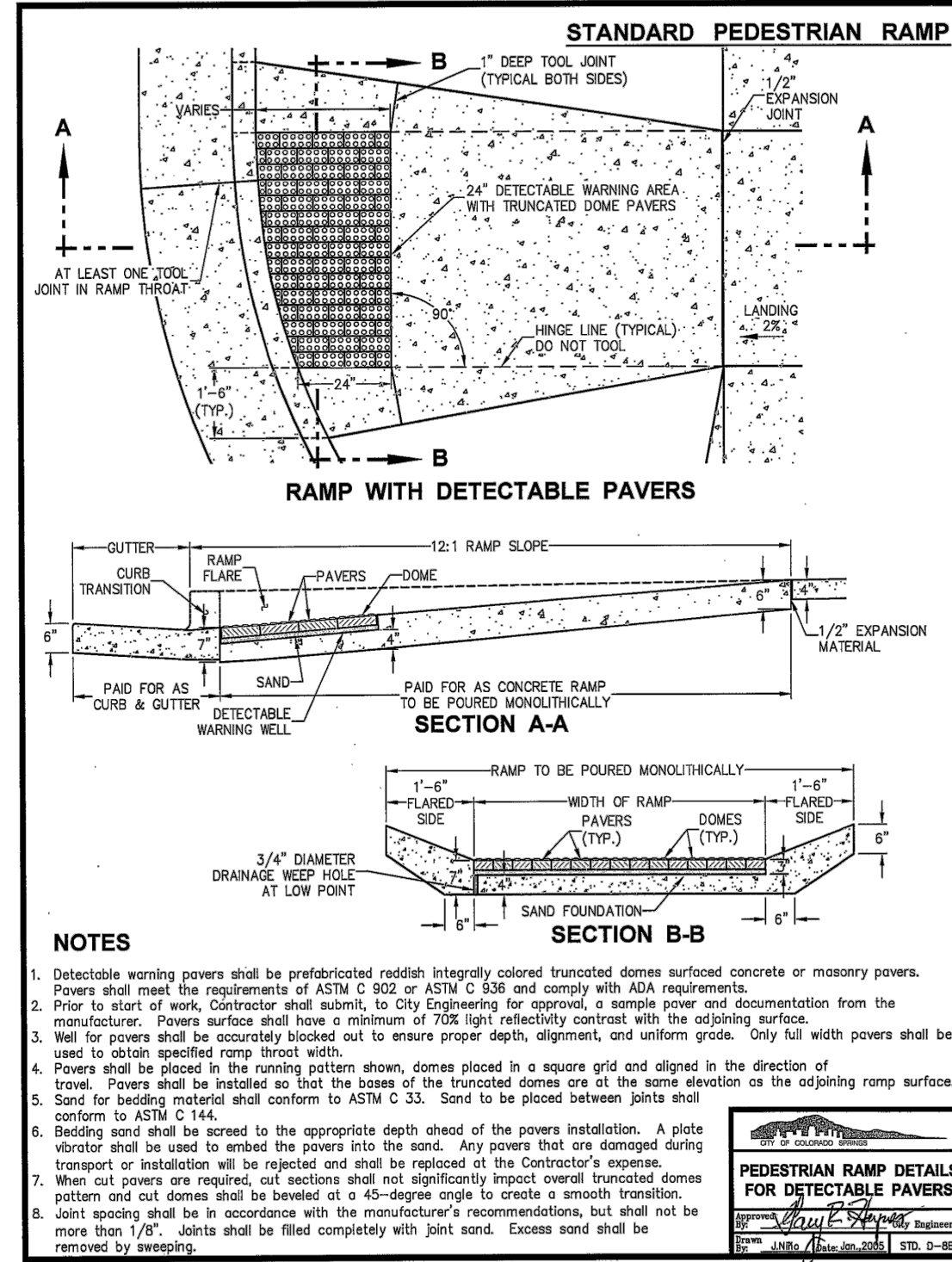
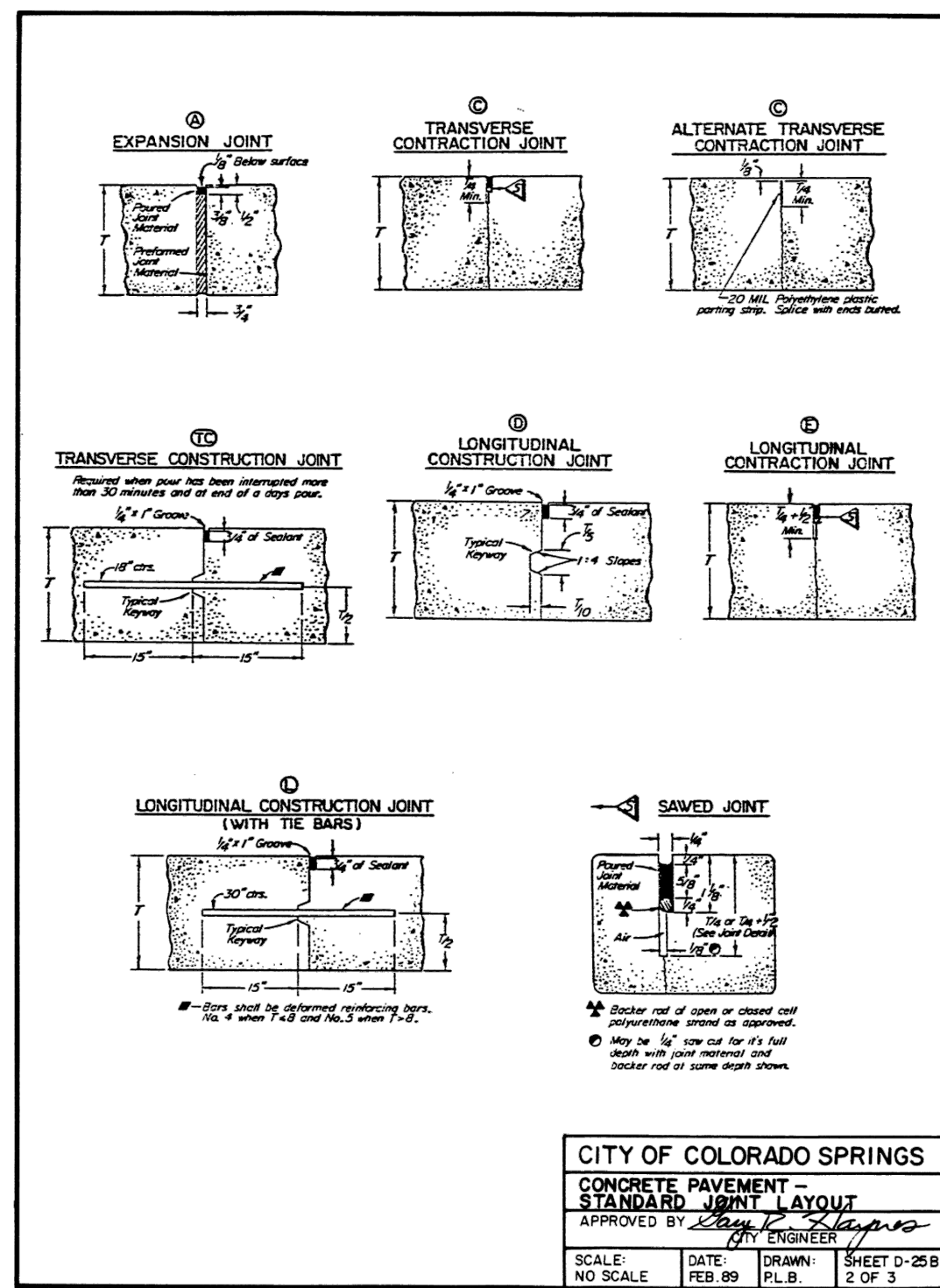


QUICK QUACK CONSTITUTION
UTILITY PLAN
2437 MARKSHEFFEL ROAD COLORADO SPRINGS, CO 80951



SHEET:
C-3

DATE:
Jan 31, 2019



ELEMENT	DIMENSION
(R) A	4 FEET WIDE MINIMUM
(C) T	4 FEET SQUARE MINIMUM

WHERE TURNING SPACE IS CONSTRAINED
ON 2 SIDES PROVIDE 5 FEET IN THE
DIRECTION OF THE CROSSWALK

TABLE OF DIMENSIONS

	RUNNING SLOPE (%)	CROSS SLOPE (%)
	MAXIMUM	MAXIMUM
TURNING SPACE (V)	STREET GRADE	2
CLIP RAMP (B)	8.33	2
CLEAR SPACE (C)	5	STREET GRADE
SIDEWALK (S)	STREET GRADE	2
APPROACH (A)	8.33	2

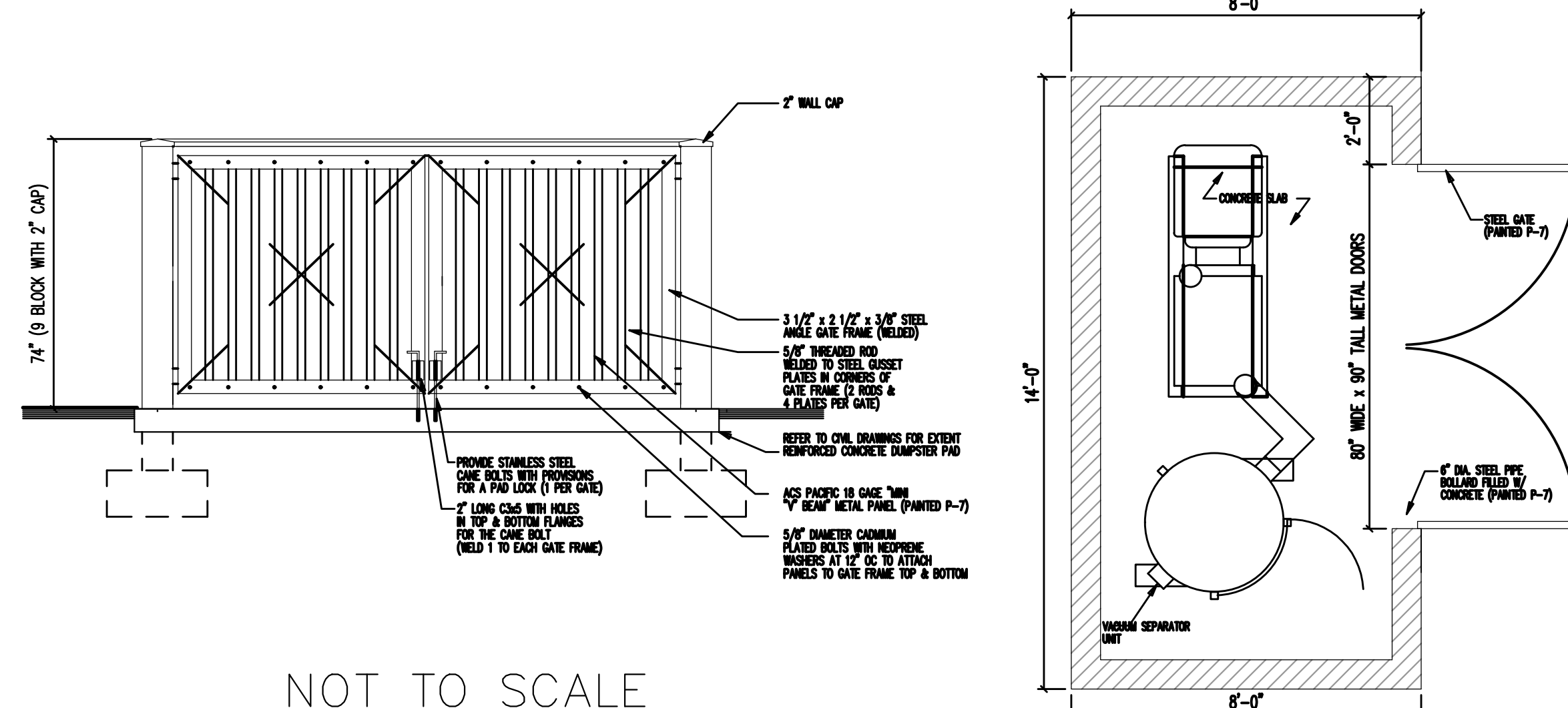
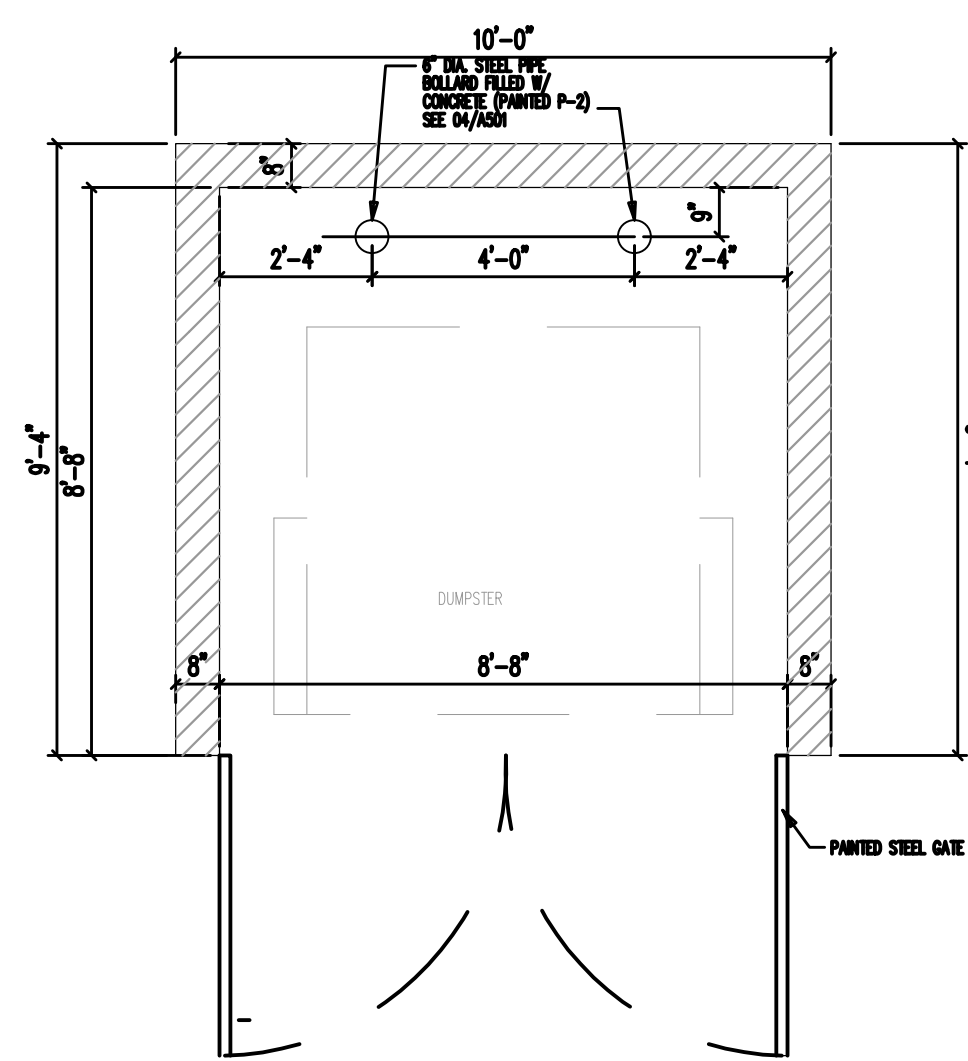
(c) RUNNING SLOPE IS PERPENDICULAR TO DIRECTION OF PEDESTRIAN TRAVEL. RUNNING SLOPE OF WALKWAY IS PARALLEL TO DIRECTION OF CROSSWALK

(c) CROSS SLOPE IS PERPENDICULAR TO DIRECTION OF PEDESTRIAN TRAVEL

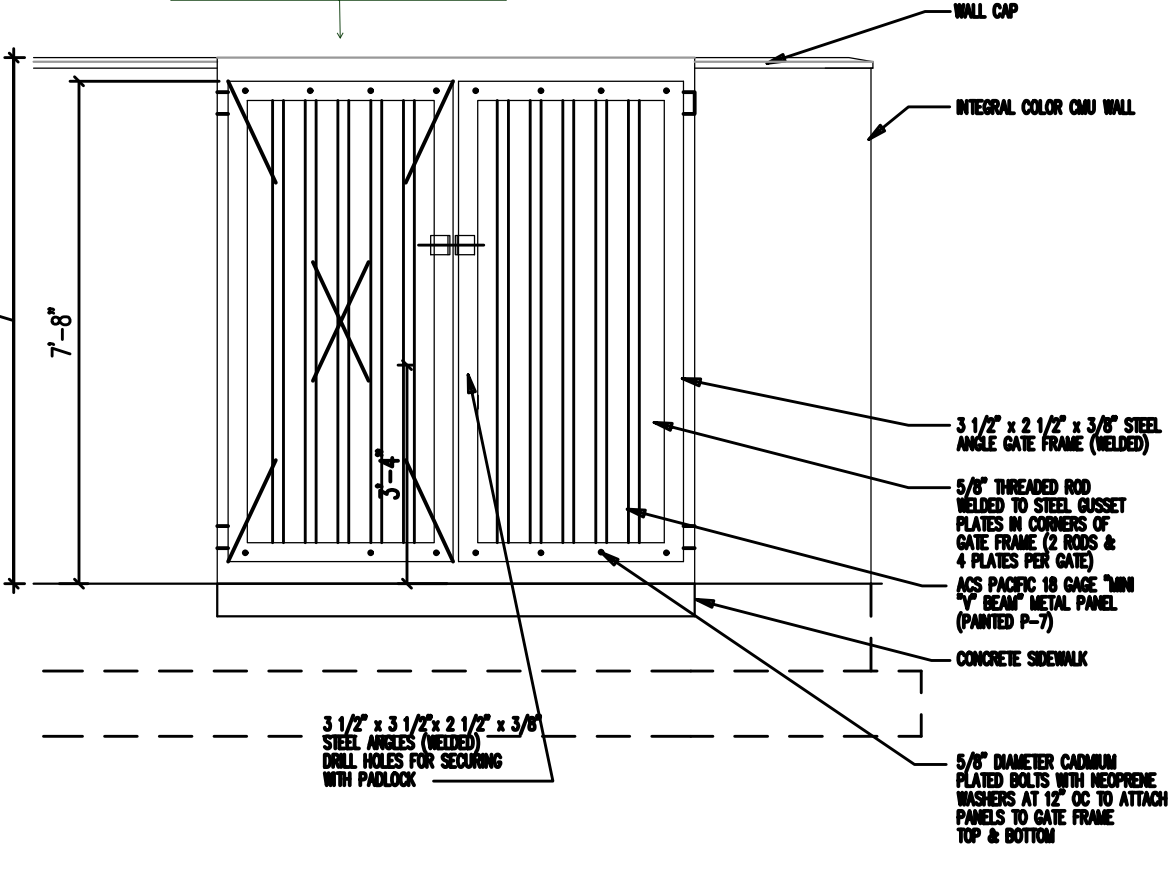
SLOPE TABLE

SLOPE TABLE

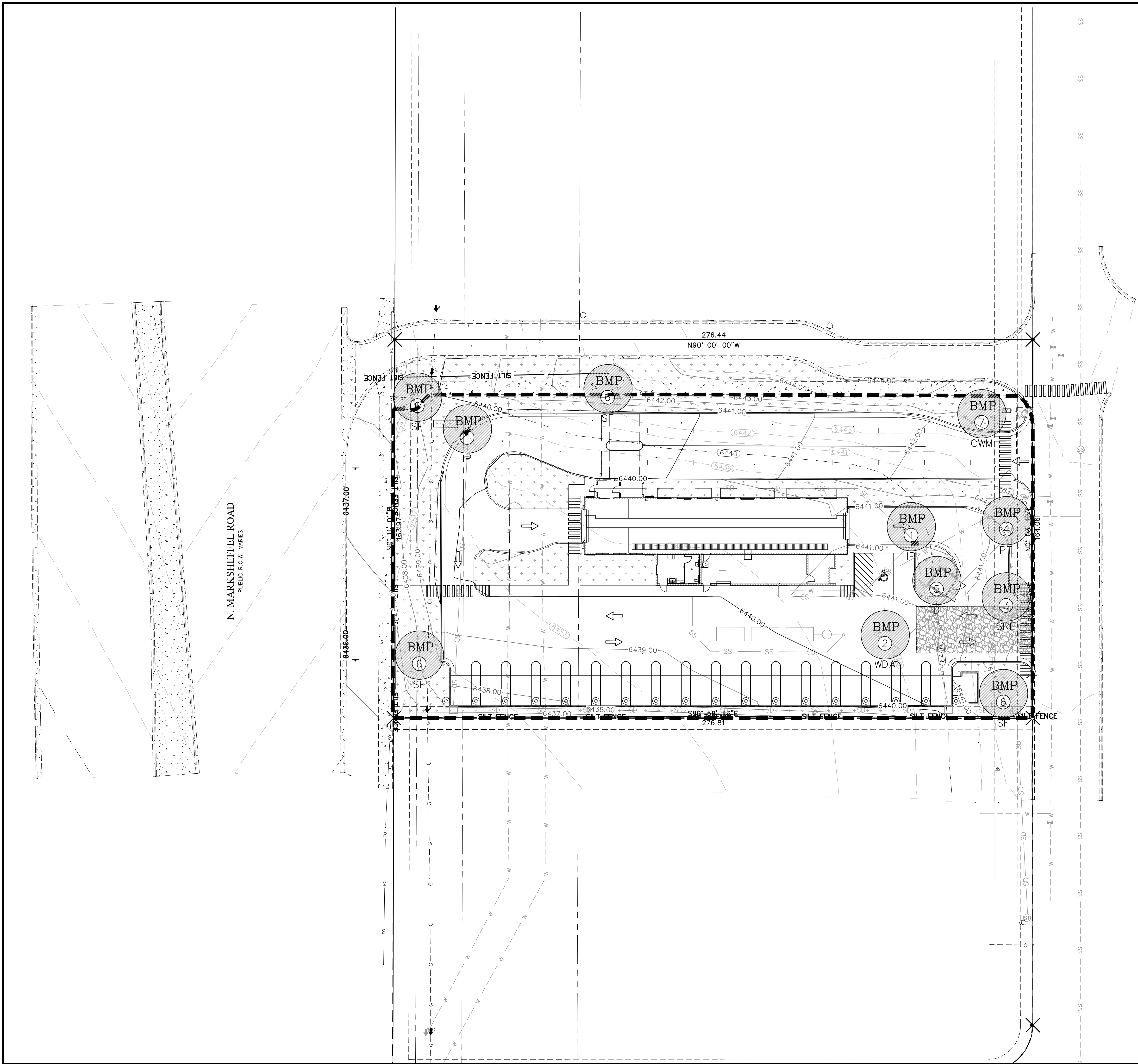
6 ADA SIGNAGE
— SCALE: N.T.S.



Will require a separate building permit through PPRBD	
---	--



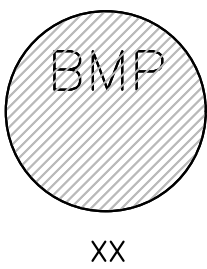
LAND USE REVIEW FILE#:
CITY FILE#: AR DP-XX-XXXX



LEGEND

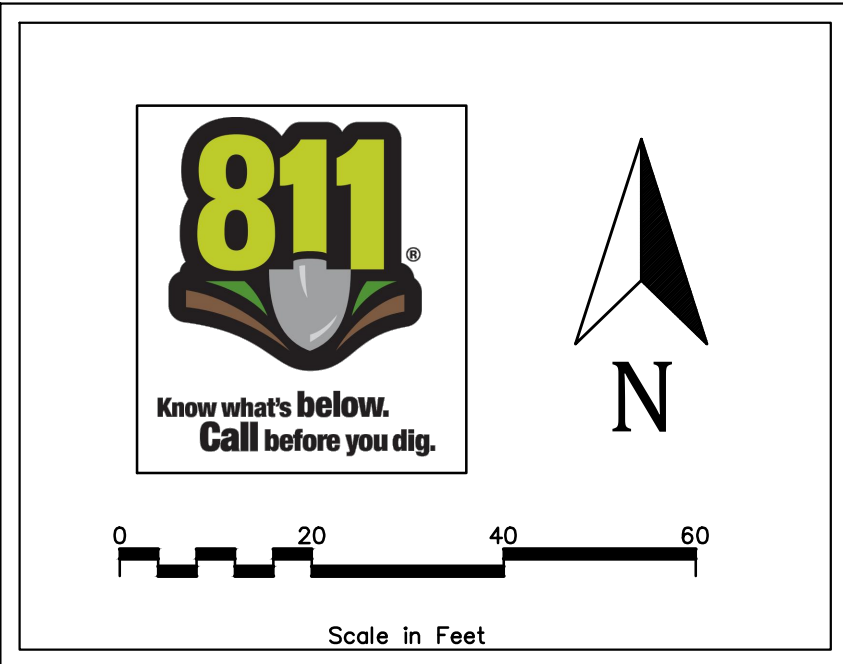
- PROPERTY/ROW LINE
EXISTING CURB AND GUTTER
PROPOSED CURB AND GUTTER
PROPOSED STORM DRAIN LINE
EXISTING STORM DRAIN LINE
EXISTING SEWER LINE
EXISTING WATER LINE
EXISTING CONTOUR LINE
FINISHED CONTOUR LINE
EXISTING FENCE
SILT FENCE
CLEAN OUT BOX
LIMITS OF DISTURBANCE (LOD)

BEST MANAGEMENT PRACTICE
SEE BEST MANAGEMENT PRACTICE
INDEX AND SHEET C-7
FOR DETAILS.



- NOTES:
- DURING CONSTRUCTION
1. ALL EROSION CONTROL BEST MANAGEMENT PRACTICES SHALL BE INSPECTED AND MAINTAINED REGULARLY (ONCE A WEEK) AND AFTER EVERY STORM EVENT
 2. LAND DISTURBANCE SHALL BE KEPT TO MINIMUM TO CONTROL RUNOFF FROM THE SITE
 3. LIMIT LAND CLEARING AND RESTORE ALL GRADING AS SOON AS POSSIBLE
 4. STAGED SEEDING TO RE-VEGETATE CUT AND FILL SLOPES AS THE WORK IS IN PROGRESS
 5. AT ALL TIMES DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREVENTING AND CONTROLLING EROSION DUE TO WIND AND OTHER EROSION
 6. MAINTENANCE OF STREET: STREETS TO BE KEPT CLEAN AND FREE FROM DEBRIS.
 7. CONTRACTOR SHALL PROVIDE DUST CONTROL MEASURES AT ALL TIMES DURING CONSTRUCTION.
 8. A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN SHALL BE KEPT ON THE SITE DURING ALL CONSTRUCTION ACTIVITY
- POST CONSTRUCTION
- SEE SHEET C-7

- BEST MANAGEMENT PRACTICE INDEX
- | | | |
|---|-----|--------------------------------------|
| 1 | IP | INLET PROTECTION |
| 2 | WDA | EQUIPMENT AND VEHICLE WASH DOWN AREA |
| 3 | SRE | STABILIZED ROADWAY ENTRANCE |
| 4 | PT | PORTABLE TOILET |
| 5 | D | DUMPSTER LOCATION |
| 6 | SF | SILT FENCE |
| 7 | CWM | CONCRETE WASTE MANAGEMENT |
- ADDITIONAL BMP's TO BE ONSITE:
- SPILL CLEANUP
 - VEHICLE & EQUIPMENT FUELING
- SEE SHEET C-7 FOR BMP DETAILS



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QUICK QUACK CONSTITUTION
SWPPP PLAN
2437 MARKSHEFFEL ROAD COLORADO SPRINGS, CO 80951

SHEET:
C-6

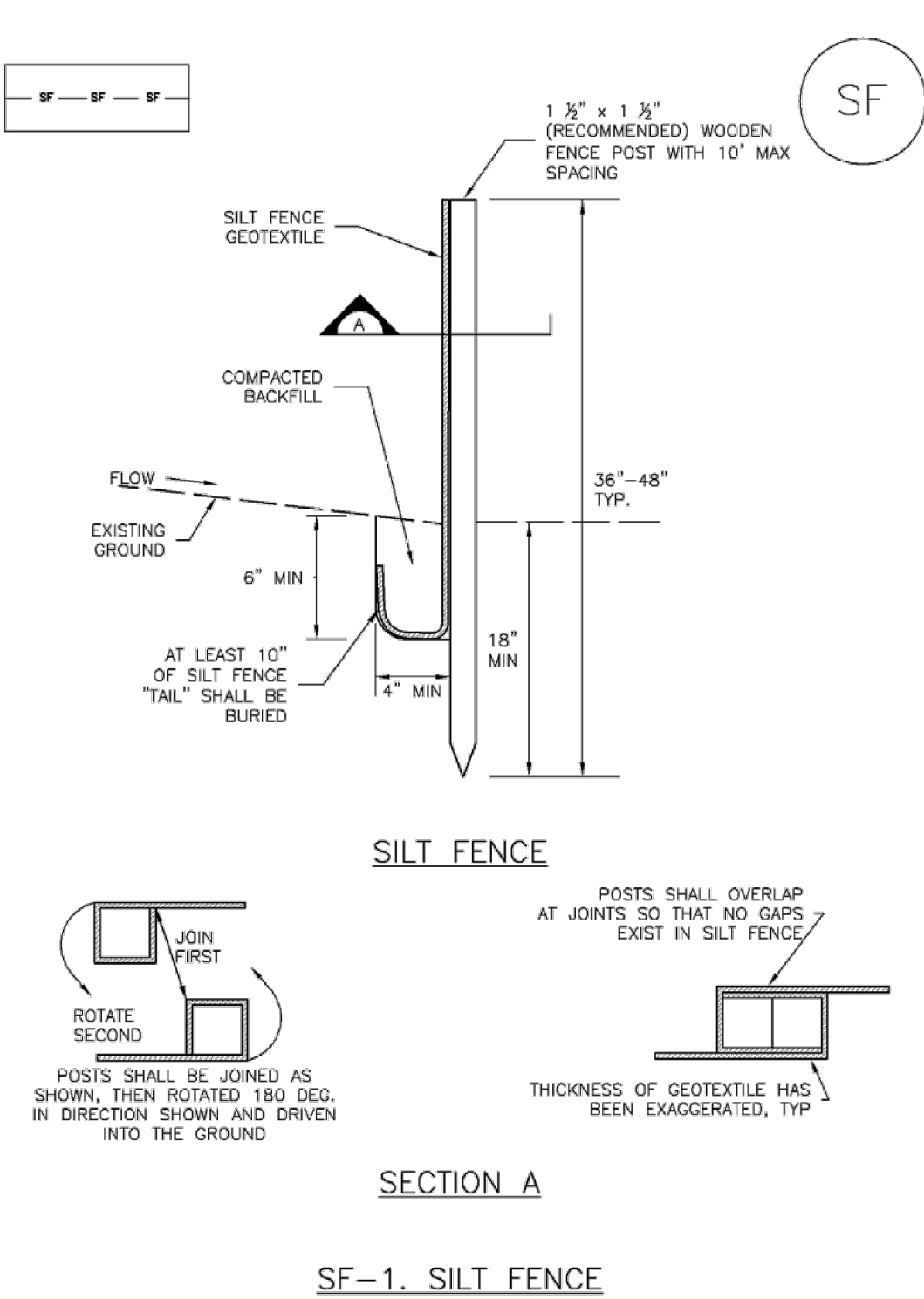
DATE:
Jan 31, 2019

NO.	REVISIONS	BY	DATE

PROJECT ENGINEER: LP
DESIGNER: DL

Silt Fence (SF)

SC-1



November 2010 Urban Drainage and Flood Control District SF-3
Urban Storm Drainage Criteria Manual Volume 3

SC-1

Silt Fence (SF)

SILT FENCE INSTALLATION NOTES

1. SILT FENCE MUST BE PLACED AWAY FROM THE TOE OF THE SLOPE TO ALLOW FOR WATER PONDING. SILT FENCE AT THE TOE OF A SLOPE SHOULD BE INSTALLED IN A FLAT LOCATION AT LEAST SEVERAL FEET (2-5 FT) FROM THE TOE OF THE SLOPE TO ALLOW ROOM FOR PONDING AND DEPOSITION.
2. A UNIFORM 6" X 4" ANCHOR TRENCH SHALL BE EXCAVATED USING TRENCHER OR SILT FENCE INSTALLATION DEVICE. NO ROAD GRADERS, BACKHOES, OR SIMILAR EQUIPMENT SHALL BE USED.
3. COMPACT ANCHOR TRENCH BY HAND WITH A "JUMPING JACK" OR BY WHEEL ROLLING. COMPACTION SHALL BE SUCH THAT SILT FENCE RESISTS BEING PULLED OUT OF ANCHOR TRENCH BY HAND.
4. SILT FENCE SHALL BE PULLED TIGHT AS IT IS ANCHORED TO THE STAKES. THERE SHOULD BE NO NOTICEABLE SAG BETWEEN STAKES AFTER IT HAS BEEN ANCHORED TO THE STAKES.
5. SILT FENCE FABRIC SHALL BE ANCHORED TO THE STAKES USING 1" HEAVY DUTY STAPLES OR NAILS WITH 1" HEADS. STAPLES AND NAILS SHOULD BE PLACED 3" ALONG THE FABRIC DOWN THE STAKE.
6. AT THE END OF A RUN OF SILT FENCE ALONG A CONTOUR, THE SILT FENCE SHOULD BE TURNED PERPENDICULAR TO THE CONTOUR TO CREATE A "J-HOOK." THE "J-HOOK" EXTENDING PERPENDICULAR TO THE CONTOUR SHOULD BE OF SUFFICIENT LENGTH TO KEEP RUNOFF FROM FLOWING AROUND THE END OF THE SILT FENCE (TYPICALLY 10' - 20').
7. SILT FENCE SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES.

SILT FENCE MAINTENANCE NOTES

1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
4. SEDIMENT ACCUMULATED UPSTREAM OF THE SILT FENCE SHALL BE REMOVED AS NEEDED TO MAINTAIN THE FUNCTIONALITY OF THE BMP, TYPICALLY WHEN DEPTH OF ACCUMULATED SEDIMENTS IS APPROXIMATELY 6".
5. REPAIR OR REPLACE SILT FENCE WHEN THERE ARE SIGNS OF WEAR, SUCH AS SAGGING, TEARING, OR COLLAPSE.
6. SILT FENCE IS TO REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS STABILIZED AND APPROVED BY THE LOCAL JURISDICTION, OR IS REPLACED BY AN EQUIVALENT PERIMETER SEDIMENT CONTROL BMP.
7. WHEN SILT FENCE IS REMOVED, ALL DISTURBED AREAS SHALL BE COVERED WITH TOPSOIL, SEEDS AND MULCHED OR OTHERWISE STABILIZED AS APPROVED BY LOCAL JURISDICTION.

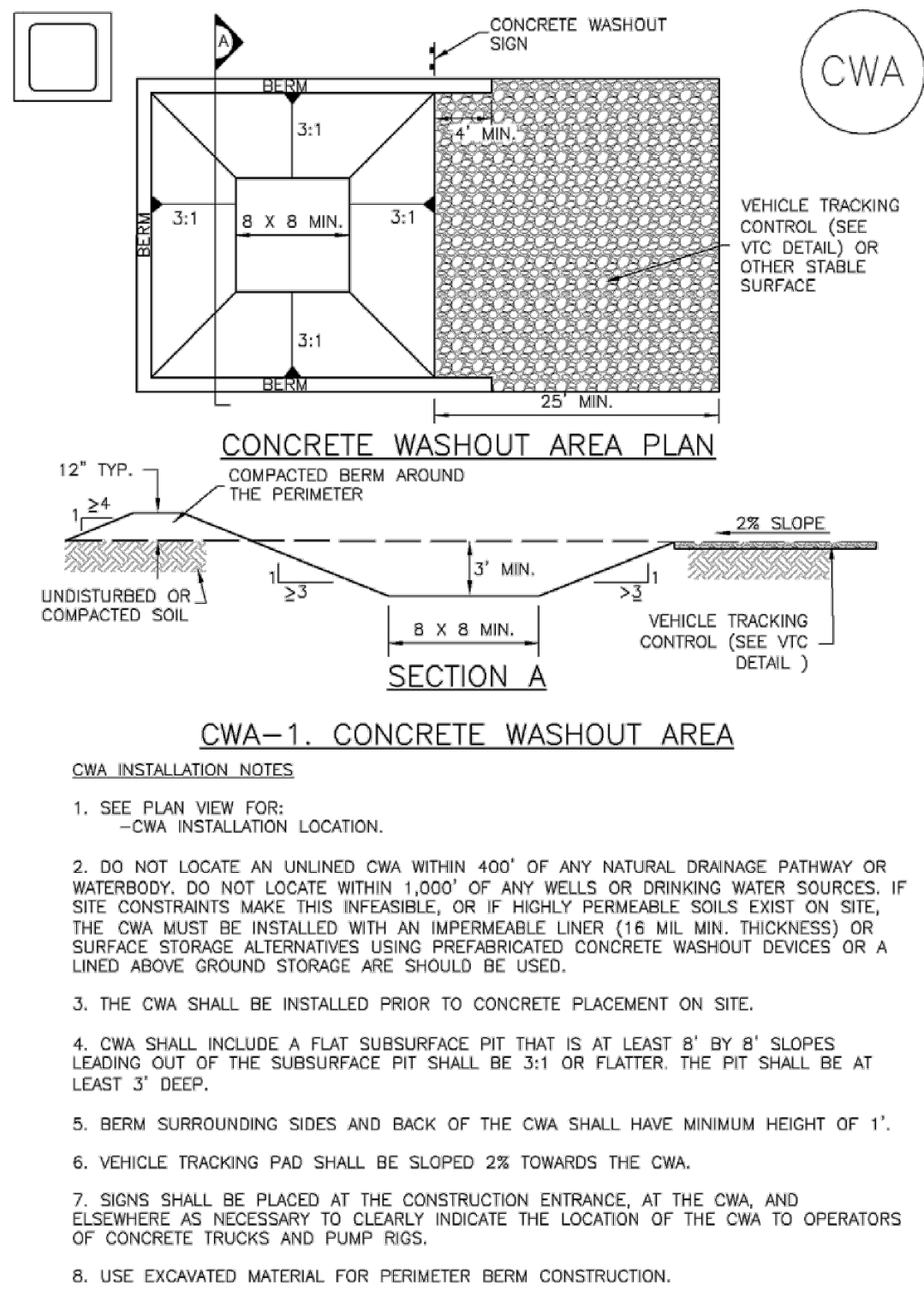
(DETAIL ADAPTED FROM TOWN OF PARKER, COLORADO AND CITY OF AURORA, COLORADO, NOT AVAILABLE IN AUTOCAD)

NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

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Concrete Washout Area (CWA)

MM-1



November 2010 Urban Drainage and Flood Control District CWA-3
Urban Storm Drainage Criteria Manual Volume 3

MM-1

Concrete Washout Area (CWA)

CWA MAINTENANCE NOTES

1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
4. THE CWA SHALL BE REPAIRED, CLEANED, OR ENLARGED AS NECESSARY TO MAINTAIN CAPACITY FOR CONCRETE WASTE. CONCRETE MATERIALS, ACCUMULATED IN PIT, SHALL BE REMOVED ONCE THE MATERIALS HAVE REACHED A DEPTH OF 2'.
5. CONCRETE WASHOUT WATER, WASTED PIECES OF CONCRETE AND ALL OTHER DEBRIS IN THE SUBSURFACE PIT SHALL BE TRANSPORTED FROM THE JOB SITE IN A TIGHT CONTAINER AND DISPOSED OF PROPERLY.
6. THE CWA SHALL REMAIN IN PLACE UNTIL ALL CONCRETE FOR THE PROJECT IS PLACED.
7. WHEN THE CWA IS REMOVED, COVER THE DISTURBED AREA WITH TOP SOIL, SEED AND MULCH OR OTHERWISE STABILIZED IN A MANNER APPROVED BY THE LOCAL JURISDICTION.

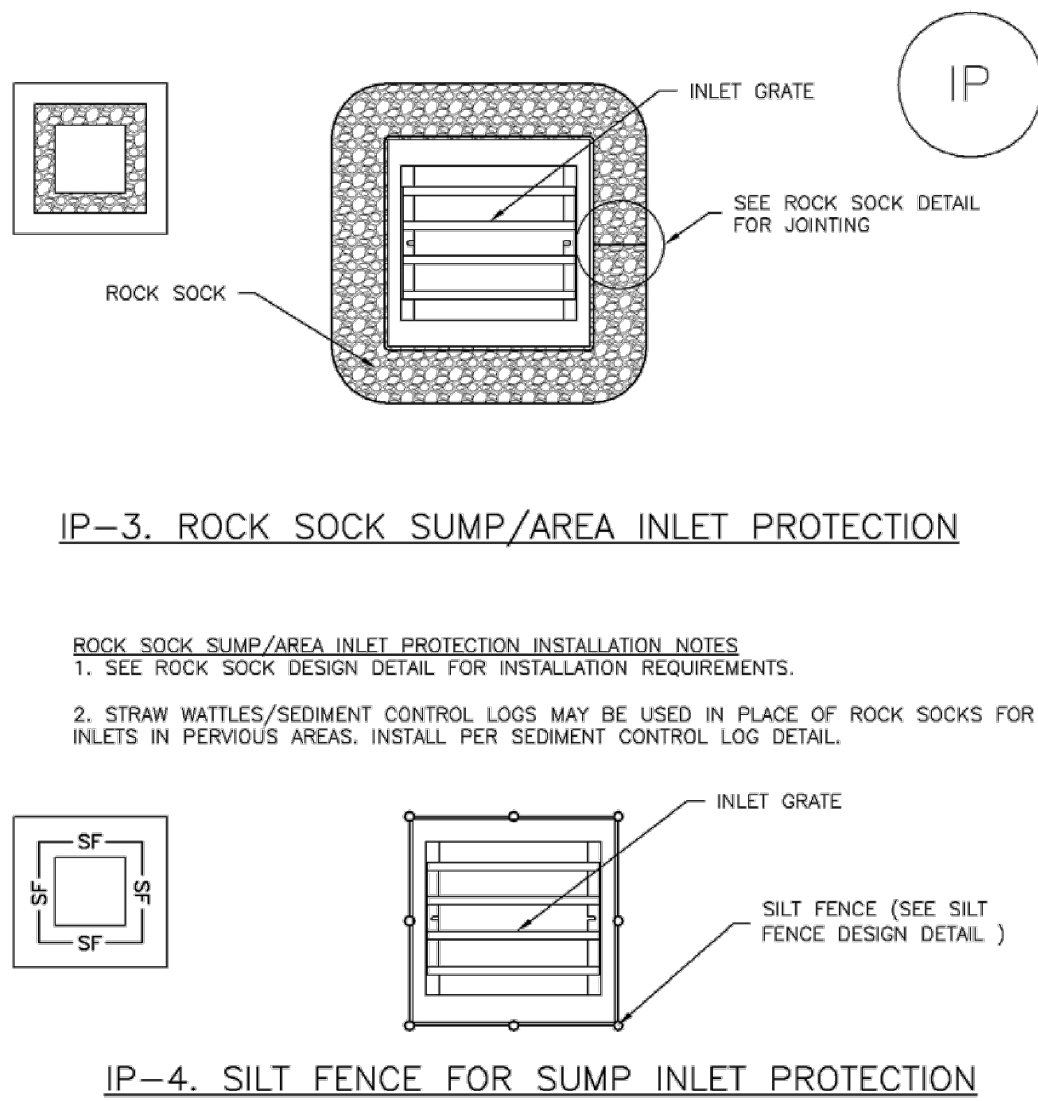
(DETAIL ADAPTED FROM DOUGLAS COUNTY, COLORADO AND THE CITY OF PARKER, COLORADO, NOT AVAILABLE IN AUTOCAD)

NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

CWA-4 Urban Drainage and Flood Control District November 2010
Urban Storm Drainage Criteria Manual Volume 3

Inlet Protection (IP)

SC-6



IP-3. ROCK SOCK SUMP/AREA INLET PROTECTION

ROCK SOCK SUMP/AREA INLET PROTECTION INSTALLATION NOTES

1. SEE ROCK SOCK DESIGN DETAIL FOR INSTALLATION REQUIREMENTS.
2. STRAW WATTLES/SEDIMENT CONTROL LOGS MAY BE USED IN PLACE OF ROCK SOCKS FOR INLETS IN PERVIOUS AREAS. INSTALL PER SEDIMENT CONTROL LOG DETAIL.

IP-4. SILT FENCE FOR SUMP INLET PROTECTION

SILT FENCE INLET PROTECTION INSTALLATION NOTES

1. SEE SILT FENCE DESIGN DETAIL FOR INSTALLATION REQUIREMENTS.
2. POSTS SHALL BE PLACED AT EACH CORNER OF THE INLET AND AROUND THE EDGES AT A MAXIMUM SPACING OF 3 FEET.
3. STRAW WATTLES/SEDIMENT CONTROL LOGS MAY BE USED IN PLACE OF SILT FENCE FOR INLETS IN PERVIOUS AREAS. INSTALL PER SEDIMENT CONTROL LOG DETAIL.

August 2013 Urban Drainage and Flood Control District IP-5
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SC-6

Inlet Protection (IP)

GENERAL INLET PROTECTION INSTALLATION NOTES

1. SEE PLAN VIEW FOR:
 - LOCATION OF INLET PROTECTION.
 - TYPE OF INLET PROTECTION (IP-1, IP-2, IP-3, IP-4, IP-5, IP-6)
2. INLET PROTECTION SHALL BE INSTALLED PROMPTLY AFTER INLET CONSTRUCTION OR PAVING IS COMPLETE (TYPICALLY WITHIN 48 HOURS). IF A RAINFALL/RUNOFF EVENT IS FORECAST, INSTALL INLET PROTECTION PRIOR TO ONSET OF EVENT.
3. MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

INLET PROTECTION MAINTENANCE NOTES

1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
4. SEDIMENT ACCUMULATED UPSTREAM OF INLET PROTECTION SHALL BE REMOVED AS NECESSARY TO MAINTAIN BMP EFFECTIVENESS, TYPICALLY WHEN STORAGE VOLUME REACHES 50% OF CAPACITY, A DEPTH OF 6" WHEN SILT FENCE IS USED, OR 1/4 OF THE HEIGHT FOR STRAW BALES.
5. INLET PROTECTION IS TO REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS PERMANENTLY STABILIZED, UNLESS THE LOCAL JURISDICTION APPROVES EARLIER REMOVAL OF INLET PROTECTION IN STREETS.
6. WHEN INLET PROTECTION AT AREA INLETS IS REMOVED, THE DISTURBED AREA SHALL BE COVERED WITH TOP SOIL, SEEDS AND MULCHED, OR OTHERWISE STABILIZED IN A MANNER APPROVED BY THE LOCAL JURISDICTION.

(DETAIL ADAPTED FROM TOWN OF PARKER, COLORADO AND CITY OF AURORA, COLORADO, NOT AVAILABLE IN AUTOCAD)

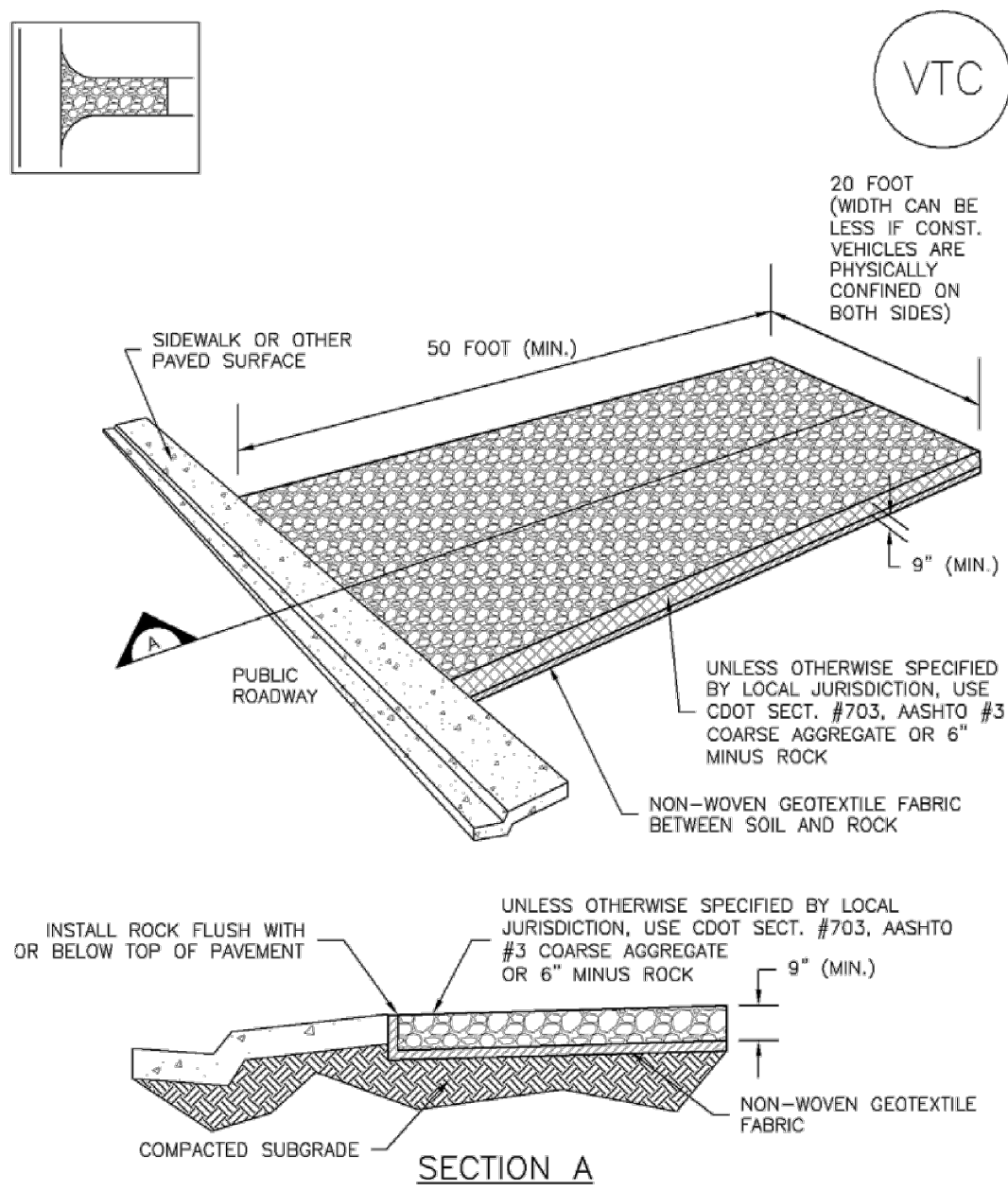
NOTE: THE DETAILS INCLUDED WITH THIS FACT SHEET SHOW COMMONLY USED, CONVENTIONAL METHODS OF INLET PROTECTION IN THE DENVER METROPOLITAN AREA. THERE ARE MANY PROPRIETARY INLET PROTECTION METHODS ON THE MARKET. UDFCD NEITHER ENDORSES NOR DISCOURAGES USE OF PROPRIETARY INLET PROTECTION. HOWEVER, IN THE EVENT PROPRIETARY METHODS ARE USED, THE APPROPRIATE DETAIL FROM THE MANUFACTURER MUST BE INCLUDED IN THE SWMP AND THE BMP MUST BE INSTALLED AND MAINTAINED AS SHOWN IN THE MANUFACTURER'S DETAILS.

NOTE: SOME MUNICIPALITIES DISCOURAGE OR PROHIBIT THE USE OF STRAW BALES FOR INLET PROTECTION. CHECK WITH LOCAL JURISDICTION TO DETERMINE IF STRAW BALE INLET PROTECTION IS ACCEPTABLE.

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Vehicle Tracking Control (VTC)

SM-4



VTC-1. AGGREGATE VEHICLE TRACKING CONTROL

November 2010 Urban Drainage and Flood Control District VTC-3
Urban Storm Drainage Criteria Manual Volume 3

SM-4

Vehicle Tracking Control (VTC)

STABILIZED CONSTRUCTION ENTRANCE/EXIT INSTALLATION NOTES

1. SEE PLAN VIEW FOR:
 - LOCATION OF CONSTRUCTION ENTRANCE(S)/EXIT(S).
 - TYPE OF CONSTRUCTION ENTRANCE(S)/EXIT(S) (WITH/WITHOUT WHEEL WASH, CONSTRUCTION MAT OR TRM).
2. CONSTRUCTION MAT OR TRM STABILIZED CONSTRUCTION ENTRANCES ARE ONLY TO BE USED ON SHORT DURATION PROJECTS (TYPICALLY RANGING FROM A WEEK TO A MONTH) WHERE THERE WILL BE LIMITED VEHICULAR ACCESS.
3. A STABILIZED CONSTRUCTION ENTRANCE/EXIT SHALL BE LOCATED AT ALL ACCESS POINTS WHERE VEHICLES ACCESS THE CONSTRUCTION SITE FROM PAVED RIGHT-OF-WAYS.
4. STABILIZED CONSTRUCTION ENTRANCE/EXIT SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES.
5. A NON-WOVEN GEOTEXTILE FABRIC SHALL BE PLACED UNDER THE STABILIZED CONSTRUCTION ENTRANCE/EXIT PRIOR TO THE PLACEMENT OF ROCK.
6. UNLESS OTHERWISE SPECIFIED BY LOCAL JURISDICTION, ROCK SHALL CONSIST OF DOT SECT. #703, AASHTO #3 COARSE AGGREGATE OR 6" (MINUS) ROCK.

STABILIZED CONSTRUCTION ENTRANCE/EXIT MAINTENANCE NOTES

1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
4. ROCK SHALL BE REPLACED OR REGRADED AS NECESSARY TO THE STABILIZED ENTRANCE/EXIT TO MAINTAIN A CONSISTENT DEPTH.
5. SEDIMENT TRACKED ONTO PAVED ROADS IS TO BE REMOVED THROUGHOUT THE DAY AND AT THE END OF THE DAY BY SHOVELING OR SWEEPING. SEDIMENT MAY NOT BE WASHED DOWN STORM SEWER DRAINS.

NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

(DETAILS ADAPTED FROM CITY OF BROOMFIELD, COLORADO, NOT AVAILABLE IN AUTOCAD)

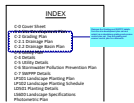
VTC-6 Urban Drainage and Flood Control District November 2010
Urban Storm Drainage Criteria Manual Volume 3



Markup Summary

dsdlaforce (9)

Constitution Colorado Springs, CO



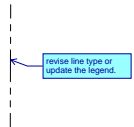
Sheet 1 of 10

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Date: 2/22/2019 1:08:23 PM
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Remove the Grading and SWPPP details from the site development plan set and submit as a standalone grading and erosion control plan set. See the grading and erosion control plan for comments.

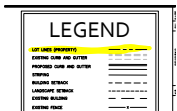


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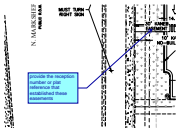


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revise line type or update the legend.

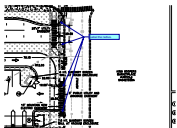


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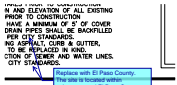
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provide the reception number or plat reference that established these easements



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Author: dsdlaforce
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Label the radius.



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Author: dsdlaforce
Date: 2/22/2019 1:08:28 PM
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Replace with El Paso County. The site is located within unincorporated El Paso County.

Subject: Text Box
Page Label: [5] QQ CO CONSTITUTION 1G-D-BASIN
Lock: Locked
Author: dsdlaforce
Date: 2/22/2019 1:08:29 PM
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Remove this sheet from the site plan set and the stand alone grading and erosion control plan set.

The drainage map is a part of the drainage letter.

Subject: Text Box
Page Label: [7] QQ CO CONSTITUTION 1G-DETAILS
Lock: Locked
Author: dsdlaforce
Date: 2/22/2019 1:08:30 PM
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Replace details with El Paso County standard details. See Appendix F of the EPC Engineering Criteria Manual.

dsdseivigny (9)

Subject: Text Box
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Author: dsdseivigny
Date: 2/22/2019 1:08:31 PM
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The following note should be added to all site development plans or non-residential site plans, as applicable, prior to PCD approval:

"The parties responsible for this plan have familiarized themselves with all current accessibility criteria and specifications and the proposed plan reflects all site elements required by the applicable ADA design standards and guidelines as published by the United States Department of Justice. Approval of this plan by El Paso County does not assure compliance with the ADA or any regulations or guidelines enacted or promulgated under or with respect to such laws."

Also required is an additional page illustrating the ADA route.

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Author: dsdseivigny
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Same as engineer notes, there are submittal links for the Landscape, Elevations, floor plans, and photometric plan. Please only include the Site Development Plan with ADA route here. This helps if there are no issues with a Site development plan, but there are issues with a Landscape plan, then you have to upload this document every time.

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Remove City File # from all pages and include File # PPR-19-004

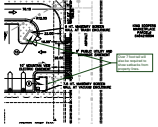
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update legend, property lines no correctly depicted

Provide actual distance structure is from property line

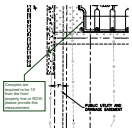
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Provide actual distance structure is from property line



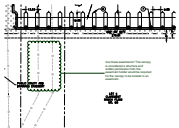
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Over 7 foot tall will also be required to show setbacks from property lines.



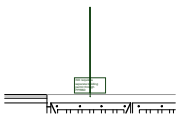
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Canopies are required to be 15' from the front property line or ROW, please provide this measurement.



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Are these easements? The canopy is considered a structure and written permission from the easement holder would be required for the canopy to be located in an easement.



Subject: Callout
Page Label: [7] QQ CO CONSTITUTION 1G-DETAILS
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Will require a separate building permit through PPRBD