

**BUCHER**  
DESIGN STUDIO  
architecture • planning

12325 Oracle Blvd, Suite 101  
Colorado Springs, CO 80921  
(719) 484-0480

Brian K. Bucher, AIA  
Architect  
CO license no. C-4889

A NEW  
BUILDING  
FOR

WIDEFIELD  
COMMUNITY  
BIBLE CHURCH

700 QUEBEC ST  
COLORADO SPRINGS, CO 80911

Sheet Title:  
**SITE  
DEVELOPMENT  
PLAN**

Drawing Status:  
**CD SET**

Revisions:

No.	Description	By	Date
1	COUNTY COMMENT REVISIONS	JS	12/6/24
2	PPRBD COMMENT REVISIONS	JS	2/21/25
3	SITE RE-DESIGN REVISIONS	JS	4/15/25

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Date:  
12/31/24

Drawn by:

Checked by:

Scale:  
AS NOTED

Job No.:

Sheet No.:  
**A0.1**  
Of

## SITE DATA

PROJECT ADDRESS: 700 QUEBEC ST.  
COLORADO SPRINGS, CO 80911

TAX SCHEDULE NO: 5519313006

LEGAL DESCRIPTION: THAT PART OF TRACT B WILSONS WIDEFIELD ADD 6 AS FOLS, BEG AT NE COR OF SD TR B, TH S 43°05'47" E ALG SWLY R/W LN OF QUEBEC ST 224.43 FT, S 46°15'13" W 184.38 FT, S 89°31'13" W 388.27 FT, N 0°28'47" W 290.00 FT TO N LN OF TR B, TH N 89°31'13" E ALG SD LN 372.00 FT TO POB, EX THAT PT CONV BY REC #206123338

CITY ZONING: RS-5000 CAD-0

PROPOSED/EXIST USE: RELIGIOUS (NO CHANGE)

LOT SIZE: 82,328 SF / 1.89 ACRES (EXISTING)

LOT COVERAGE: 40% ALLOWED / 37% EXISTING  
9.4% PROPOSED

SET BACKS: FRONT: 25' (REQD) / 132'-7" (PROVD)  
REAR: 25' (REQD) / 54'-11" (PROVD)  
SIDE: 5' (REQD) / 85'-1" (PROVD)

LANDSCAPE BUFFER: 10' MIN.

MAX HEIGHT: 22'-6"

AREA OF DISTURBANCE: 40,000 SF (APPROX) < 10 ACRES  
EXISTING IMPERMEABLE DRIVE AREA = 15,562 SF (38.9%)  
NEW IMPERMEABLE AREA = 14,196 SF (35.5%)  
(BUILDING, DRIVE AND WALK PAVING)  
OPEN SPACE = 308 SF (0.1%)  
LANDSCAPE AREA = 9,934 SF (24.8%)

PARKING: RELIGIOUS INSTITUTION:  
1 SPACE PER 4 SEATS  
269 SEATS PROVIDED:  
PARKING REQUIRED: 68 SPACES  
PARKING PROVIDED: 68 SPACES  
HC PARKING: 3 REQD / 3 PROVD

## BUILDING INFO

EXISTING BUILDING AREA: 3,021 SF (EXIST)  
V-A  
A-3, B (EXIST)  
NO

PROPOSED BUILDING BUILDING AREA: 4,659 SF TOTAL  
A-3 OCC = 3,690 SF / B OCC = 969 SF  
V-B  
A-3, B - SEPARATED  
NO  
FIRE RATING: 2-HR SEPARATION BET. A-3 & B OCCS

ALLOWABLE AREA:  
BASIC ALLOWABLE AREA = A-3: 6,000 SF / B: 9,000 SF  
A-3 AREA = 3,690 SF / B AREA = 969 SF  
(3,690/6,000) + (969/9,000) = 0.62 + 0.11 = 0.73 (<1.00)

BUILDING SEPARATION (IBC TABLE 705.5)  
PROPOSED SEPARATION = 12'-0 1/2" TO ASSUMED PROPERTY LINE  
ASSEMBLY USE / TYPE V-B = 0-HOUR FIRE RATING REQUIRED  
0-HOUR FIRE RATING PROVIDED

## PROJECT TEAM

OWNER:  
WIDEFIELD COMMUNITY BIBLE CHURCH  
702 QUEBEC ST.  
COLORADO SPRINGS, CO 80911  
CONTACT: JEREMY ESTREMA

CONTRACTOR: CASCO CONSTRUCTION  
1775 JET STREAM DR, STE 102  
COLORADO SPRINGS, CO 80921  
CONTACT: STEPHAN MORIN  
(719) 380-1140

ARCHITECT: BUCHER DESIGN STUDIO  
12325 ORACLE BLVD, STE 101  
CONTACT: JASON SHOUDIS, ARCHITECT  
(719) 484-0480

TRACT A  
MESA RIDGE SELF STORAGE FILING NO. 1  
REC. NO. 217713887

## SITE PLAN

SCALE: 1" = 20'-0"

Approved  
By: *Justin Kilgore*  
Planning Manager  
Date: 06/24/2025

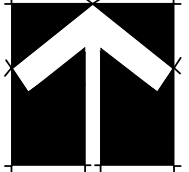
El Paso County Planning & Community Development



TRACT A  
WILSONS WIDEFIELD  
ADDITION NO. 6

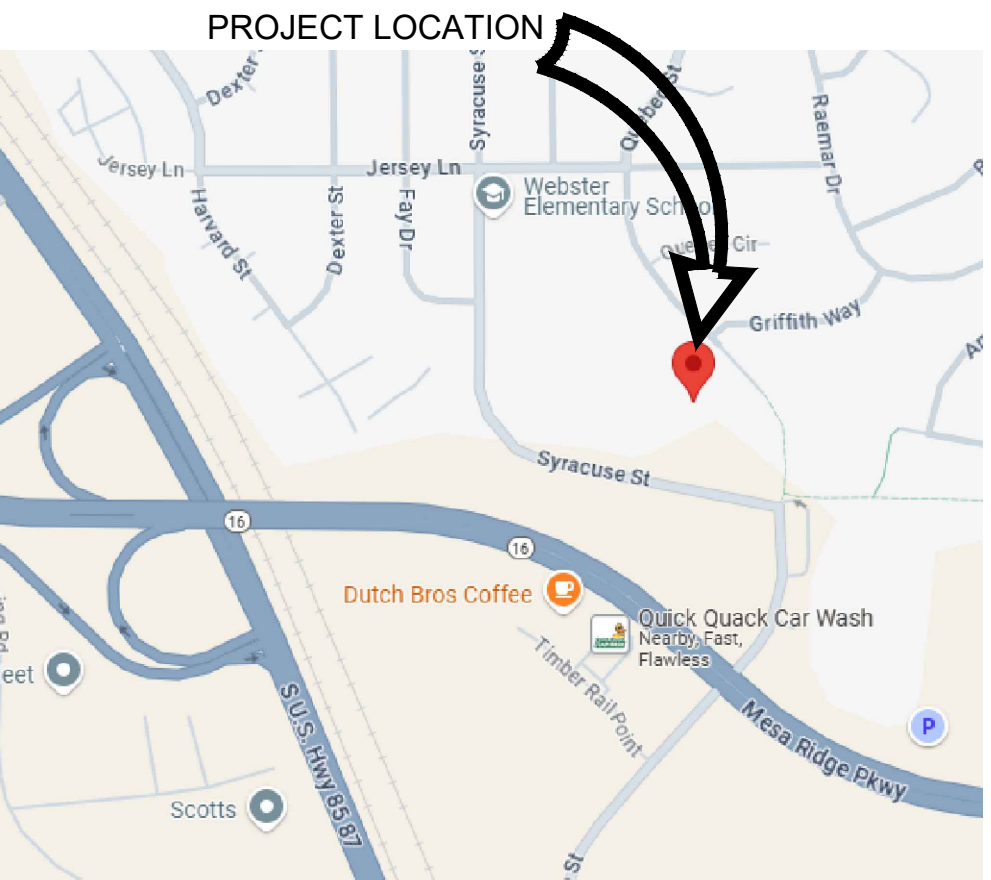
LOT 1  
BLOCK 17  
WILSONS WIDEFIELD  
ADDITION NO. 6

0 10' 20' 40' 60'

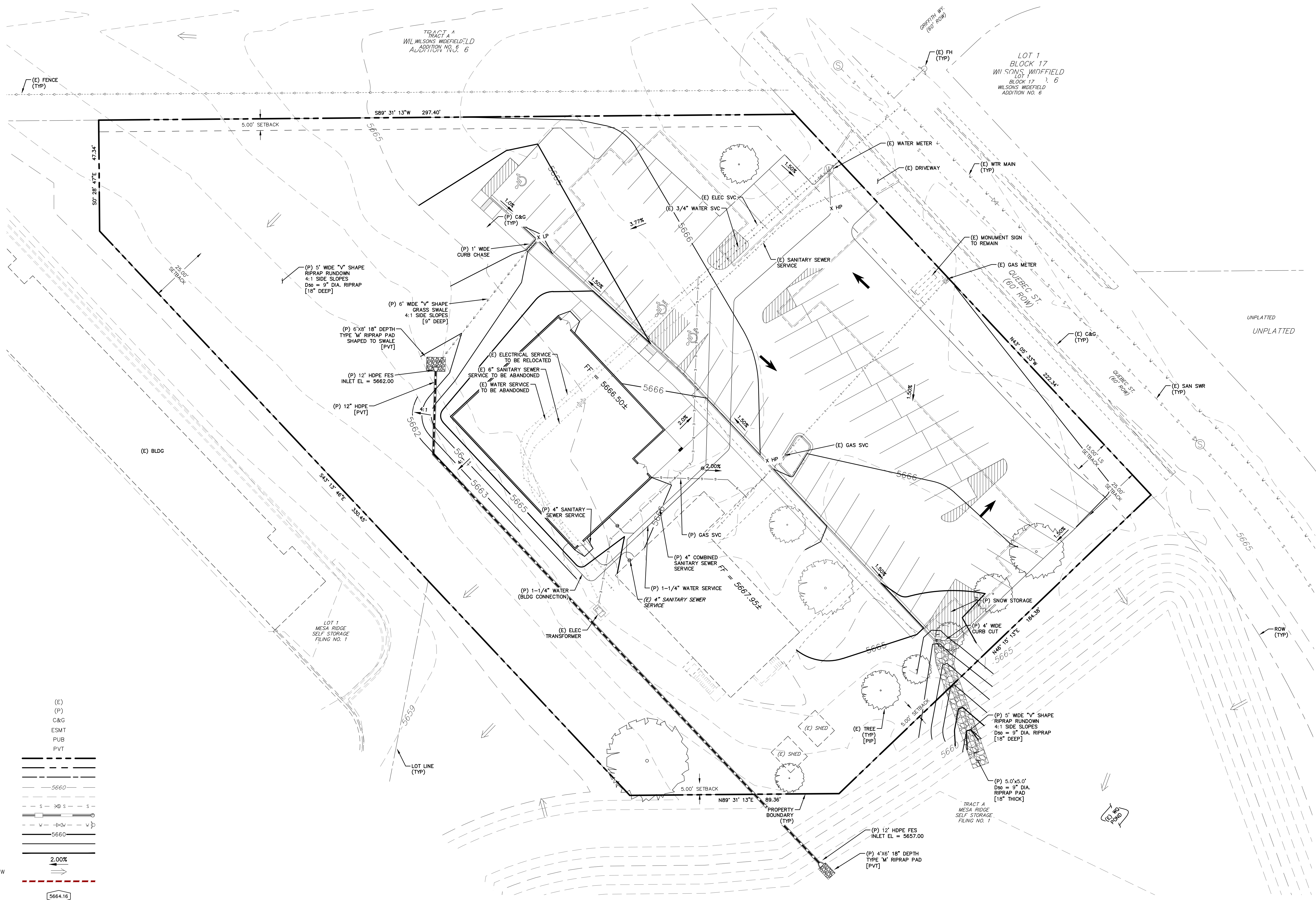


LOT 1  
MESA RIDGE SELF STORAGE FILING NO. 1  
REC. NO. 217713887

## VICINITY MAP







LEGEND

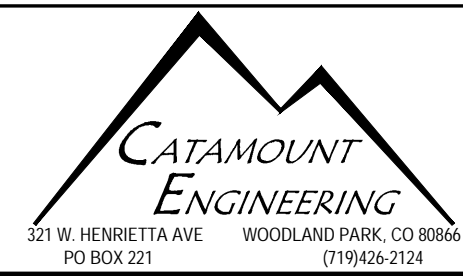
- EXISTING  
(E)  
PROPOSED  
(P)  
CURB AND GUTTER  
C&G  
EASEMENT  
ESMT  
PUBLIC  
PUB  
PRIVATE  
PVT  
PROPERTY BOUNDARY  
RIGHT-OF-WAY  
LOT LINE  
(E) CONTOUR, INDEX  
(E) CONTOUR  
(E) SANITARY MAIN, MH  
(E) STORM SEWER, INLET, MH  
(E) WATER MAIN, VALVE, FH  
(P) CONTOUR, INDEX  
(P) CONTOUR  
(P) RETAINING WALL  
DIRECTION OF FLOW  
(E) DIRECTION OF OVERLAND FLOW  
LIMITS OF DISTURBANCE &  
CONSTRUCTION LIMITS  
FINISH FLOOR ELEVATION

REV.	DESCRIPTION	DATE
1	SITE LAYOUT REVISED BASED ON SURVEY INFORMATION	4/8/25

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PREPARED FOR:  
**BUCHER DESIGN STUDIO**  
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SUITE 101  
COLORADO SPRINGS, CO 80921  
(719) 484-0480

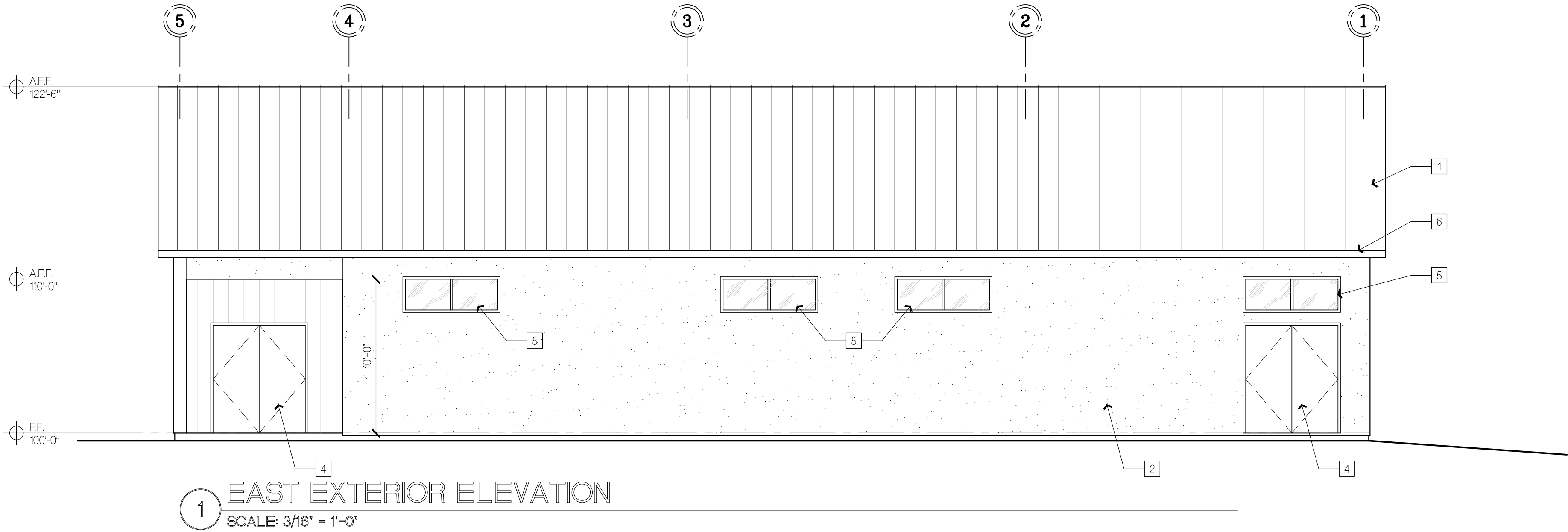
**NOT FOR  
CONSTRUCTION**



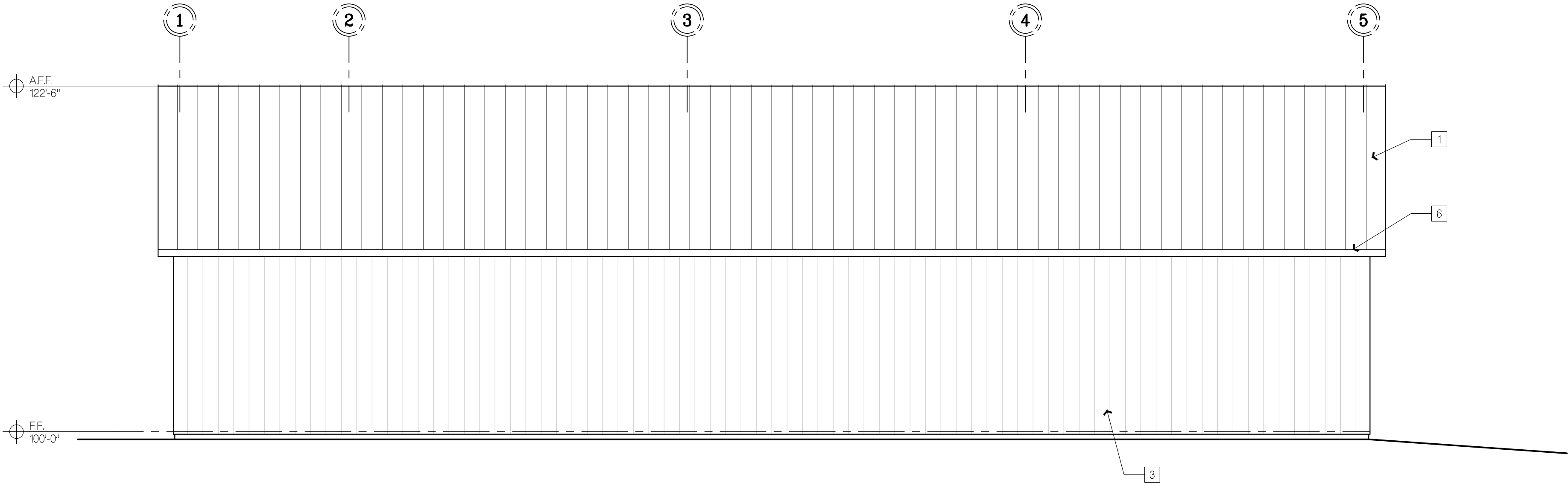
**WIDEFIELD COMMUNITY  
BIBLE CHURCH**  
**PRELIMINARY GRADING &  
PRELIMINARY UTILITY PLAN**

DESIGNED BY: MGP	DRAWN BY: MGP
SCALE: 1" = 20'	DATE: 10/02/24
JOB NUMBER	SHEET
24-416	1 OF 1

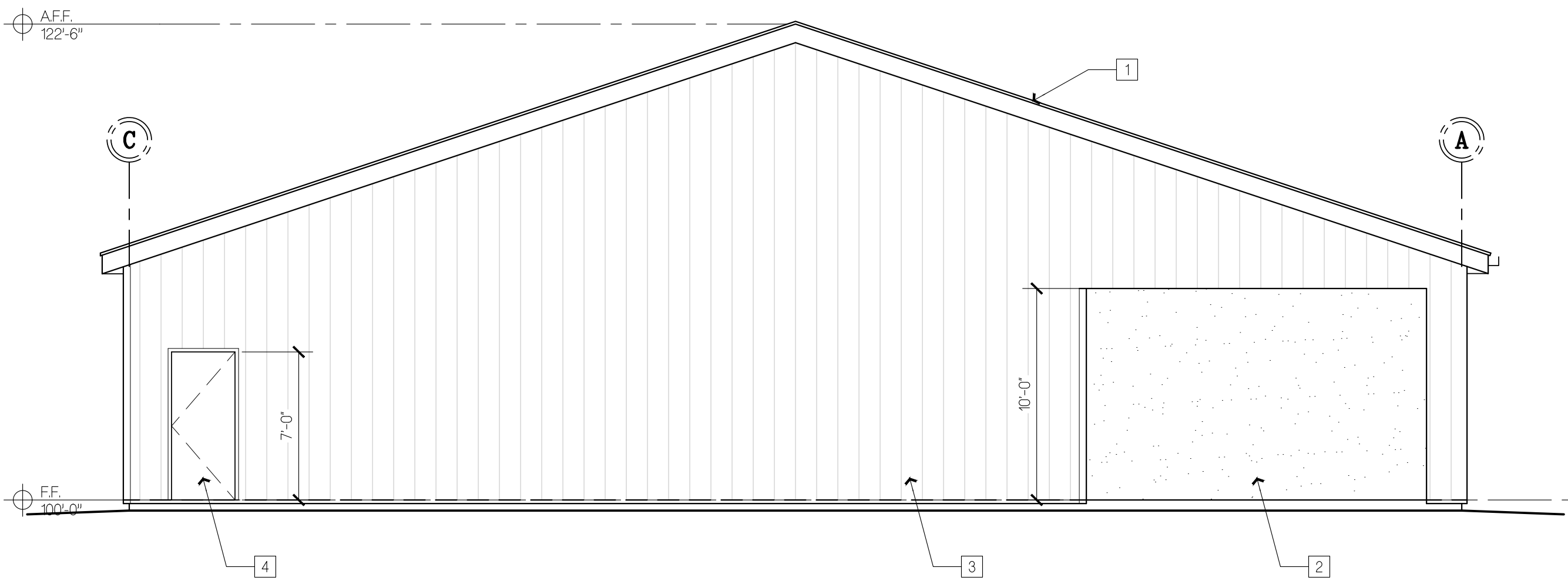




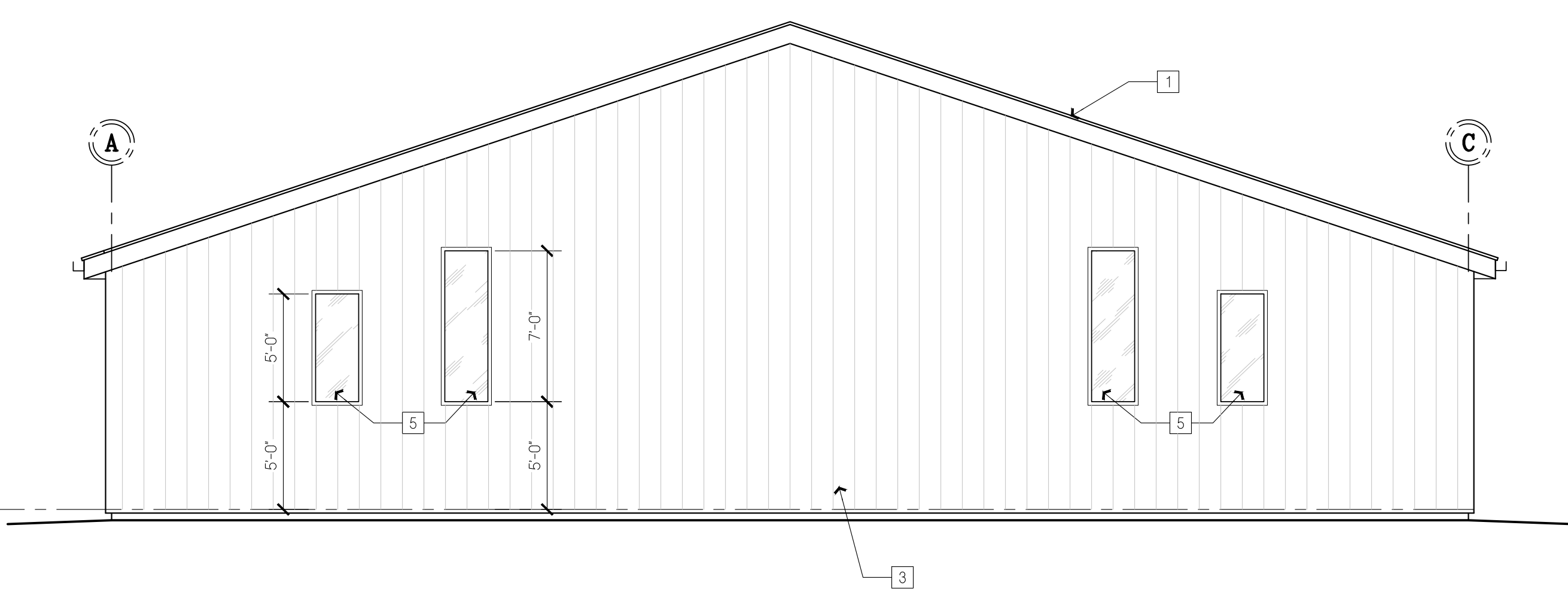
1 EAST EXTERIOR ELEVATION  
SCALE: 3/16" = 1'-0"



2 WEST EXTERIOR ELEVATION  
SCALE: 3/16" = 1'-0"



3 SOUTH EXTERIOR ELEVATION  
SCALE: 3/16" = 1'-0"



4 NORTH EXTERIOR ELEVATION  
SCALE: 3/16" = 1'-0"

ELEVATION KEYED NOTES

1

STANDING SEAM METAL ROOF SYSTEM

2

EXTERIOR PLASTER FINISH OVER RIGID INSULATION AND PLYWOOD SHEATHING

3

VERTICAL METAL SIDING, FACTORY FINISH

4

HOLLOW METAL DOORS IN HOLLOW METAL FRAME, PRIMED AND PAINTED

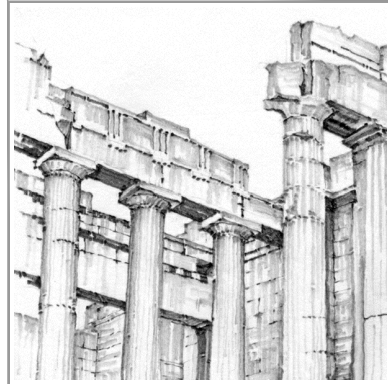
5

STOREFRONT WINDOW SYSTEM - ANODIZED ALUMINUM FRAME WITH THERMAL BREAK AND INSULATED, CLEAR GLASS.

6

GUTTER AND DOWNSPOUTS (# AND LOCATIONS TBD) DRAIN AWAY FROM BUILDING. PROVIDE SPLASH BLOCK OR RIP RAP EROSION PROTECTION.

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COLORADO SPRINGS, CO 80911

Sheet Title:  
EXTERIOR  
ELEVATIONS

Drawing Status:  
SDP SUBMITTAL

NOT FOR CONSTRUCTION

Revisions:

No.	Description	By	Date
1			

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Date:  
9/30/24

Drawn by:

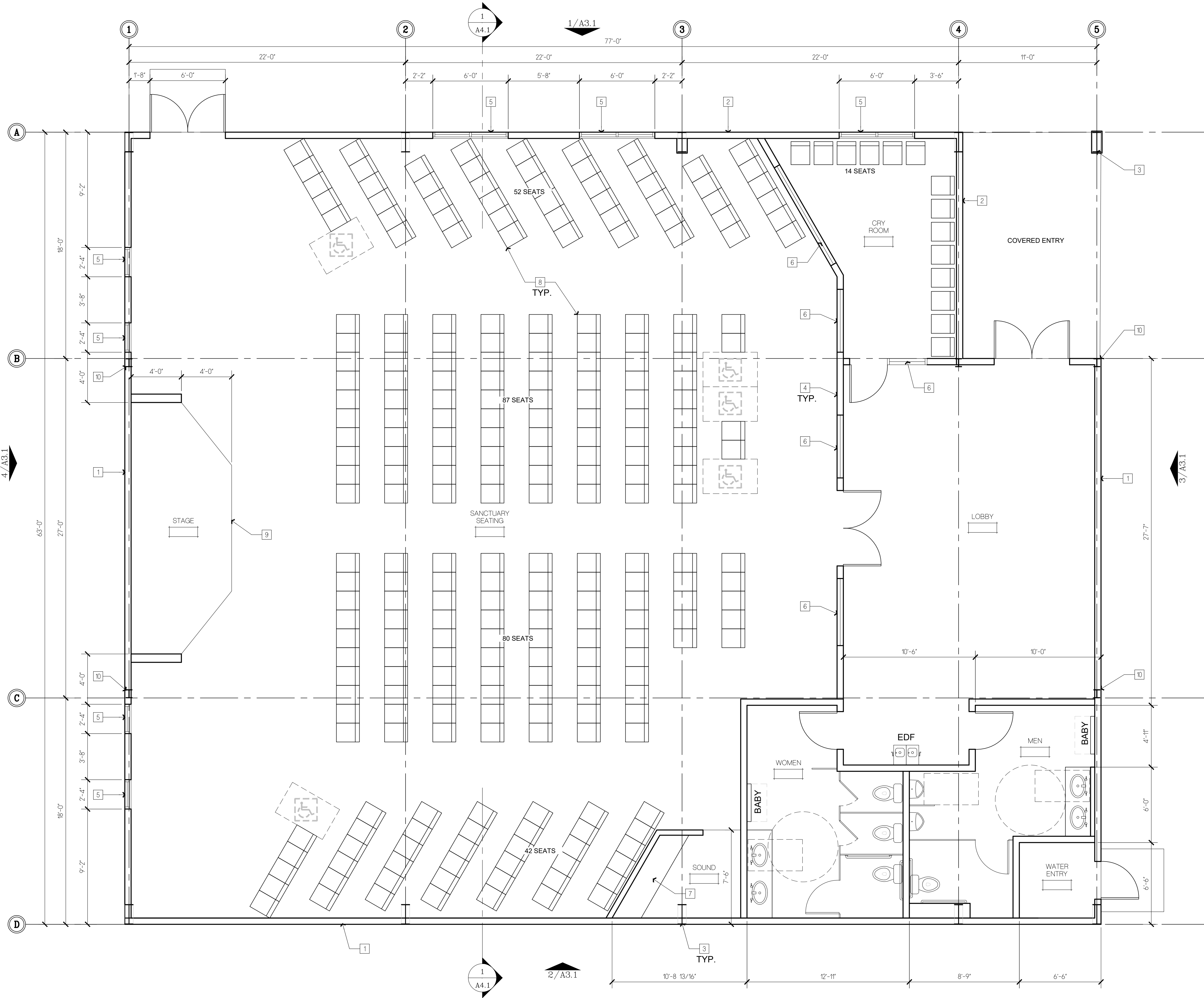
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Scale:  
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Job No.:

Sheet No.:  
A3.1  
Of





FLOOR PLAN KEYED NOTES

1

EXTERIOR WALL - VERTICAL METAL SIDING OVER RIGID INSULATION AND PEMB FRAME

2

EXTERIOR WALL - EXTERIOR PLASTER FINISH SYSTEM OVER RIGID INSULATION AND PLYWOOD SHEATHING

3

RIGID STEEL FRAME COLUMN BY PEMB MFR

4

INTERIOR WALL - METAL STUD FRAMING WITH 5/8" TYPE 'X' GYP. BD. BOTH SIDES. R-11 (OR BETTER) BATT INSULATION TO FILL CAVITY.

5

EXTERIOR STOREFRONT WINDOW SYSTEM - ANODIZED ALUMINUM FRMAE WITH THERMAL BREAK AND INSULATED, CLEAR GLASS

6

INTERIOR STOREFRONT WINDOW SYSTEM - ANODIZED NON-THERMAL ALUMINUM FRAME WITH 1/4" CLEAR GLASS. TEMPERED SAFETY GLAZING AT HAZARDOUS LOCATIONS (TBD).

7

SOUND BOOTH - RAISED PLATFORM (7" MAX) WITH BUILT-IN PLASTIC LAMINATE COUNTER

8

STACKABLE SEATING BY CHURCH/OWNER

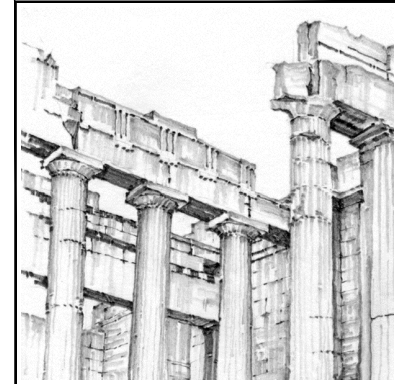
9

STAGE PLATFORM - 7" MAX. HEIGHT

10

STEEL COLUMN

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Date:  
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Drawn by:

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AS NOTED

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Sheet No.:  
A1.1  
Of

PLAN NORTH

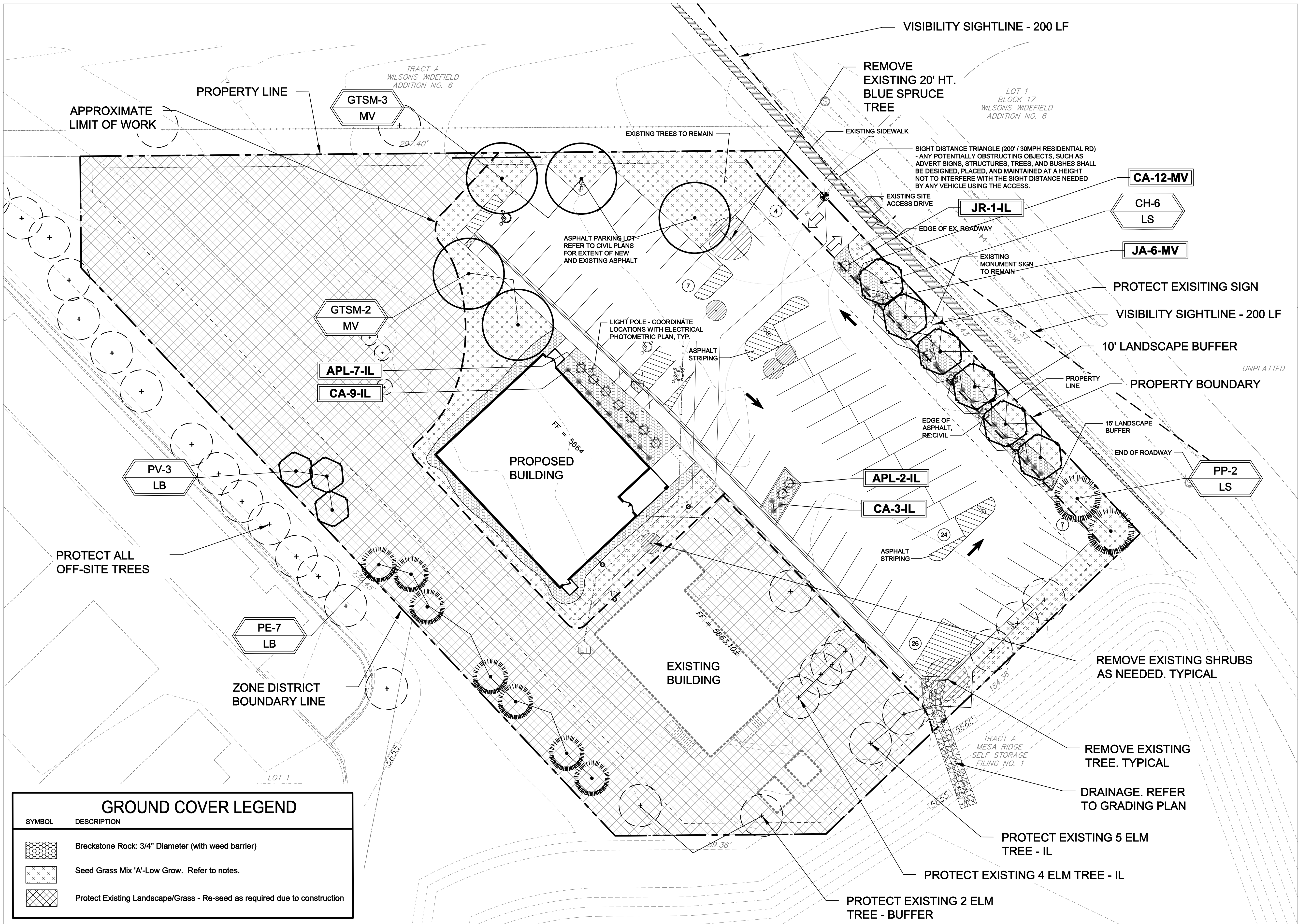
TRUE NORTH

PROPOSED FLOOR PLAN

SCALE: 1/4"=1'-0"

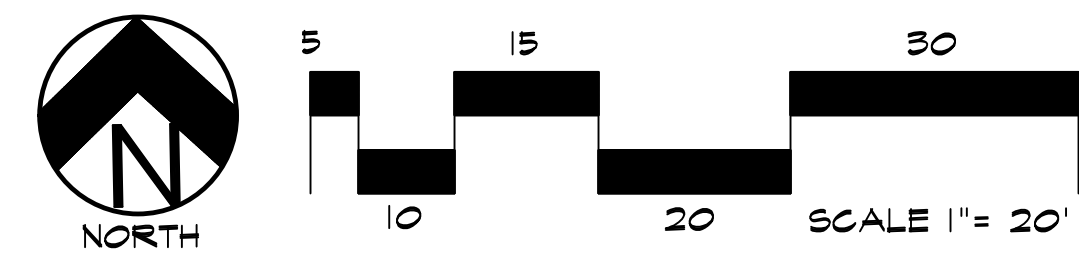
FLOOR AREA: 4,695 SF.





GROUND COVER LEGEND	
SYMBOL	DESCRIPTION
	Breckstone Rock: 3/4" Diameter (with weed barrier)
	Seed Grass Mix 'A'-Low Grow. Refer to notes.
	Protect Existing Landscape/Grass - Re-seed as required due to construction

ALTERNATE LANDSCAPE PLAN



**UTILITIES NOTE**  
VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES PRIOR TO START OF WORK. CALL 811 FOR UTILITY LOCATES. TREE TRUNK PLACEMENT SHALL BE 6" MINIMUM DISTANCE FROM ANY GAS OR ELECTRIC AND 10' FROM GAS MAINS RATED AT 150PSI. FOR SANITARY SEWER AND WATER MAINLINES TREES SHALL NOT BE LOCATED WITHIN EASEMENTS AND WITHIN 15' OF ANY MAINLINE. ANY CONFLICT BETWEEN TREE LOCATIONS AND UTILITIES SHOWN ON PLANS SHALL BE RESOLVED WITH GENERAL CONTRACTOR PRIOR TO PLANTING. ALL ELECTRICAL VAULTS AND TRANSFORMERS SHALL BE KEPT CLEAR FROM PLANT MATERIAL PER COLORADO SPRINGS UTILITIES GUIDELINES "LANDSCAPING AROUND ELECTRICAL EQUIPMENT". SEE COLORADO SPRINGS UTILITIES CONSTRUCTION STANDARD DRAWINGS 18-302 FOR SPECIFIC CLEARANCE REQUIREMENTS. ALL SHRUBS TO BE LOCATED 3' CLEAR OF ALL FIRE HYDRANTS AT MATURE SIZE.

**DOCUMENT NOTE**  
IRRESPECTIVE OF ANY OTHER TERM IN THIS DOCUMENT, LANDSCAPE ARCHITECT SHALL NOT CONTROL OR BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SCHEDULES, SEQUENCES OR PROCEDURES, OR FOR CONSTRUCTION SAFETY OR ANY OTHER RELATED PROGRAMS, OR FOR ANOTHER PARTIES' ERRORS OR OMISSIONS OR FOR ANOTHER PARTIES FAILURE TO COMPLETE THEIR WORK OR SERVICES IN ACCORDANCE WITH LANDSCAPE ARCHITECT'S DOCUMENTS.

PPR-2438

**HIGHER GROUND DESIGNS, INC.**  
LANDSCAPE ARCHITECTURE, PLANNING & IRRIGATION DESIGN  
5350 NORTH ACADEMY BLVD., STE. 207  
COLORADO SPRINGS, CO 80918  
Phone 719-477-1646  
Fax 719-468-1122



**WIDEFIELD COMMUNITY BIBLE CHURCH**  
702 QUEBEC STREET  
COLORADO SPRINGS, CO  
  
PREPARED FOR:  
  
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NOT FOR CONSTRUCTION	JOB NUMBER	1219-24
	REVISIONS	
	11-18-24	PER COUNTY COMMENTS
	4-15-25	PER LAYOUT REVISIONS
	5-22-25	PER COMMENTS
	ORIGINAL DATE	10-2-24
	DRAWN BY	JM
	DESCRIPTION	LANDSCAPE PLAN
	SHEET NO.	L1.1



GENERAL SITE NOTES

- CONTRACTOR RESPONSIBLE FOR COORDINATING AND INSTALLING ALL SLEEVING REQUIRED FOR LANDSCAPE AND IRRIGATION CONSTRUCTION. COORDINATE WITH GENERAL CONTRACTOR. ALL PLANTING AREAS SHALL RECEIVE SLEEVING. REFER TO PLANTING PLAN FOR ADDITIONAL INFORMATION.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES, AS SHOWN ON THESE PLANS, IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY PERTINENT LOCATIONS AND ELEVATIONS, ESPECIALLY AT CONNECTION POINTS AND AT POTENTIAL UTILITY CONFLICTS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES THAT CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FOR ALL APPLICABLE AGENCIES.
- ALL MATERIALS, WORKMANSHIP, AND CONSTRUCTION OF PUBLIC IMPROVEMENTS SHALL MEET OR EXCEED THE STANDARDS AND SPECIFICATIONS SET FORTH IN LOCAL CITY STANDARDS AND SPECIFICATIONS AND APPLICABLE STATE AND FEDERAL REGULATIONS. WHERE THERE IS CONFLICT BETWEEN THESE PLANS AND THE SPECIFICATIONS, OR ANY APPLICABLE STANDARDS, THE HIGHER QUALITY STANDARD SHALL APPLY. ALL WORK SHALL BE INSPECTED AND APPROVED BY THE APPROPRIATE GOVERNING AGENCIES.
- THE CONTRACTOR SHALL HAVE ONE (1) SIGNED COPY OF THE APPROVED CONSTRUCTION DOCUMENTS, ONE (1) COPY OF THE APPROPRIATE STANDARDS AND SPECIFICATIONS, AND A COPY OF ANY PERMITS AND EXTENSION AGREEMENTS NEEDED FOR THE JOB, ON-SITE AT ALL TIMES.
- ALL REFERENCES TO ANY PUBLISHED STANDARDS SHALL REFER TO THE LATEST REVISION OF SAID STANDARD, UNLESS SPECIFICALLY STATED OTHERWISE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING ROADWAYS FREE AND CLEAR OF ALL CONSTRUCTION DEBRIS TRACKED FROM THE SITE.
- THE CONTRACTOR SHALL PROTECT ALL SITE ELEMENTS DURING CONSTRUCTION INCLUDING, BUT NOT LIMITED TO: CONCRETE FLATWORK, CURB & GUTTER, PAVING, SIGNS, TREES, UTILITIES, ETC. ANY DAMAGE TO INFRASTRUCTURE SHALL BE RESPONSIBILITY OF CONTRACTOR TO REPAIR AND/OR REPLACE IN EQUAL OR BETTER CONDITION. ANY DAMAGE SHALL BE DOCUMENTED THE DAY IT OCCURS AND REPORTED TO THE CLIENT WITHIN 12 HOURS. COORDINATE WITH GENERAL CONTRACTOR.
- CONTRACTOR IS RESPONSIBLE FOR SUBMITTING LANDSCAPE AND IRRIGATION SUBMITTALS FOR APPROVAL PRIOR TO START OF ANY WORK.

INSTALLATION NOTES

REMOVE EXISTING TREES, DEBRIS AND WEEDS FROM SITE PRIOR TO CONSTRUCTION (AS SHOWN PER PLAN).

LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE SITE DURING CONSTRUCTION. WEEDS AND TRASH SHALL BE REMOVED DAILY AS REQUIRED.

EXISTING TOPSOIL TO BE STOCKPILED ON-SITE AND USED DURING CONSTRUCTION TO ESTABLISH GRADES WITHIN LANDSCAPE AREAS AS SHOWN PER PLAN.

CONTRACTOR SHALL REFER TO ASSOCIATED LANDSCAPE CONTRACTORS OF COLORADO HANDBOOK (ALCC), 2007 REVISED EDITION FOR ALL CONSTRUCTION FOR THIS SITE. CONTACT OWNER/LANDSCAPE ARCHITECT FOR QUESTIONS.

QUANTITIES SHOWN IN PLANT SCHEDULE ARE FOR CONVENIENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL PLANT MATERIAL PER PLAN. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL THEFTS OR DAMAGE TO PLANT MATERIAL ONCE PLANT MATERIAL IS DELIVERED TO JOB SITE.

LANDSCAPE ARCHITECT SHALL HAVE OPPORTUNITY TO INSPECT AND APPROVE ALL TREES AND ALL 1-15 GALLON MATERIAL AT JOB SITE PRIOR TO PLANTING, INCLUDING PLACEMENT INSPECTION.

ALL EDGING SEPARATING GRASS AND ROCK/MULCH AREAS TO BE GREEN PRO-STEEL OR APPROVED EQUAL. EDGING TO BE EXPOSED 1/2" - 4" ABOVE FINISHED GRADES. INSTALL PER MANUFACTURE RECOMMENDATIONS. NO EDGING BETWEEN ROCK MULCHES.

ALL ROCK COVER AREAS ONLY TO BE PREPARED WITH LANDSCAPE FABRIC WITH STAPLES AT 5' O.C. FABRIC SEAMS TO BE OVERLAPPED 6" MIN. AND SECURED WITH STAPLES.

GROUND COVER SHALL BE CONTINUOUS UNDER ALL SHRUBS THROUGHOUT PROJECT SITE.

TREES AND SHRUBS TO RECEIVE ORGANIC MULCH PER DETAILS, INCLUDING ROCK AREAS-SEE DETAILS. ORGANIC MULCH TO BE CASCADE SHREDDED CEDAR WITH NO LANDSCAPE FABRIC AND 4" DEPTH.

DO NOT PLANT SHRUBS OR TREES OF INCOMPATIBLE WATER REQUIREMENTS IMMEDIATELY ADJACENT TO ONE ANOTHER.

PLANT BACKFILL SHALL BE 70% NATIVE ON-SITE SOIL, AND 30% BREW-GRO BIOCAMP CLASS 1 (OR CITY APPROVED EQUAL).

A REPRESENTATIVE SAMPLE OF THE BOTANICAL NAME TAGS, FURNISHED BY THE NURSERY STOCK PROVIDER SHALL REMAIN ATTACHED TO THE PLANTS UNTIL FINAL INSPECTION.

LANDSCAPE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT IF STORM DRAINAGE FROM ADJACENT LANDSCAPE AREAS OR BUILDING DOWNSPOUTS WILL ADVERSELY AFFECT LANDSCAPED AREAS PER THE PLAN.

DECORATIVE BOULDERS SHALL BE BURIED 1/3 BELOW GRADE AND SHALL NOT OBSTRUCT VEHICULAR SIGHTLINES IF APPLICABLE.

PRIOR TO INSTALLING PLANTS OR GROUND COVER BROADCAST PREEN WEED PRE-EMERGENT IN ALL PLANTING AREAS PER MANUFACTURE RECOMMENDATIONS. [WWW.PREEN.COM](http://WWW.PREEN.COM)

SOIL PREP NOTES

- SOIL PREPARATION FOR UNDISTURBED OR COMPACTED PLANTING AREAS:
- IF UNDISTURBED RIP EXISTING SOIL TO A DEPTH OF NINE (9) INCHES MINIMUM IN ONE DIRECTION USING AN AGRICULTURAL RIPPER WITH TINES SPACED NO FURTHER THAN EIGHTEEN (18) INCHES APART OR TILL TO 6" DEPTH. AREAS ADJACENT TO WALKS, STRUCTURES, CURBS, ETC., WHERE THE USE OF LARGE MECHANICAL EQUIPMENT IS DIFFICULT SHALL BE WORKED WITH SMALLER EQUIPMENT OR BY HAND.
  - REMOVE ALL RUBBLE, STONES AND EXTRANEOUS MATERIAL OVER TWO (2) INCHES IN DIAMETER FROM THE SITE.

LAYOUT NOTES

CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL LANDSCAPE SHOWN ON THIS PLAN. ANY DEVIATIONS FROM THIS PLAN ARE TO BE APPROVED BY OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT. DEVIATIONS FROM THE APPROVED PLAN WILL REQUIRE APPROVAL BY EL PASO COUNTY AND OWNER REPRESENTATIVE.

TREE AND SITE PROTECTION

CONTRACTOR TO PROVIDE PROTECTION FOR EXISTING AND/OR RELOCATED TREES TO BE PROTECTED AS SHOWN PER PLAN. CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR ANY DAMAGE TO PROTECTED TREES AND/OR ADJACENT LANDSCAPE. CONTRACTOR SHALL PROVIDE 4" HIGH RIGID TREE PROTECTION FENCING. EACH TREE TO BE PROTECTED SHALL BE MARKED-SEE DETAIL.

CONTRACTOR SHALL COORDINATE EXISTING TREE / LANDSCAPE REMOVAL AND PROTECTION PER PLAN WITH GENERAL CONTRACTOR.

SEEDING NOTES

SEED MIX 'A': NATIVE SEED TO BE EL PASO COUNTY LOW GROW MIX. REFER TO CHART. SEED TO BE APPLIED AT 4LBS/1,000 SF USING DRILL SEED PROCESS OR HYDRO-SEED PROCESS MINIMUM OR PER EL PASO GUIDELINES. SOIL SHALL BE AMENDED BREW-GRO BIOCAMP CLASS 1 (OR CITY APPROVED EQUAL) AT 2 C.Y./1000 SF TILLED INTO TOP 4-6" OF SOIL PRIOR TO SEEDING. REFER TO CHART 5-2 FOR IRRIGATED MIX.

DEPENDENT ON WEATHER, SEED SHALL BE INSTALLED WITHIN THE FOLLOWING TIME FRAMES: SEPTEMBER 1 UNTIL CONSISTENT GROUND FREEZE FOR SPRING ESTABLISHMENT (DORMANT SEEDING); SPRING THAW UNTIL JUNE 1 FOR SPRING AND SUMMER ESTABLISHMENT (ACTIVE SEEDING).

FOR HYDRO-SEEDING ALL SEEDED AREAS SHALL RECEIVE NOT LESS THAN 1 TON PER ACRE (2000 LBS) OF VIRGIN WOOD CELLULOSE HYDRO-MULCH AND 100 LBS PER ACRE OF ORGANIC TACKIFIER.

SEEDED LANDSCAPE AREAS SHALL HAVE NO BARE AREAS LARGER THAN SIX (6) SQUARE INCHES 15 DAYS AFTER GERMINATION.

DRILL SEEDING: SEEDING EQUIPMENT USED FOR APPLYING SEED MIXTURES SHALL BE DESIGNED, MODIFIED OR EQUIPPED TO REGULATE THE APPLICATION RATE AND PLANTING DEPTH OF THE SEED MIXTURE. SEED SHALL BE UNIFORMLY DISTRIBUTED IN THE DRILL HOPPER DURING THE DRILLING OPERATION. A RANGELAND DRILL, CAPABLE OF MIXING DIFFERENT SIZES AND WEIGHTS OF SEEDS SHALL BE USED. THE DRILL SHALL BE EQUIPPED WITH DOUBLE DISK FURROW OPENERS, DEPTH BANDS, PRESS WHEELS OR DRAG CHAINS.

THE SEED SHALL BE DRILLED APPROXIMATELY 1/2" INCH BELOW THE SOIL SURFACE. HALF OF THE TOTAL RATE OF SEED APPLICATION SHALL BE DRILLED IN 1 DIRECTION, WITH THE REMAINDER OF THE SEED RATE DRILLED AT 90 DEGREES FROM THE FIRST DIRECTION. DO NOT DRILL OR SOW SEED DURING HIGH WINDS OR WHEN THE GROUND IS FROZEN OR OTHERWISE UNABLE TO BE WORKED.

ALL SEEDED AREAS LESS THAN 3:1 SHALL RECEIVE NO LESS THAN 2 TONS PER ACRE (400 LBS) OF CERTIFIED WEED FREE STRAW MULCH. STRAW MULCH SHALL BE APPLIED IN A UNIFORM MANNER BY MULCH SPREADER OR BY HAND. STRAW MULCH SHALL BE CRIMPED OR ANCHORED INTO THE SEEDBED IMMEDIATELY FOLLOWING SPREADING BY USING A MULCH TILLER (CRIMPER). MULCH TILLERS SHALL HAVE ROUND, NOTCHED-BLADE SPACED 8-INCHES APART (MIN.) AND SHALL HAVE SUFFICIENT WEIGHT TO FORCE THE VEGETATIVE MULCH A MINIMUM DEPTH OF 3-INCHES INTO THE SOIL. ALL MULCH TILLING SHALL BE DONE PERPENDICULAR TO THE FLOW-LINE OF THE SLOPE (ALONG CONTOURS). HAND CRIMPING SHALL BE PERFORMED ON AREAS WHERE MECHANICAL METHODS CANNOT BE USED.

MULCH SHALL BE APPLIED TO SEEDED AREAS (INCLUDING DAMP GROUND) WITHIN 24 HOURS FOLLOWING THE COMPLETION OF SEEDING OPERATIONS FOR THE AREA. MULCHING SHALL NOT BE PERFORMED DURING ADVERSE WEATHER CONDITIONS OR WHEN WIND PREVENTS UNIFORM DISTRIBUTION. APPLICATION SHALL BE IN A MANNER TO NOT SERIOUSLY DISTURB THE SEEDED SURFACE.

NATIVE GRASS MANAGEMENT NOTE

ON-GOING MAINTENANCE RECOMMENDATIONS FOR NATIVE GRASS

WELL ESTABLISHED SEEDED LAWN SHALL BE A HEALTHY, WELL-ROOTED, EVEN-COLORED, AND FREE OF WEEDS, BARE AREAS, AND SURFACE IRREGULARITIES.

THE MATURE HEIGHT OF NATIVE GRASS IS EXPECTED TO BE MAINTAINED AT ABOUT 6" HIGH AND MOWED TO 3" ONCE ANNUALLY IN THE LATE WINTER OR EARLY SPRING, AND IRRIGATED ON REDUCED WATER SCHEDULE.

THE SUCCESS OF PERMANENT NATIVE GRASS SEEDING CAN RARELY BE EVALUATED ACCURATELY PRIOR TO THE END OF ITS SECOND FULL GROWING SEASON. SEEDING SUCCESS DEPENDS UPON CONTROL OF WEED COMPETITION DURING THE FIRST TWO GROWING SEASONS. IN ADDITION, THE SITE SHOULD BE MONITORED ANNUALLY FOR UNDESIRABLE PLANT SPECIES.

THE SITE SHOULD BE MONITORED FOR UNDESIRABLE PLANT SPECIES. IF WEED CONTROL NEEDS TO BE PERFORMED DURING THE FIRST YEAR OF PLANT GROWTH, UTILIZE ONE OF TWO METHODS. REGARDLESS OF WHICH METHOD OF WEED CONTROL IS USED, COMPLETE BEFORE FLOWERING OF WEED SEED HEADS. SINCE WEED SPECIES MAY DEVELOP MATURE SEED HEADS AT DIFFERENT TIME OF THE GROWING SEASON, WEED CONTROL EFFORTS WILL BE REQUIRED.

- HAND PULL NOXIOUS WEEDS, REMOVING AS MUCH OF THE ROOT SYSTEM AS POSSIBLE.
- USE WEED EATERS TO SELECTIVELY CUT OFF THE SEED HEADS OF NOXIOUS WEEDS. USE SELECTIVE BROADLEAF HERBICIDE SUCH AS 2-4-D WITH A BACKPACK SPRAYER OR WICK APPLICATOR. BE CAREFUL NOT TO APPLY HERBICIDE ON MORE THAN ONE SQUARE FOOT IN ANY GIVEN AREA. CONTRACTOR TO NOTIFY OWNERS AUTHORIZED REPRESENTATIVE OF ANY SUSPECTED SOIL PROBLEMS AT THE END OF THE FIRST GROWING SEASON. BROADBAND APPLICATIONS OF HERBICIDE CAN BE COMPLETED AFTER NATIVE GRASS SPECIES REACH MATURE HEIGHT.

MAINTENANCE NOTE

ON-GOING MAINTENANCE DURING CONSTRUCTION:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ON-GOING MAINTENANCE OF ALL COMPLETED LANDSCAPE AND IRRIGATION WORK AS DEFINED UNDER CONTRACT WITH OWNER.

BEGIN MAINTENANCE IMMEDIATELY AFTER PLANTING AND CONTINUE UNTIL LANDSCAPE WORK IS COMPLETED, ACCEPTED BY OWNER, AND IF REQUESTED A FORMAL MAINTENANCE PERIOD IS INITIATED. MAINTAIN LAWNS BY WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING AND OTHER OPERATIONS SUCH AS ROLLING, REGARDING, REPAIR, PLANTING AS REQUIRED THROUGH CONSTRUCTION PERIOD. REMULCH WITH NEW MULCH IN AREAS WHERE MULCH HAS BEEN DISTURBED BY CONSTRUCTION OPERATIONS SUFFICIENTLY TO NULLIFY ITS PURPOSE. CONTRACTOR SHALL REPAIR SEEDED AREAS DAMAGED BY TRAFFIC AND/OR VANDALISM DURING THE CONSTRUCTION PERIOD.

IF THE IRRIGATION SYSTEM IS NOT AVAILABLE FOR PROPER WATERING AT THE TIME OF INSTALLATION, PROVIDE AND MAINTAIN TEMPORARY PIPING, HOSES, AND LAWN WATERING EQUIPMENT AS REQUIRED TO CONVEY WATER FROM SOURCES AND TO KEEP THE LAWN AREAS UNIFORMLY MOIST AS REQUIRED FOR PROPER GROWTH. FAILURE OF THE IRRIGATION SYSTEM SHALL NOT RELIEVE THE INSTALLER OF THE RESPONSIBILITY TO PROVIDE THE REQUIRED WATER. COORDINATE WITH OWNER.

ONE-YEAR WARRANTY

AS AGREED WITH OWNER, CONTRACTOR SHALL PROVIDE ONE-YEAR WARRANTY ON ALL PLANT MATERIAL, GRASSES AND IRRIGATION SYSTEM.

REPLACEMENT OF DEAD, DISEASED OR SUBSTANTIALLY DAMAGED PLANT MATERIALS SHALL BE OF THE SAME OR SIMILAR TYPE AS SET FORTH IN THE LANDSCAPE PLAN. REPLACEMENT SHALL BE MADE IN A TIME PERIOD NOT EXCEEDING 15 DAYS. PLANT MATERIAL NEEDING REPLACEMENT DURING WINTER MONTHS SHALL BE REPLACED AT THE START OF THE NEXT GROWING SEASON.

THE OWNER OF THIS PROPERTY AND ANY FUTURE OWNERS SHALL BE RESPONSIBLE FOR THE PROPER LANDSCAPE AND IRRIGATION SYSTEM MAINTENANCE OF THIS SITE AND ANY RIGHT-OF-WAY AREAS BETWEEN THE CURB AND PROPERTY BOUNDARIES OF THIS SITE. MAINTENANCE OF THIS INCLUDES, BUT IS NOT LIMITED TO, IRRIGATION INSPECTIONS AND ADJUSTMENTS, IRRIGATION SYSTEM SHUT DOWN AND START UP, IRRIGATION LEAK REPAIR, LANDSCAPE WEEDING, MOWING, SEEDING, FERTILIZING, WOOD MULCH AND ROCK ADDITIONS, PRUNING AND PLANT MATERIAL REPLACEMENTS. ALL MAINTENANCE SHALL BE DONE IN ACCORDANCE WITH THE ALCC SPECIFICATIONS HANDBOOK REV EDITION 2007. OWNER SHOULD CONTACT LANDSCAPE CONTRACTOR OR LANDSCAPE ARCHITECT REGARDING ANY QUESTIONS RELATING TO THE LANDSCAPE OR IRRIGATION SYSTEM.



Know what's below.  
Call before you dig.


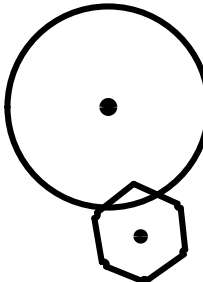



UTILITIES NOTE

VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES PRIOR TO START OF WORK. CALL 811 FOR UTILITY LOCATES. TREE TRUNK PLACEMENT SHALL BE 6" MINIMUM DISTANCE FROM ANY GAS OR ELECTRIC AND 10' FROM GAS MAINS RATED AT 150PSI. FOR SANITARY SEWER AND WATER MAINLINES TREES SHALL NOT BE LOCATED WITHIN EASEMENTS AND WITHIN 15' OF ANY MAINLINE. ANY CONFLICT BETWEEN TREE LOCATIONS AND UTILITIES SHOWN ON PLANS SHALL BE RESOLVED WITH GENERAL CONTRACTOR PRIOR TO PLANTING. ALL ELECTRICAL VAULTS AND TRANSFORMERS SHALL BE KEPT CLEAR FROM PLANT MATERIAL PER COLORADO SPRINGS UTILITIES GUIDELINES "LANDSCAPING AROUND ELECTRICAL EQUIPMENT". SEE COLORADO SPRINGS UTILITIES CONSTRUCTION STANDARD DRAWINGS 18-302 FOR SPECIFIC CLEARANCE REQUIREMENTS. ALL SHRUBS TO BE LOCATED 3' CLEAR OF ALL FIRE HYDRANTS AT MATURE SIZE.

DOCUMENT NOTE

IRRESPECTIVE OF ANY OTHER TERM IN THIS DOCUMENT, LANDSCAPE ARCHITECT SHALL NOT CONTROL OR BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SCHEDULES, SEQUENCES OR PROCEDURES, OR FOR CONSTRUCTION SAFETY OR ANY OTHER RELATED PROGRAMS, OR FOR ANOTHER PARTIES' ERRORS OR OMISSIONS OR FOR ANOTHER PARTIES' FAILURE TO COMPLETE THEIR WORK OR SERVICES IN ACCORDANCE WITH LANDSCAPE ARCHITECT'S DOCUMENTS.

PLANT SCHEDULE

Symbol	Abbr.	Quantity	Botanical Name	Common Name	Mature Wdth/Hght	Size	
EVERGREEN TREES:							
	PE	7	Pinus edulis	Pinyon Pine	15'x15' 20'X45'	B&B	
	PP	2	Pinus ponderosa	Ponderosa Pine		6' ht. 6' ht.	
DECIDUOUS TREES:							
	GTSM	5	Gleditsia triacanthos 'Shademaster'	Shademaster Honeylocust	30'x25' 30'x25'	1-1/2" cal. 1-1/2" cal.	
	Or substitute:		Celtis occidentalis	Hackberry			
	CH	6	Cratraegus crus-galli inermis 'Hawthorn'	Cockspur Hawthorn	15'X15' 15'X15'	1" cal. 1" cal.	
	PV	3	Prunus virginiana 'Sucker Punch'	Canada Red Cherry Sucker Punch			
EVERGREEN SHRUBS:							
	ACP	7	Archostaphylos coloradoensis 'Panchito'	Panchito Manzanita	10"-18"/24"-36"	5 gal.	
	JA	6	Juniperus chinensis 'Armstrong'	Armstrong Juniper		3-4' x 3-4'	5 gal.
	JR	1	Juniperus horizontalis 'Wiltonii'	Blue Rug Juniper		6-8' / 6-8"	5 gal.
PERENIALS & ORNAMENTAL GRASSES:							
	CA	25	Calamagrostis acutiflora 'Karl Foerster'	Feather Reed Grass	1-3' / 2-3'	1 gal.	
NOTE: ALL QUANTITIES SHALL BE PER PLAN. LEGEND SF ARE FOR REFERENCE ONLY.							

GROUND COVER LEGEND

SYMBOL	DESCRIPTION	APPROX. SF
	Breckstone Rock (or approved equal): 3/4" Diameter (with weed barrier) Submit sample to owner prior to ordering material	3,275 SF
	Seed Grass Mix 'A'-Low Grow. Refer to notes. Submit spec to owner prior to ordering material	9,172 SF
	Protect Existing Landscape/Grass - Re-seed as required due to construction	
	Steel Edger. See notes	
	Protect Existing Tree	
	Remove Existing Tree	
NOTE: ALL QUANTITIES SHALL BE PER PLAN. LEGEND SF ARE FOR REFERENCE ONLY.		

GRADE NOTE

GRADE SHALL BE ESTABLISHED BASED ON GRADING PLAN BY OTHERS, AND FOR LANDSCAPE MATERIALS PER PLAN. FINAL SOIL GRADE FOR 5-12" DIAMETER ROCK AREAS SHALL BE 4" BELOW TOP OF SIDEWALK/CURB/PAVING. AT ALL OTHER ROCK AREAS GRADE SHALL BE 3" BELOW SIDEWALK/CURB. AT SOD/SEED AREAS GRADE SHALL BE 1" BELOW TOP OF SIDEWALK/CURB.

MATERIAL NOTE

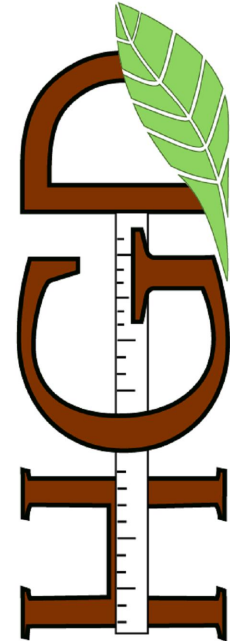
ROCK MATERIAL AVAILABLE THRU TIMBERLINE ROCK N' ROLL. CONTACT ERIC 'SCOOTER' HALLSTRAND.  
719-600-8751  
EHALLSTRAND@TIMBERLINEROCKNROLL.COM

PPR-2438

HIGHER GROUND DESIGNS, INC.

LANDSCAPE ARCHITECTURE, PLANNING & IRRIGATION DESIGN

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COLORADO SPRINGS, CO 80918  
Phone 719-477-1646  
Fax 719-586-1122



HIGHER GROUND  
DESIGNS

WIDEFIELD COMMUNITY BIBLE CHURCH

702 QUEBEC STREET  
COLORADO SPRINGS, CO

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PREPARED FOR:

NOT FOR CONSTRUCTION

JOB NUMBER  
1219-24

REVISIONS	
11-18-24	PER COUNTY COMMENTS
4-15-25	PER LAYOUT REVISIONS
5-22-25	PER COMMENTS


ORIGINAL DATE 10-2-24

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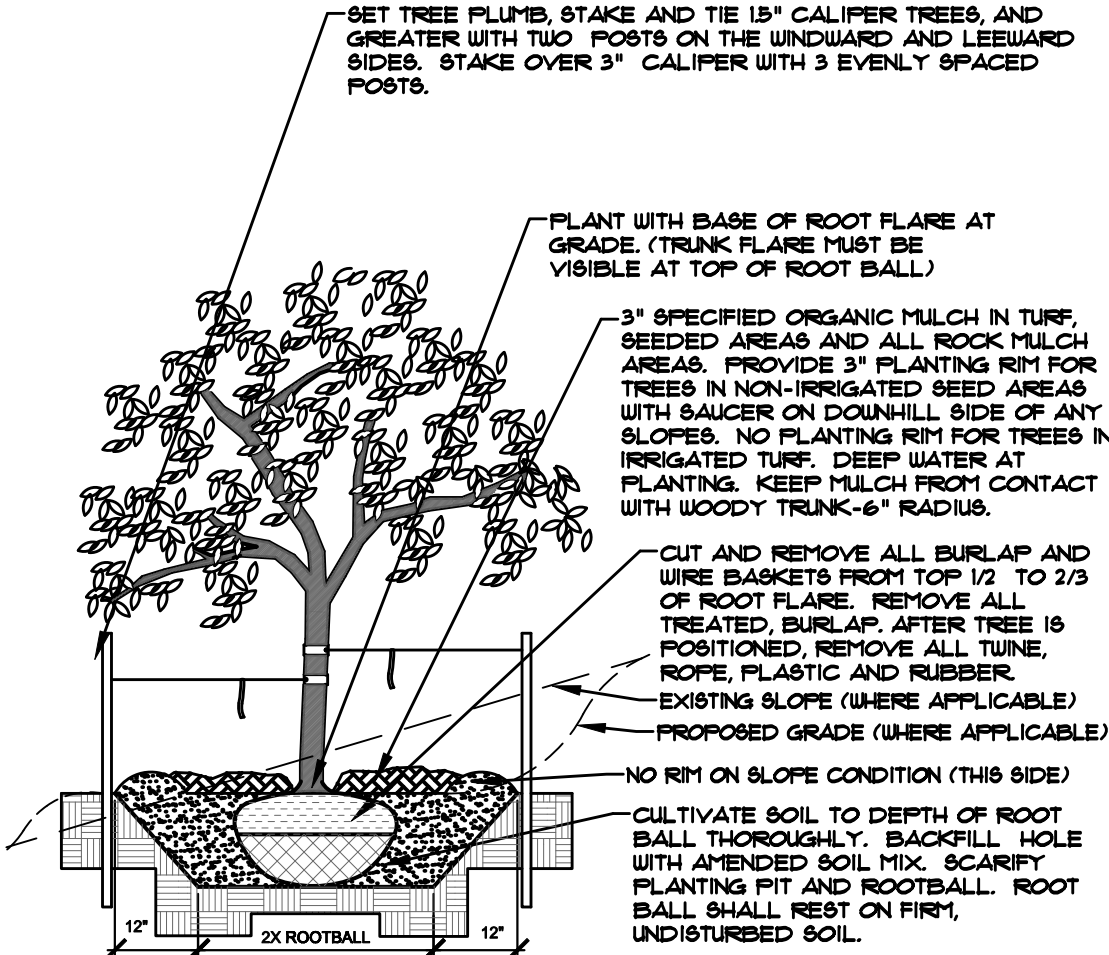
DESCRIPTION  
LANDSCAPE  
NOTES

SHEET NO.

L1.2

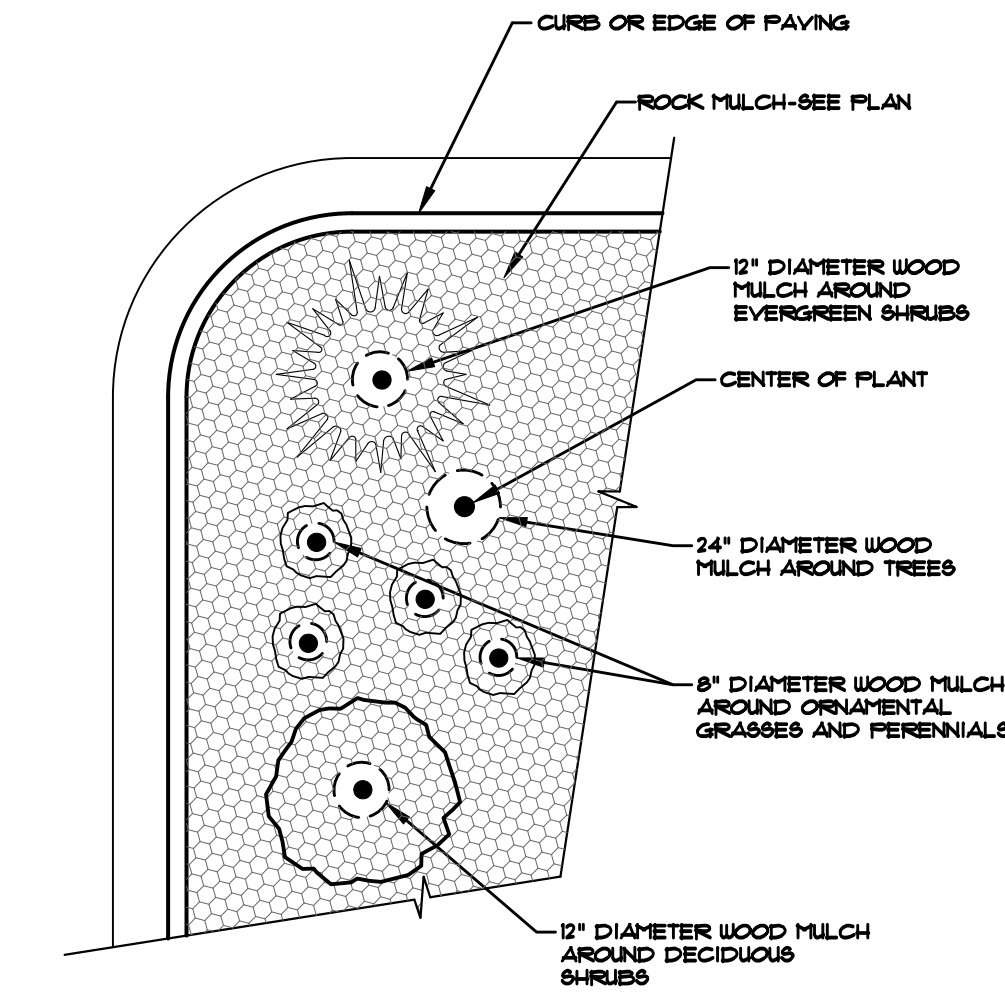


- NOTES:
- MARK NORTH SIDE OF TREE AT NURSERY AND ALIGN TREE TO NORTH WHEN PLANTING.
  - DO NOT REMOVE OR CUT LEADER.
  - PRUNE ONLY DEAD, BROKEN, CROSSING, OR WEAK BRANCHES (OR NARROW CROTCHES) IMMEDIATELY PRIOR TO PLANTING. DO NOT REMOVE TERMINAL BUDS THAT EXTEND TO TREE CROWN.
  - NO STRUCTURAL PRUNING OF TREE UNTIL AFTER ESTABLISHMENT PERIOD (2 GROWING SEASONS).
  - REMOVE ANY DOUBLE LEADER, UNLESS OTHERWISE DIRECTED BY OWNER'S REPRESENTATIVE.
  - KEEP PLANTS MOIST AND SHADED UNTIL PLANTING. AVOID FALL PLANTING IF POSSIBLE.
  - AMENDED BACKFILL SHALL BE 10% SOIL FROM PLANTING PIT AND 30% ORGANIC MATERIAL.
  - WRAP TRUNK ON EXPOSED SITES OR SPECIES WITH THIN BARK. USE ELECTRICAL TAPE, NOT TUNE.
  - WRAP OCTOBER 15 AND REMOVE BY MARCH 31.
  - DO NOT FERTILIZE TREE DURING THE FIRST GROWING SEASON.
  - COORDINATE WITH CITY FORESTRY FOR CURRENT INSECT & DISEASE RECOMMENDATIONS PRIOR TO PLANTING.

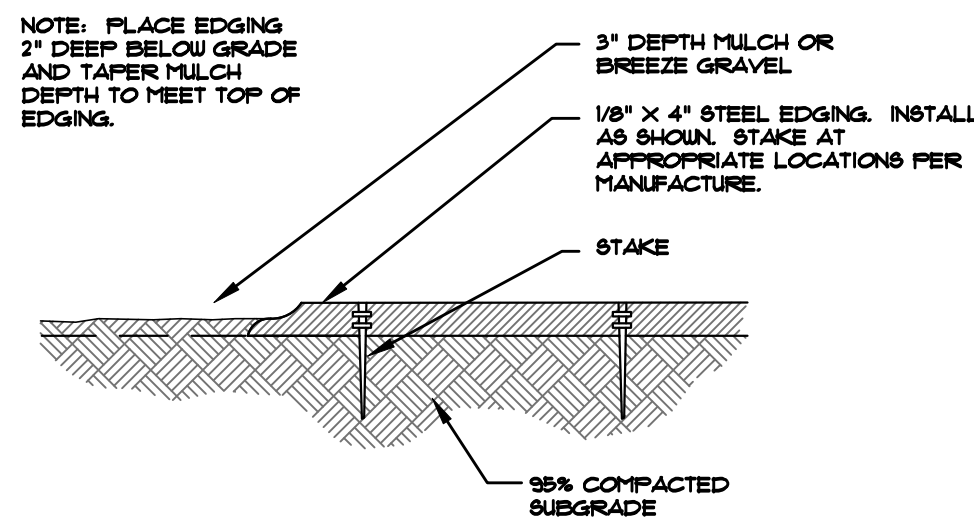


**A DECIDUOUS TREE PLANTING DETAIL**  
NOT TO SCALE

- NOTES:
- CONTRACTOR TO INSTALL WOOD MULCH RINGS AROUND LANDSCAPING AS SHOWN BELOW FOR ALL TREES, SHRUBS, PERENNIALS AND ORNAMENTAL GRASSES INSTALLED IN ROCK MULCHED AREAS. ROCK SHALL BE CLEAR FROM SHRUB IN UNIFORM CIRCLE AND WOOD MULCH APPLIED AT 2\"/>
  - REFER TO LANDSCAPE PLANS FOR ALL TREE, SHRUB AND ORNAMENTAL GRASS LOCATIONS.

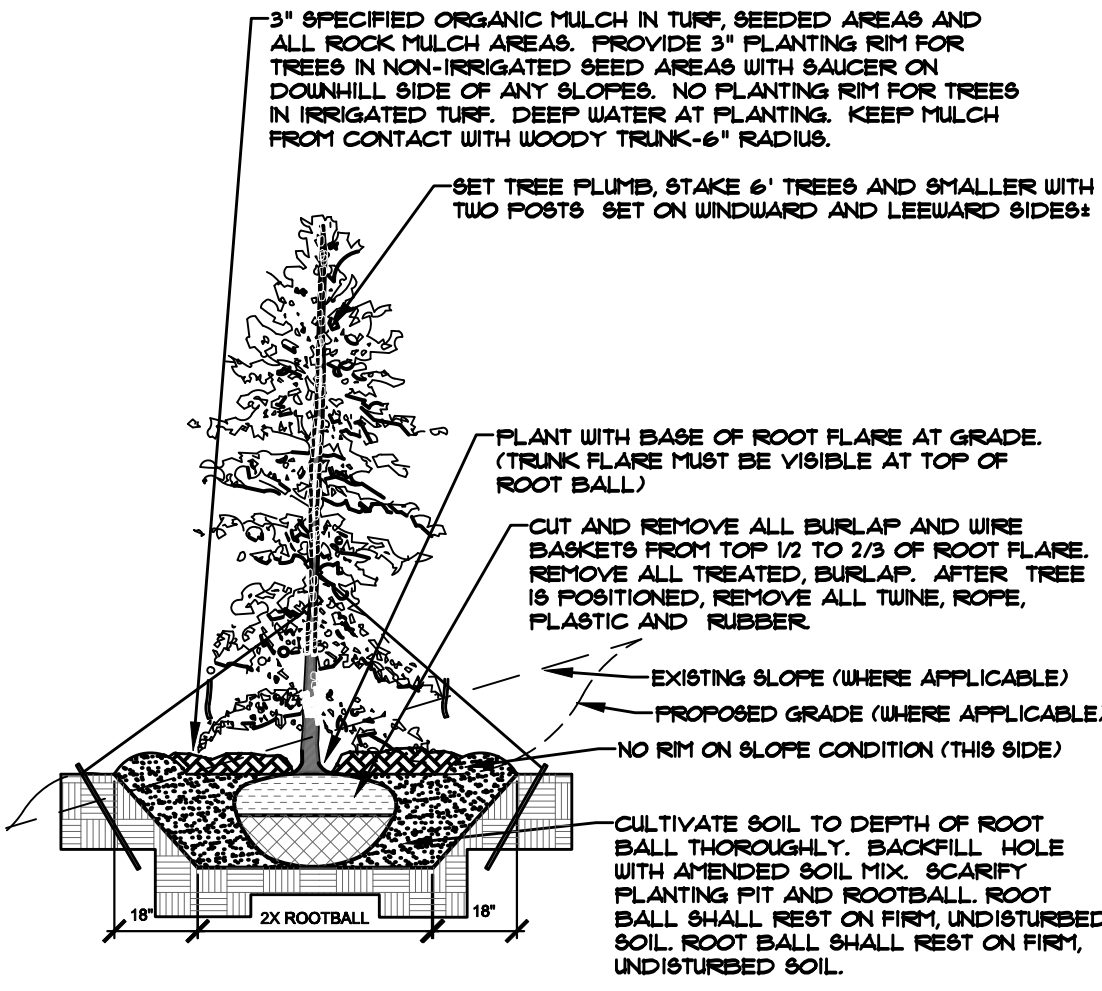


**D TYPICAL PLANT MATERIAL TREATMENT**  
NOT TO SCALE

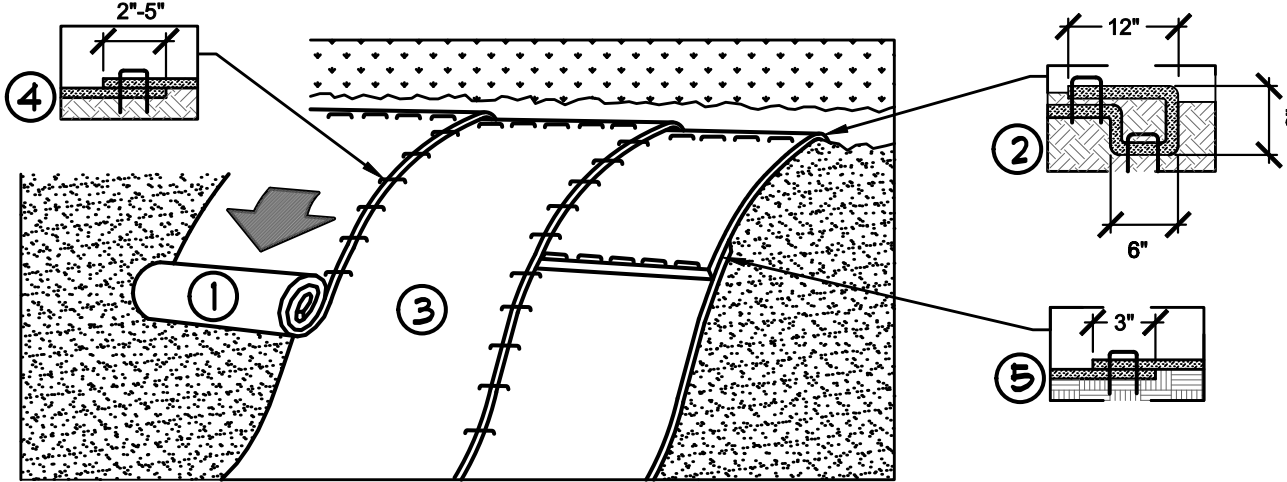


**F STEEL EDGING**  
NOT TO SCALE

- NOTES:
- MARK NORTH SIDE OF TREE AT NURSERY AND ALIGN TREE TO NORTH WHEN PLANTING.
  - DO NOT REMOVE OR CUT LEADER.
  - PRUNE ONLY DEAD OR BROKEN BRANCHES IMMEDIATELY PRIOR TO PLANTING.
  - REMOVE ANY DOUBLE LEADER, UNLESS OTHERWISE DIRECTED BY OWNER'S REPRESENTATIVE.
  - KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
  - AMENDED BACKFILL SHALL BE 10% SOIL FROM PLANTING PIT AND 30% ORGANIC MATERIAL.
  - WRAP TRUNK ON EXPOSED SITES OR SPECIES WITH THIN BARK. USE ELECTRICAL TAPE, NOT TUNE.
  - WRAP OCTOBER 15 AND REMOVE BY MARCH 31.
  - DO NOT FERTILIZE TREE DURING THE FIRST GROWING SEASON.
  - COORDINATE WITH CITY FORESTRY FOR CURRENT INSECT & DISEASE RECOMMENDATIONS PRIOR TO PLANTING.

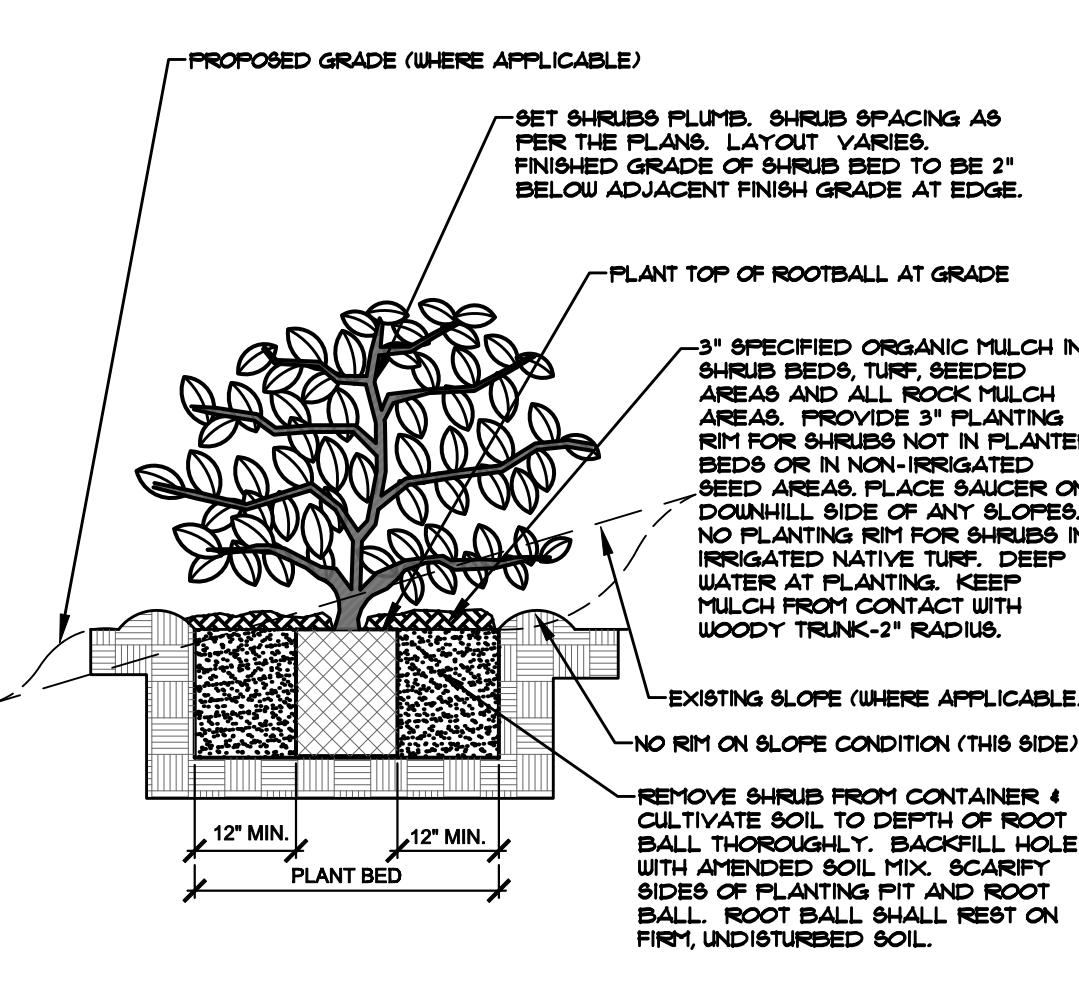


**B EVERGREEN TREE PLANTING DETAIL**  
NOT TO SCALE



**E EROSION CONTROL**  
NTS

- NOTES:
- PRUNE ONLY DEAD OR BROKEN BRANCHES IMMEDIATELY PRIOR TO PLANTING.
  - KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
  - DO NOT FERTILIZE FOR AT LEAST ONE GROWING SEASON.
  - AMENDED BACKFILL SHALL BE 10% SOIL FROM PLANTING PIT AND 30% ORGANIC MATERIAL.
  - FOR ROOT END AT BOTTOM OF BALL, SPLIT ROOT BALL VERTICALLY FROM BOTTOM HALFWAY TO TOP, SPREAD THE TWO HALVES OVER A MOUND OF SOIL IN PLANTING PIT.
  - FOR POT BOUND PLANTS ONLY: MAKE 4-5 VERTICAL CUTS IN ROOT BALL 1\"/>



**C SHRUB PLANTING DETAIL**  
NOT TO SCALE

## SEED MIX 'A'

Chapter 5  
Native Vegetation Requirements and Guidelines

Table 5-1. El Paso County Conservation District All-Purpose Mix for Upland, Transition and Permanent Control Measure Areas

Common Name	Scientific Name	Growth Season / Form	% of Mix	Pounds PLS		
				Irrigated broadcast • Irrigated hydroseeded	Non-irrigated broadcast • Non-irrigated hydroseeded • Irrigated drilled	Non-irrigated drilled
Bluestem, big	<i>Andropogon gerardii</i>	Warm, sod	20	4.4	2.2	1.1
Gramma, blue	<i>Bouteloua gracilis</i>	Warm, bunch	10	0.5	0.25	0.13
Green needlegrass <sup>2</sup>	<i>Nassella viridula</i>	Cool, bunch	10	2	1	0.5
Wheatgrass, western <sup>2</sup>	<i>Pascopyrum smithii</i>	Cool, sod	20	6.4	3.2	1.6
Gramma, sideoats	<i>Bouteloua curtipendula</i>	Warm, bunch	10	2	1	0.5
Switchgrass <sup>2</sup>	<i>Panicum virgatum</i>	Warm, bunch/sod	10	0.8	0.4	0.2
Prairie sandreed	<i>Calamovilfa longifolia</i>	Warm, sod	10	1.2	0.6	0.3
Yellow indiagrass <sup>2</sup>	<i>Sorghastrum nutans</i>	Warm, sod	10	2	1	0.5
Seed rate (lbs PLS/acre)				19.3	9.7	4.8

<sup>1</sup>For portions of facilities located near or on the bottom or where wet soil conditions occur. Planting of potted nursery stock wetland plants 2-foot on-center is recommended for sites with wetland hydrology.

<sup>2</sup>Species that will do well in the bottom of pond areas.

## CODE REQUIREMENTS

LANDSCAPE SETBACKS (LS)					
STREET NAME OR ZONE BOUNDARY (ELEV.)	STREET CLASSIFICATION	WIDTH (FT.) REQ./PROV.	LINEAR FOOTAGE	TREE/FEET REQUIRED	NO. OF TREES REQ./PROVIDED
QUEBEC STREET	NON-ARTERIAL	10/10	225 LF	1/30 FT	8/8

MOTOR VEHICLE LOTS (MV)			
NO. OF VEHICLE SPACES PROVIDED	SHADE TREES (1/15 SPACES) REQ./PROV.	VEHICLE LOT FRONTAGE(S)	2/3 LENGTH OF FRONTAGE (FT.)
75	5/5	108 LF	72 LF
MIN. 3\"/>	EVERGREEN PLANTS REQ./PROV.		
15/15	6/6		

INTERNAL LANDSCAPING (IL)			
INTERNAL LANDSCAPE AREA INCLUDES ALL LANDSCAPE AREAS NOT INCLUDING SETBACKS, BUFFERS OR MOTOR VEHICLE ISLANDS. INTERNAL LANDSCAPE AREA IS CALCULATED USING THE ENTIRE LOT. MAXIMUM OF 50% OF REQUIRED TREES MAY BE SUBSTITUTED WITH 10 SHRUBS.			
NET SITE AREA (SF) (LESS PUBLIC ROW)	PERCENT MINIMUM INTERNAL AREA (5%)	INTERNAL AREA (SF) REQ./PROV.	INTERNAL TREES (1/500 SF) (EXCLUDING DRIVEWAYS)
82,328 SF	NON-RESIDENTIAL	4,111 / 5,000 SF	8/8 EXISTING TREES
SHRUB SUBSTITUTES REQ./PROV.	INTERNAL PLANT ABBR. DENOTED ON PLAN		PERCENT GROUND PLANE VEG. REQ./PROV.
0/0	IL		75/75

LANDSCAPE BUFFERS AND SCREENS (LB)		
STREET NAME OR PROPERTY LINE (ELEV.)	LINEAR FOOTAGE	BUFFER TREES (1/30') REQ./PROV.
ZONE DISTRICT BOUNDARY SOUTH EAST	331 LF	12/12 (2 EXISTING)

### UTILITIES NOTE

VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES PRIOR TO START OF WORK. CALL 811 FOR UTILITY LOCATES. TREE TRUNK PLACEMENT SHALL BE 6\"/>

### DOCUMENT NOTE

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PPR-2438

HIGHER GROUND DESIGNS, INC.

LANDSCAPE ARCHITECTURE, PLANNING & IRRIGATION DESIGN

5350 NORTH ACADEMY BLVD., STE. 207  
COLORADO SPRINGS, CO 80918  
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Fax 719-586-1122



WIDEFIELD COMMUNITY BIBLE CHURCH  
702 QUEBEC STREET  
COLORADO SPRINGS, CO

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REVISIONS	
11-18-24	PER COUNTY COMMENTS
4-15-25	PER LAYOUT REVISIONS
5-22-25	PER COMMENTS
ORIGINAL DATE	10-2-24
DRAWN BY	JM
DESCRIPTION	LANDSCAPE DETAILS
SHEET NO.	L1.3



**WIDEFIELD COMMUNITY BIBLE  
CHURCH  
702 QUEBEC ST  
COLORADO SPRINGS, CO 80911**

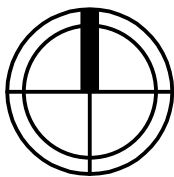
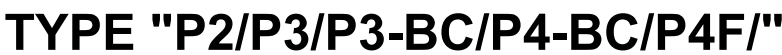
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DRAWN BY: MPC  
CHECKED BY: MPC  
DATE: 10/04/2024

## SITE PHOTOMETRIC PLAN

# E100A

- A. DRAWINGS ARE BASED ON RECORD DRAWINGS (NOT GUARANTEED TO BE CURRENT AT TIME OF CONSTRUCTION) AND FIELD INVESTIGATION WITH DEMOLITION. EXAMINE PLANS AND VISIT THE SITE TO FIELD VERIFY ACTUAL CONDITIONS AND COORDINATE SAME WITH OTHER TRADES PRIOR TO STARTING WORK.
- B. A LICENSED AND BONDED CONTRACTOR SHALL BE USED FOR INSTALLATION. ALL LOCAL CODES SHALL BE FOLLOWED DURING INSTALLATION.
- C. ALL LIGHTING FIXTURES SHALL BE FULL CUT-OFF OR HAVE SHIELDING TO REDUCE OFF-SITE LIGHTING IMPACTS ONTO ADJACENT PROPERTIES AND ROADWAYS. ALL EXTERIOR LIGHTING SHALL BE ARRANGED TO MITIGATE LIGHT DIRECTED AWAY FROM ADJACENT PROPERTIES AND ANY PUBLIC RIGHT-OF-WAY. AN AMENDMENT TO THIS PLAN MAY BE REQUIRED IF THE LIGHTING TYPE IS CHANGED.
- D. A FINAL COMMISSIONING REPORT SHALL BE DELIVERED TO THE BUILDING OWNER PER SECTION C408.2.6 OF THE 2021 IECC.

- 1 LIGHTING FOR THE WALKWAYS WILL BE PROVIDED BY WALL-MOUNTED DOWN CASTING FIXTURES LOCATED ON PROPOSED BUILDING. FINAL LOCATION TO BE DETERMINED DURING BUILDING DESIGN.
- 2 EXTERIOR LIGHTING, EXCEPT SECURITY LIGHTING, WILL BE CONTROLLED BY A TIME CLOCK TO BE TURNED OFF DURING NON-OPERATING HOURS.



**SCALE: 1" = 20'-0"**