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RAY CHARLES COMMERCIAL CENTRE FILING NO.1 DEVELOPMENT PLAN

LOCATED IN A PORTION OF SECTIONS 8 & 9,
TOWNSHIP 15 S, RANGE 65 W, OF THE 6TH P.M.,
CITY OF COLORADO SPRINGS, EL PASO COUNTY, STATE OF COLORADO

GENERAL NOTES

- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES ALONG THE SITE. THE OMISSION FROM OR THE INCLUSION OF UTILITY LOCATIONS ON THE PLANS IS NOT TO BE CONSIDERED AS THE NONEXISTENCE OR A DEFINITE LOCATION OF EXISTING UNDERGROUND UTILITIES.
- THE CONTRACTOR WILL TAKE THE NECESSARY PRECAUTIONS TO PROTECT EXISTING UTILITIES, BUILDINGS, FENCES, AND ROADWAYS FROM DAMAGE DUE TO THIS PROJECT. ANY DAMAGE TO THE ABOVE WILL BE REPAIRED AT THE CONTRACTORS EXPENSE AND ANY SERVICE DISRUPTION WILL BE SETTLED BY THE CONTRACTOR.
- DEVELOPER IS RESPONSIBLE FOR REQUIRED TURN LANE MARKING, STRIPING AND ASSOCIATED TRAFFIC SIGNS.
- THE CONTRACTOR SHALL OBTAIN COPIES OF THE SOILS REPORT FROM THE GEOTECHNICAL ENGINEER AND THEY SHALL BE KEPT ONSITE AT ALL TIMES.
- THE SITE SHALL BE STRIPPED TO A MINIMUM OF 0.5' BELOW EXISTING GRADE.
- MAXIMUM CUT/FILL SLOPES SHALL NOT EXCEED 3:1 UNLESS OTHERWISE NOTED.
- DUST CONTROL SHALL BE SUPPLIED BY THE GRADING CONTRACTOR THROUGH THE DURATION OF THE GRADING ACTIVITIES.
- BEARINGS ARE BASED ON THE NORTH LINE OF THE NORTHWEST QUARTER OF SECTION 9, TOWNSHIP 15 SOUTH, RANGE 65 WEST OF THE 6TH P.M. SAID LINE BEARS S89°51'23"E FROM THE NORTHWEST CORNER OF SAID SECTION 9 (2 1/2" ALUM. CAP PLS 17664) TO THE N 1/4 CORNER OF SAID SECTION 9 (3 1/4" ALUM. CAP PLS 10377).
- THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY THE CITY OF COLORADO SPRINGS DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS. SOLE RESPONSIBILITY FOR COMPLIANCE WITH FEDERAL AND STATE ACCESSIBILITY LAWS LIES WITH THE PROPERTY OWNER.
- LANDSCAPE IMPROVEMENTS, INCLUDING LANDSCAPE SETBACK TREES. SHALL BE PROVIDED, INSTALLED AND MAINTAINED BY THE INDIVIDUAL LOT OWNER, AND/OR THEIR ASSIGNS, AT TIME OF DEVELOPMENT.
- ALL STREET TREES AND STREETSCAPE IMPROVEMENTS LOCATED IN THE ROW WILL BE MAINTAINED BY THE ABUTTING PROPERTY OWNER.
- AN AVIGATION EASEMENT EFFECTING THE SUBJECT PROPERTY AND DEVELOPMENT IS THEREIN ESTABLISHED BY THE "VETERANS VICTORY FILING NO. 1" SUBDIVISION PLAT. THIS EASEMENT IS SUBJECT TO THE TERMS AND CONDITIONS AS SPECIFIED IN THE INSTRUMENT RECORDED UNDER RECEPTION NO. 217069667 OF THE RECORDS OF EL PASO COUNTY, COLORADO.
- ALL "STOP SIGNS" WILL BE INSTALLED BY THE DEVELOPER AT THE LOCATIONS SHOWN ON THE DEVELOPMENT PLAN TO MEET MUTCD STANDARDS. CONTACT TRAFFIC ENGINEERING, SIGNS & MARKINGS AT 719-385-6720 FOR ASSISTANCE.
- SIGNAGE IS NOT APPROVED PER THIS PLAN. A SEPARATE SIGN PERMIT IS REQUIRED. CONTACT DEVELOPMENT REVIEW ENTERPRISE AT 719-385-5982 TO BEGIN A SIGN PERMIT APPLICATION.
- PER CITY CODE SECTION 7.4.102.D, ALL LIGHTING FIXTURES SHALL BE FULL CUT-OFF OR HAVE SHIELDING TO REDUCE OFF-SITE LIGHTING IMPACTS ONTO ADJACENT PROPERTIES AND ANY PUBLIC RIGHT-OF-WAY. AN AMENDMENT TO THIS PLAN MAY BE REQUIRED IF THE LIGHTING TYPE IS CHANGED.
- PARKING SPACES AND ACCESS AISLES SHALL BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING ONE TO FIFTY (1:50) (2 PERCENT) IN ALL DIRECTIONS.
 - ACCESSIBLE PARKING SPACES SHALL BE MARKED WITH FOUR INCH (4") LINES.
 - ACCESSIBLE AISLE SHALL BE OUTLINED AND DIAGONALLY STRIPED AT FORTY FIVE DEGREE (45°) ANGLES IN A CONTRASTING COLOR SUCH AS YELLOW, WHITE, OR BLUE.
- THE METRO DISTRICT WILL BE RESPONSIBLE TO CONSTRUCT ALL OF THE RECOMMENDED ROADWAY IMPROVEMENTS SHOWN ON FIGURE 18 & 19 OF LSC TRANSPORTATION CONSULTANTS TRAFFIC IMPACT AND ACCESS ANALYSIS PRIOR TO DEVELOPMENT OF THIS SITE..
- THE METRO DISTRICT WILL BE RESPONSIBLE TO CONSTRUCT A TRAFFIC SIGNAL AT BRADLEY ROAD/LEGACY HILL DRIVE INTERSECTION.
- THE METRO DISTRICT WILL INSTALL AND MAINTAIN THE DETENTION POND SERVICING THIS SITE TO BE CONSTRUCTED ON THE SOUTHWEST CORNER OF THE OVERALL VILLAGES AT WATERVIEW NORTH DEVELOPMENT.
- A PORTION OF THE PROPOSED DEVELOPMENT IS WITHIN THE ACCIDENT POTENTIAL ZONE 1 (APZ-1) SUBZONE OF THE COMMERCIAL AIRPORT OVERLAY DISTRICT. RESIDENTIAL IS PROHIBITED IN APZ-1; INDUSTRIAL/COMMERCIAL AND OFFICE DEVELOPMENT IS PERMISSIBLE WITHIN THE APZ-1 SUBZONE.
- THE DEVELOPMENT AND ITS OCCUPANTS MAY BE IMPACTED BY AIR ILLUMINATION OR APPROACH LIGHTING SYSTEMS THAT USE MEDIUM AND HIGH-INTENSITY LIGHTS TO GUIDE AIRCRAFT TO THE RUNWAY CENTERLINE USED FOR NAVIGATION OR FLIGHT IN AIR.
- ALL PRIVATE TO PUBLIC STORM SEWER CONNECTIONS MUST BE INSPECTED BY AN ENGINEERING DEVELOPMENT REVIEW INSPECTOR.
- ALL EXISTING CURB, GUTTER, SIDEWALK, PEDESTRIAN RAMPS, CROSSPANS AND DRIVEWAY APRONS POSING A SAFETY HAZARD, DAMAGED, EXHIBITING EXCESSIVE DETERIORATION OR NOT MEETING CURRENT CITY ENGINEERING STANDARDS ALONG ALL CITY PUBLIC STREETS ADJACENT TO THE SITE WILL NEED TO BE REMOVED AND REPLACED PRIOR TO ISSUING THE CERTIFICATE OF OCCUPANCY (C.O.). AN ON-SITE MEETING CAN BE SET UP WITH THE ENGINEERING DEVELOPMENT REVIEW INSPECTOR TO DETERMINE WHAT, IF ANY, IMPROVEMENTS ARE REQUIRED. THE INSPECTOR CAN BE REACHED AT 719-385-5977.
- ACCESSIBLE ROUTES, INCLUDING RAMPS AND SIDEWALKS, WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE PER THE CITY'S STANDARD DRAWINGS AND SPECIFICATIONS. CITY'S ENGINEERING DEVELOPMENT REVIEW INSPECTOR WILL HAVE THE FINAL AUTHORITY ON ACCEPTING THE PUBLIC IMPROVEMENTS.
- PLEASE CONTACT MARISA MEDRANO (MARISA.J.MEDRANO@USPS.GOV) DIRECTLY TO REVIEW THIS DEVELOPMENT FOR MAIL SERVICE. TO ESTABLISH MAIL DELIVERY AND KIOSK LOCATIONS AN APPOINTMENT WILL BE REQUIRED WITH USPS TO DETERMINE FINAL LOCATIONS. INFORMATION REQUIRED FOR THIS ESTABLISHMENT INCLUDE PROPOSED LOCATIONS, TYPE OF MAIL RECEPTACLE, FINAL PLAT WITH ADDRESSES, TYPE OF DEVELOPMENT (RESIDENTIAL/COMMERCIAL) AND DATE OF FIRST OCCUPANCY.
- FACILITIES, BUILDINGS, OR PORTIONS OF BUILDINGS HEREFTER CONSTRUCTED SHALL BE ACCESSIBLE TO FIRE DEPARTMENT APPARATUS BY WAY OF AN APPROVED FIRE APPARATUS ACCESS ROAD WITH ASPHALT, CONCRETE, OR OTHER APPROVED DRIVING SURFACE CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPARATUS WEIGHING UP TO 75,000 POUNDS WITH A MINIMUM SINGLE AXLE WEIGHT OF 27,000 POUNDS.
- LANDSCAPE SETBACK TREES TO BE PROVIDED BY INDIVIDUAL LOTS AS THEY DEVELOP.
- CITYWIDE DEVELOPMENT IMPACT FEES WILL BE APPLICABLE FOR FUTURE DEVELOPMENTS, WITH FEES DUE AT TIME OF BUILDING PERMIT.
- PARKING REQUIREMENTS TO BE DETERMINED BY LOT SPECIFIC DEVELOPMENT PLAN.
- NO DIRECT VEHICULAR ACCESS SHALL BE ALLOWED ONTO POWERS BLVD. FROM PARCEL(S) WITHIN THIS DEVELOPMENT.
- THE PARCELS WITHIN THIS DEVELOPMENT ARE SUBJECT TO THE FEES, RESTRICTIONS, AND COVENANTS OF THE WATERVIEW NORTH METROPOLITAN DISTRICT. AS RECORDED IN THE RECORDS OF THE EL PASO COUNTY CLERK AND RECORDER'S OFFICE UNDER RECEPTION NO. 223103275.

LEGAL DESCRIPTION

A TRACT OF LAND LOCATED IN A PORTION OF SECTIONS 8 AND 9, TOWNSHIP 15 SOUTH, RANGE 65 WEST OF THE 6TH P.M., EL PASO COUNTY, COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF SAID SECTION 9; THENCE S00°17'38"E ALONG THE WEST LINE OF SAID SECTION 9, A DISTANCE OF 752.56 FEET TO THE TRUE POINT OF BEGINNING:

THENCE N89°59'31"E, DEPARTING SAID WEST LINE, A DISTANCE OF 298.48 FEET TO A POINT OF CURVE TO THE LEFT;

THENCE ALONG THE ARC OF SAID CURVE HAVING A RADIUS OF 620.00 FEET, A DELTA ANGLE OF 56°20'33", AN ARC LENGTH OF 609.68' FEET, WHOSE LONG CHORD BEARS S36°07'28"E A DISTANCE OF 585.41 FEET TO A POINT OF REVERSE CURVE;

THENCE ALONG THE ARC OF SAID CURVE HAVING A RADIUS OF 480.30 FEET, A DELTA ANGLE OF 16°52'18", AN ARC LENGTH OF 141.43' FEET, WHOSE LONG CHORD BEARS S55°51'35"E A DISTANCE OF 140.92 FEET;

THENCE S47°25'27"E A DISTANCE OF 20.23 FEET TO A POINT OF CURVE TO THE RIGHT;

THENCE ALONG THE ARC OF SAID CURVE HAVING A RADIUS OF 547.00 FEET, A DELTA ANGLE OF 21°19'53", AN ARC LENGTH OF 203.65' FEET, WHOSE LONG CHORD BEARS S36°45'30"E A DISTANCE OF 202.48 FEET TO A POINT OF COMPOUND CURVE; THENCE ALONG THE ARC OF SAID CURVE HAVING A RADIUS OF 253.12 FEET, A DELTA ANGLE OF 17°33'31", AN ARC LENGTH OF 77.57' FEET, WHOSE LONG CHORD BEARS S17°18'48"E A DISTANCE OF 77.27 FEET;

THENCE S08°32'02"E A DISTANCE OF 35.97 FEET;

THENCE S81°34'22"W A DISTANCE OF 187.97 FEET;

THENCE S55°32'50"W A DISTANCE OF 456.06 FEET TO A POINT OF CURVE TO THE RIGHT, SAID POINT BEING ON THE NORTHERLY R.O.W LINE OF BRADLEY ROAD AS RECORDED IN BOOK 5307 AT PAGE 1472 OF THE RECORDS OF SAID EL PASO COUNTY;

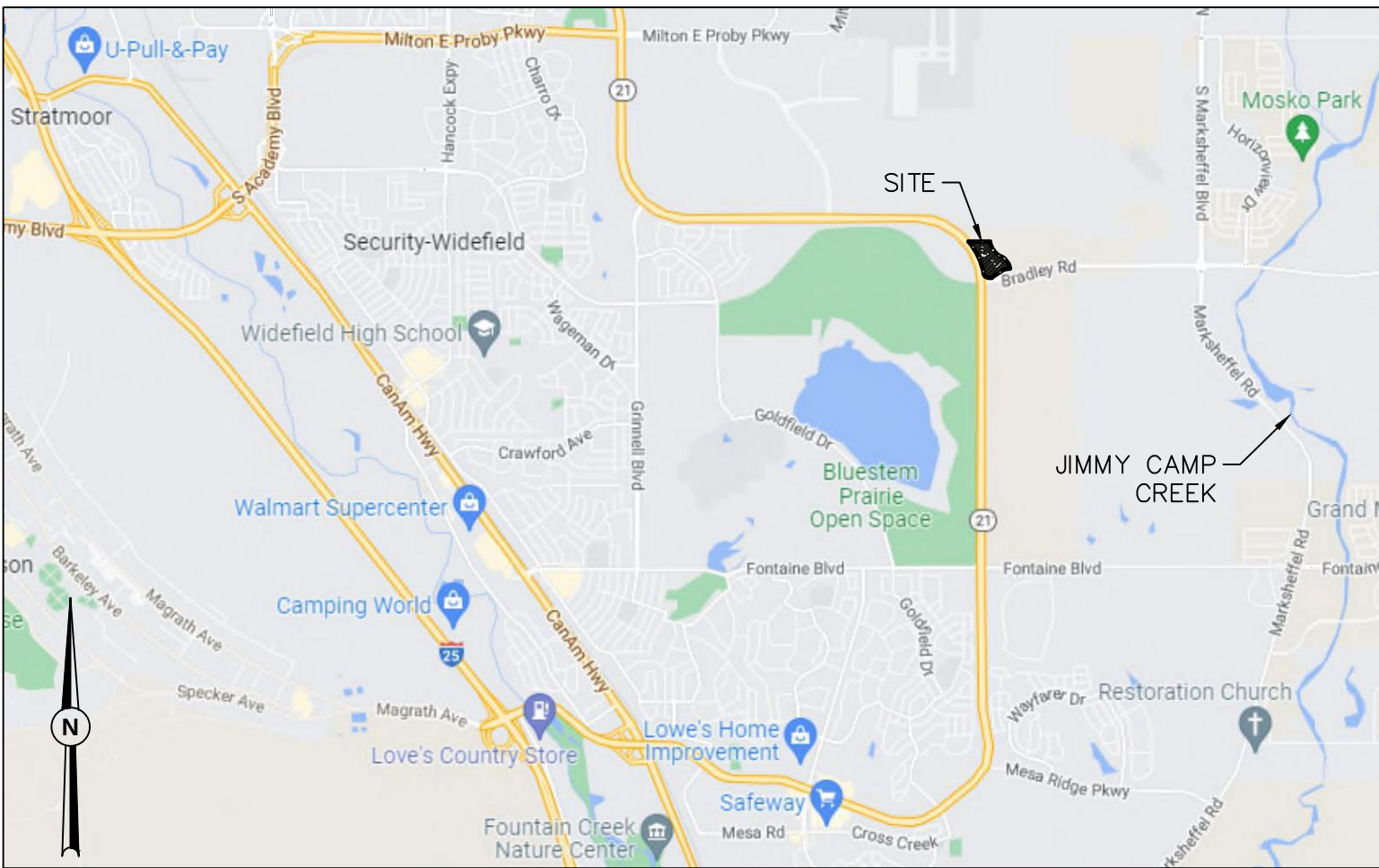
THE FOLLOWING FOUR (4) COURSES ARE ALONG THE SAID NORTHERLY RIGHT-OF-WAY LINE OF BRADLEY ROAD AND THE EASTERLY RIGHT-OF-WAY LINE OF POWERS BOULEVARD AS RECORDED IN BOOK 5307 AT PAGE 1472 OF THE RECORDS OF SAID EL PASO COUNTY.

- THENCE ALONG THE ARC OF SAID CURVE HAVING A RADIUS OF 2759.79 FEET, A DELTA ANGLE OF 00°43'59", AN ARC LENGTH OF 35.31' FEET, WHOSE LONG CHORD BEARS S86°57'52"W A DISTANCE OF 35.31 FEET;
- THENCE S87°19'50"W A DISTANCE OF 64.33 FEET TO A POINT OF CURVE TO THE RIGHT;
- THENCE ALONG THE ARC OF SAID CURVE HAVING A RADIUS OF 150.00 FEET, A DELTA ANGLE OF 82°43'18", AN ARC LENGTH OF 216.56' FEET, WHOSE LONG CHORD BEARS N51°18'31"W A DISTANCE OF 198.24 FEET TO A POINT OF REVERSE CURVE;
- THENCE ALONG THE ARC OF SAID CURVE HAVING A RADIUS OF 2105.00 FEET, A DELTA ANGLE OF 30°33'26", AN ARC LENGTH OF 1122.65' FEET, WHOSE LONG CHORD BEARS N25°13'35"W A DISTANCE OF 1109.39 FEET;

THENCE N89°59'31"E, DEPARTING SAID EASTERLY RIGHT-OF-WAY LINE, A DISTANCE OF 364.44 FEET TO THE TURE POINT OF BEGINNING.

TO BE PLATTED AS "RAY CHARLES COMMERCIAL CENTRE FILING NO.1".

THE ABOVE TRACT OF LAND CONTAINS 718,836 SQUARE FEET OR 16.50 ACRES, MORE OR LESS.



VICINITY MAP
NOT TO SCALE

OWNER/DEVELOPER

QUEEN BEE INVESTMENTS, LLC
119 N WAHSATCH AVE
COLORADO SPRINGS CO 80903

APPLICANT

DAKOTA SPRINGS ENGINEERING, LLC
15 S WAHSATCH AVE
COLORADO SPRINGS CO 80903

PREPARED BY

DAKOTA SPRINGS ENGINEERING, LLC
15 S WAHSATCH AVE
COLORADO SPRINGS CO 80903

SITE INFORMATION

SITE ADDRESS: TO BE DETERMINED

FLOODPLAIN STATEMENT:

ACCORDING TO NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP PANEL 08041C0768G (EFFECTIVE DATE DECEMBER 7, 2018), THIS PARCEL IS LOCATED WITHIN FEMA FLOOD PLAIN ZONE X.

GEOLOGIC HAZARD STATEMENT:

THIS PROPERTY IS SUBJECT TO THE FINDINGS, SUMMARY AND CONCLUSIONS OF GEOLOGIC HAZARD REPORTS PREPARED BY ENTECH ENGINEERING, INC. DATED MAY 15, 2020, OCTOBER 1, 2020, AND JULY 15, 2022, WHICH IDENTIFIED THE FOLLOWING SPECIFIC GEOLOGIC HAZARD AND ENGINEERED MITIGATION: EXPANSIVE SOILS MAY BE MITIGATED PRIOR TO AND DURING CONSTRUCTION BY OVEREXCAVATION AND DRILLED PIER FOUNDATIONS. A COPY OF SAID REPORT HAS BEEN PLACED WITHIN FILE COPN-22-0002 OR WITHIN THE SUBDIVISION FILE OF THE CITY OF COLORADO SPRINGS PLANNING AND DEVELOPMENT TEAM. CONTACT THE PLANNING AND DEVELOPMENT TEAM, 30 SOUTH NEVADA AVE., SUITE 105, COLORADO SPRINGS, CO, IF YOU WOULD LIKE TO REVIEW SAID REPORT.

LOT AREA: 718,836 S.F. (16.50 ACRES)

SCHEDULE #: 5500000523

ZONING: MX-L APZ 1 AP-O (MIXED-USE LARGE SCALE AND AIRPORT PROTECTION ZONE 1 WITH AIRPORT OVERLAY); ORD. 23-52 (CITY FILE NO. ZONE-22-0014)

PROPOSED USE: COMMERCIAL/RETAIL

SETBACKS:

FRONT 0 (20' PARKING)
SIDE 20
REAR 20

BUILDING HEIGHT: MAXIMUM HEIGHT 65'

MASTER PLAN: MAPN-22-0002
CONCEPT PLAN: COPN-22-0002
DRAINAGE BASIN: JIMMY CAMP CREEK

SHEET LIST

- | NO. | TITLE |
|-----|--|
| 1 | COVER |
| 2 | SITE PLAN |
| 3 | OVERALL GRADING PLAN |
| 4 | PAVING GRADING PLAN |
| 5 | STORM PLAN |
| 6 | PRELIMINARY UTILITY & PUBLIC FACILITIES PLAN |

CITY APPROVAL

**PRELIMINARY
NOT FOR CONSTRUCTION**

CITY FILE NO.: DEP-26-0013



DESIGNED BY: JJM DATE: 9.12.25
DRAWN BY: JJM DATE: 10.13.25
CHECKED BY: DATE:

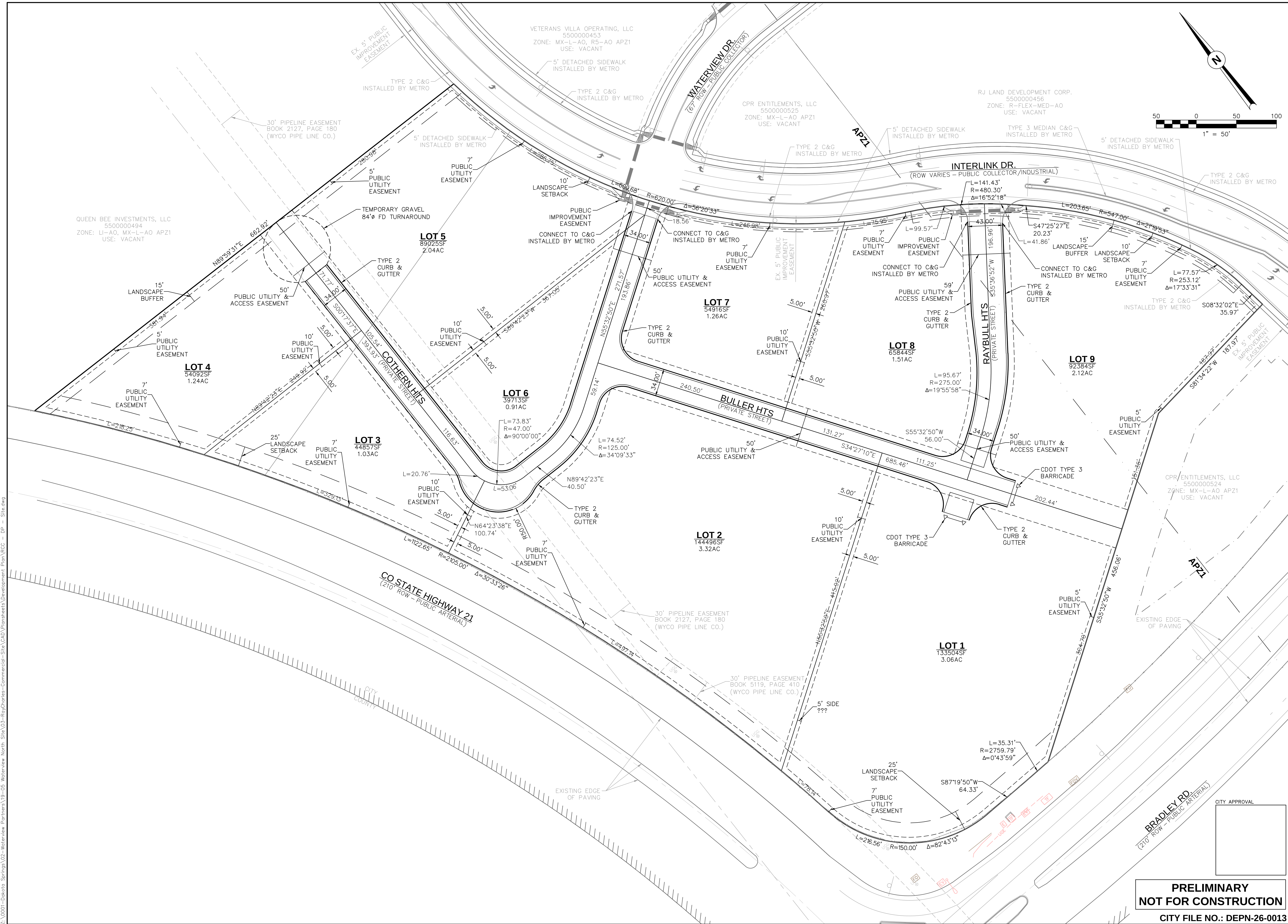
RAY CHARLES COMMERCIAL CENTRE FILING NO.1

DEVELOPMENT PLAN
COVER

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PROJECT NUMBER:
0219-05.03

SHEET
1 OF 6



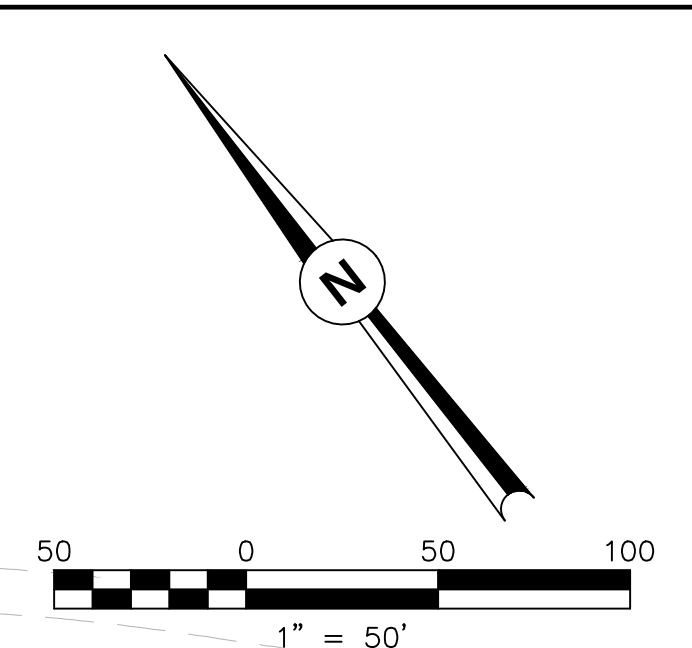
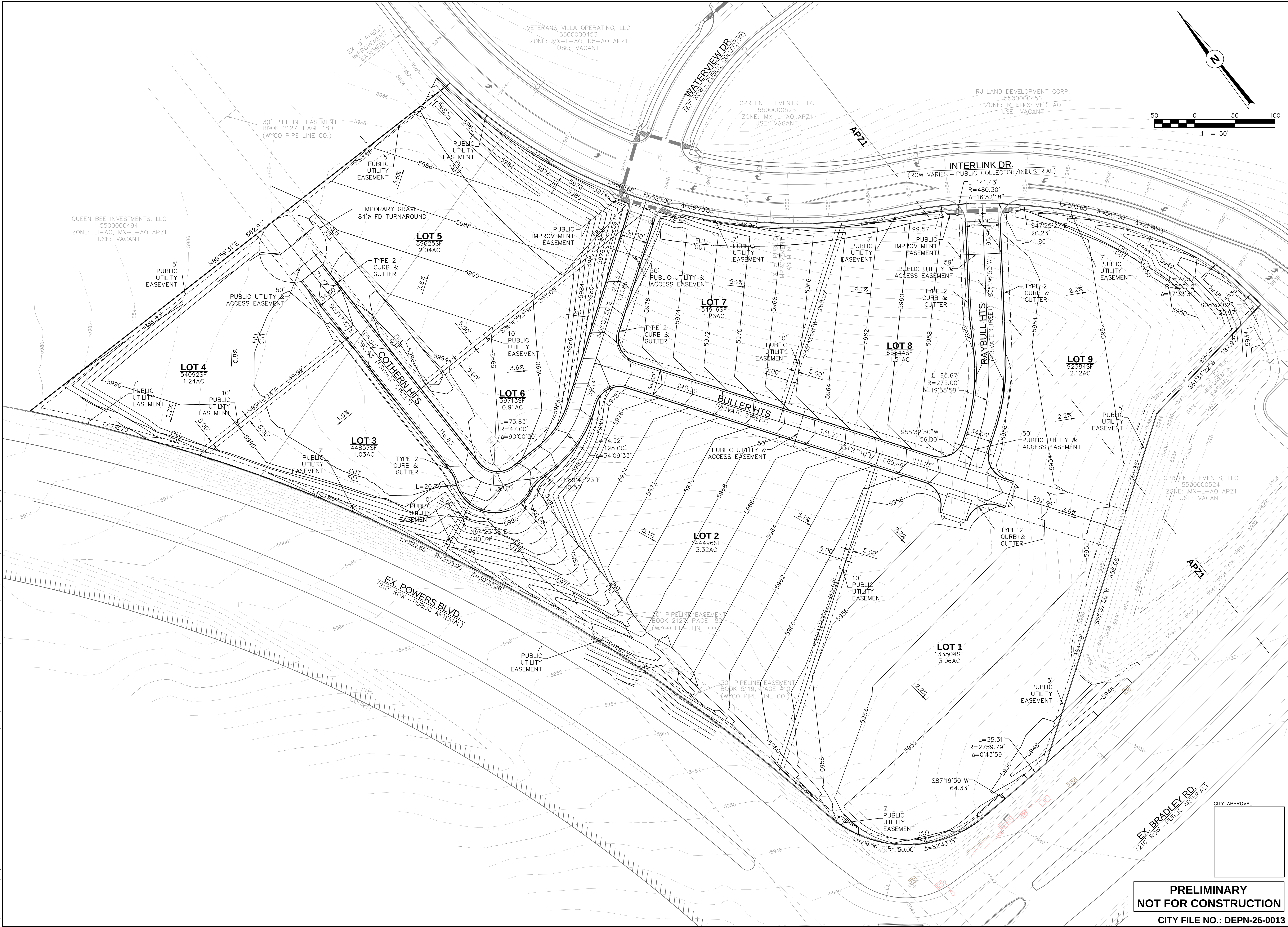
DESIGNED BY:	JJM	DATE:	9.12.25
DRAWN BY:	JJM	DATE:	10.13.25
CHECKED BY:		DATE:	

RAY CHARLES COMMERCIAL CENTRE FILING NO.1.1

DEVELOPMENT PLAN
SITE PLAN

**PRELIMINARY
NOT FOR CONSTRUCTION**

Z:\0001-Dakota Springs\02-Waterview Partners\19-05 Waterview North Site\03-RayCharles-Commercial-Site\CAD Plansheets\Development Plan\ROC - DP - Grading.dwg



PRELIMINARY
NOT FOR CONSTRUCTION
CITY FILE NO.: DEP-26-0013

Dakota Springs Engineering
Engineering Consultants
15 S WAHSATCH AVE.
COLORADO SPRINGS, CO 80903
P: (719) 227-7386 F: (719) 227-7392

Know what's below.
Call 811 before you dig.

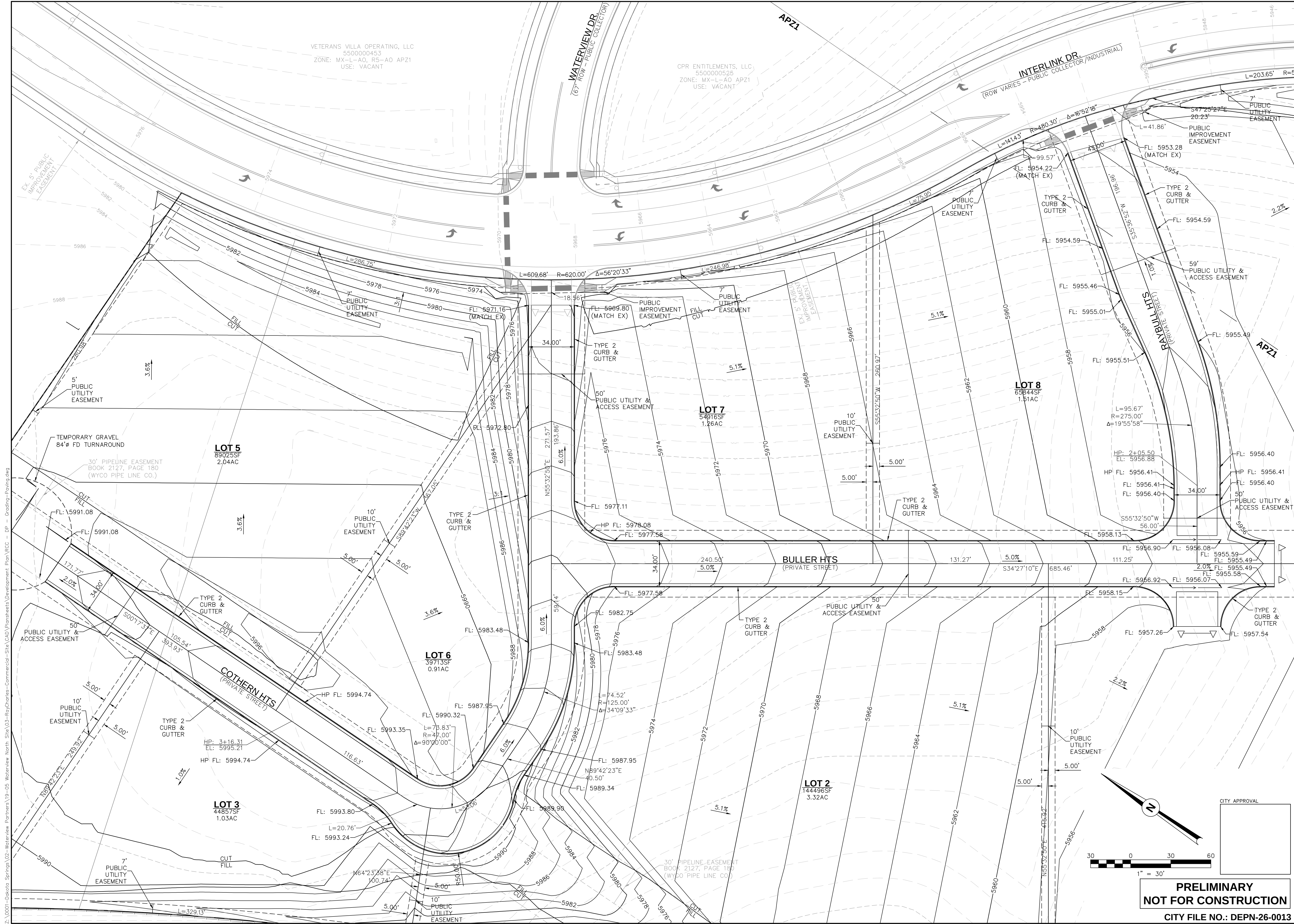
DESIGNED BY: JJM DATE: 9.12.25
DRAWN BY: JJM DATE: 10.17.25
CHECKED BY: DATE:

REVISIONS:
NO. DESCRIPTION
PROJECT NUMBER: 0219-05.03
SHEET 3 OF 6

RAY CHARLES COMMERCIAL CENTRE FILING NO.1

DEVELOPMENT PLAN
OVERALL GRADING PLAN

CITY APPROVAL



Z:\0001-Dakota Springs\02-Waterview Partners\19-05 Waterview North Site\03-RayCharles-Commercial-Site\CAD\PlanSheets\Development Plan\ROC - DP - Grading-Paving.dwg

VETERANS VILLA OPERATING, LLC
5500000453
ZONE: MX-L-AO, R5-AO APZ1
USE: VACANT

CPR ENTITLEMENTS, LLC
5500000525
ZONE: MX-L-AO APZ1
USE: VACANT



Dakota Springs Engineering
Engineering Consultants
15 S WAHSATCH AVE.
COLORADO SPRINGS, CO 80903
P: (719) 227-7386 F: (719) 227-7392



Know what's below.
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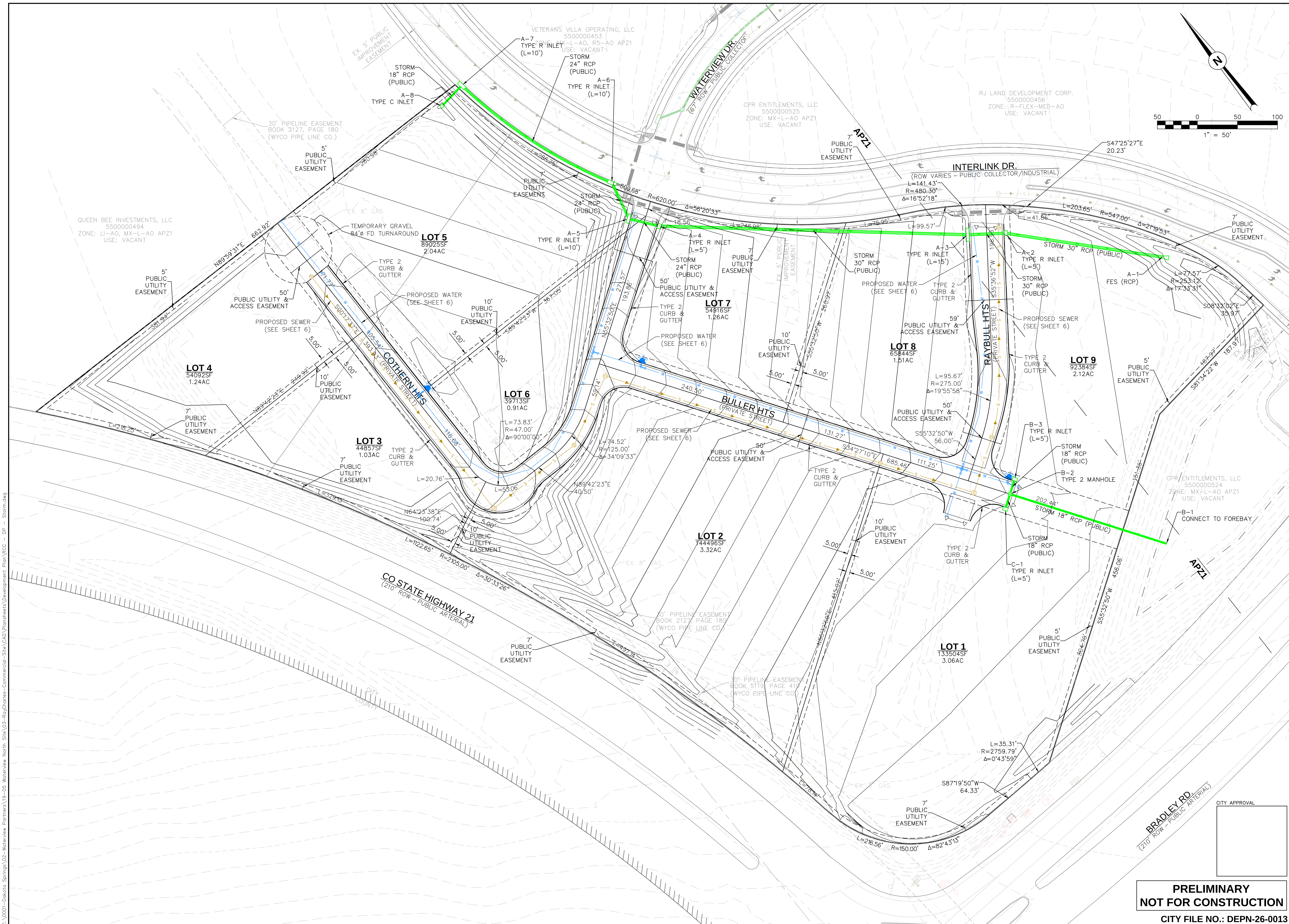


JCAD
SCALE: 1"=50'
VERT: FROM: TO:
STATION: TC:

DESIGNED BY: JJM
DATE: 9.12.25
DRAWN BY: JJM
DATE: 10.17.25
CHECKED BY:
DATE:

RAY CHARLES COMMERCIAL CENTRE FILING NO.1
DEVELOPMENT PLAN
PAVING GRADING PLAN

REVISIONS:
NO. DESCRIPTION
PROJECT NUMBER: 0219-05.03
SHEET 4 OF 6



RAY CHARLES COMMERCIAL CENTRE FILING NO.1

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CITY FILE NO.: DEPN-26-0013

