

Colorado Springs, CO

Planning and Development
30 S. Nevada Ave., Suite 701
Colorado Springs, CO 80903



Final Report - Corrections Required **Application No. DEPN-26-0013**

Report Date: 03/04/2026

Description : Development Plan to establish internal roadways and lots. No end-users are proposed with this development plan application.

Address : 0 BRADLEY RD Colorado Springs CO

Record Type : Development Plans

Document Filename : DP_V1_02-03-26

Comment Author Contact Information:

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Patrick Dosch	pdosch@csu.org	719-668-7890
Drew Foxx	drew.foxx@coloradosprings.gov	-
Chris Padilla	chris.padilla@coloradosprings.gov	719-550-1906
Caroline Miller	caroline.miller@coloradosprings.gov	719-385-6089
Brent Johnson	brent@pprbd.org	-
Steve Smith	steven.smith@coloradosprings.gov	
Joel Dagnillo	joel.dagnillo@coloradosprings.gov	-
Gregory Stachon	gregory.stachon@coloradosprings.gov	719-385-5613
Sara Rivera	sara.rivera@coloradosprings.gov	-
Michelle Lavelle	michelle.lavelle@coloradosprings.gov	-

General Comments

Comment ID	Reviewer : Department	Review Comments
5	Chris Padilla : COS Airport	Action Item: 2/26/2026: This item was reviewed and approved by the AAC with the following comments: This item will be reviewed by the Airport Advisory Commission on 2/25/2026 with the below Action item: • FAA Form 7460-1: Based on elevation data and distance to runway, the applicant will need to file Federal Aviation Administration (FAA) Form 7460-1 "Notice of Proposed Construction or Alteration" for any new vertical development at this site, including temporary construction equipment, and provide FAA documentation to the Airport before this item is presented to the Airport Advisory Commission; FAA's website (Link).

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6	Chris Padilla : COS Airport	Informational Item: 2/26/2026: This item was reviewed and approved by the AAC with the following comments: This item will be reviewed by the Airport Advisory Commission on 2/25/2026 with the below Informational Item: • Avigation Easement: An avigation easement is noted, no further action required.
67	Drew Foxx : Planning	Provide a completed and signed posting affidavit. A blank copy of this affidavit has been attached to the end of this letter.
22	Brent Johnson : Regional Building-Enumerations	Enumerations has the following comments: 1. □ Waterview Dr. is a public street on the other side of Interlink Dr. and is shown as a private street inside this development while retaining the public street designator of Dr. Enumerations feels that this street should have a completely different name that uses an appropriate private street designator. 2. □ Once this development plan is approved, the applicant should submit a copy of this plan to Enumerations for address assignment. The access to each parcel needs to be shown with (XXXX) since some of these proposed lots have more than 1 potential access point. Once the addresses have been returned, they should be shown on any plat that accompanies this DP. Brent Johnson Enumerations Plans Examiner Pikes Peak Regional Building Department O: 719-327-2888 E: brent@pprbd.org W: pprbd.org

Corrections in the following table need to be applied before a permit can be issued

Comment ID	Page Reference	Reviewer : Department	Review Comments
30	1	Sara Rivera : City Engineering - SWENT	Please contact the Lead Reviewer, Sara Rivera (sara.rivera@coloradosprings.gov), with any SWENT-related questions. Please reference the Planning review number in all communications.
31	1	Sara Rivera : City Engineering - SWENT	Info Only: The Stormwater Enterprise (SWENT) has recently updated Criteria regarding required submittals. For all Development Plans (DPs) which previously required a Final Drainage Report (FDR) submittal (generally, all DPs with 1 acre or more of earth disturbance proposed), a Preliminary Drainage Report (PDR) submittal is now acceptable instead of an FDR submittal. This change in Criteria allows for such DPs to be approved without requiring detailed, final drainage design calculations at the planning stage of the project.

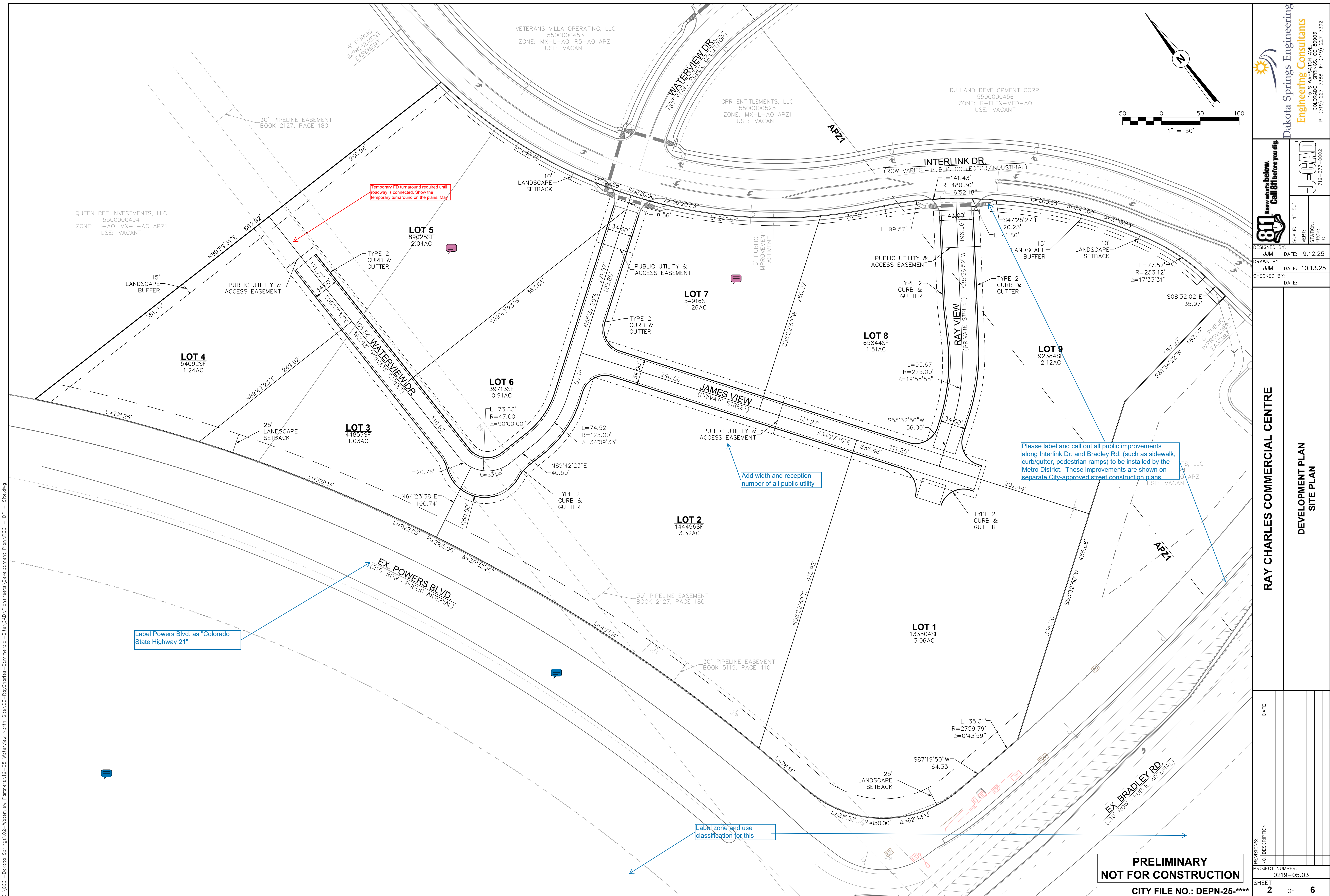
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			For DPs with less than 1 acre of earth disturbance proposed, a Final Drainage Letter (FDL) submittal is required. A PDR submittal is now acceptable instead of an FDR submittal in support of a Final Plat (FP). The PDR must be approved before the FP can be recorded. An FDR may still be submitted in support of DP or FP approval if final design information is available at the time of the DP or FP submittal. FDR Addendums are no longer accepted. All required final calculations must be included in the FDR prior to FDR approval. FDR approval is still a prerequisite for Construction Drawing (CD) approval (e.g., GEC Plan, Drainage Plan/Profile, PCM Plan, etc.). Master Development Drainage Plans (MDDPs) are no longer required for DPs with 10 or more acres of earth disturbance proposed. Please see SWENT's website for updated checklists: Link
32	1	Sara Rivera : City Engineering - SWENT	The Final Drainage Report (STM-REV26-0003) was created, but no document was uploaded. Please review the ProjectDox User Manual for how to complete the upload and send it for review: Link
33	1	Sara Rivera : City Engineering - SWENT	The ProjectDox Master Project Number for all documents related to this project is STM-MP26-0029, the review number for the associated Drainage report is STM-REV26-0075.
34	1	Sara Rivera : City Engineering - SWENT	Include a North arrow on the Vicinity map.
35	1	Sara Rivera : City Engineering - SWENT	State which flood zone (e.g. Zone X) the Site lies within.
49	1	Sara Rivera : City Engineering - SWENT	Include the Plat title in the title or cover sheet of the Development Plan (same as the subdivision plat and the FDR).
36	3	Sara Rivera : City Engineering - SWENT	Info Only: If this Site includes construction of public storm infrastructure, a cost estimate table will be required to be included on the cover sheet of the Storm plans. This table must show each public storm infrastructure item (pipes, culverts, manholes, inlets, end treatments, erosion protection, etc.), the quantity, unit cost, and total cost. A 10% contingency must be included and an overall total be shown. The overall total cost of the public storm infrastructure is the amount that must be posted as financial assurances. Please contact Andrea Acker (andrea.acker@coloradosprings.gov) to post assurances.
37	3	Sara Rivera : City Engineering - SWENT	The Four Step Process and detention requirements must be met for this site, as disturbance is greater than 1 acre. Show provisions for WQ/Detention or provide a note on the cover sheet stating the name and location of the existing facility that provides water quality and detention for the site. The note must include the full FDR name that designed the PCM, who prepared that report, and the approval date of the report. If this Site is a redevelopment, detention may not be required if the downstream drainage system is shown to have capacity for the proposed developed flow.
38	3	Sara Rivera : City Engineering - SWENT	Info Only: All swales will be required to have calculations provided in the FDR. The calculations must show the total depth of the swale, flow depth in the 100-year storm event, and the proposed lining material is appropriate for the velocity/shear stress in the 100-year storm event. If the swale is 1.5-feet deep or greater, it must be shown that 1-ft of freeboard is provided in the 100-year storm event.

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39	3	Sara Rivera : City Engineering - SWENT	Info Only: The proposed project disturbs greater than an acre and will therefore require a separate Grading and Erosion Control Plan (GEC) and the City's Stormwater Management Plan (CSWMP). These plans will need to meet the requirements listed in the City's Stormwater Construction Manual (SCM) and should be submitted via ProjectDox to the Stormwater Enterprise for review and approval. Construction details for Planned Infiltration Areas must be included in the final phase of the GEC Plan. Assurances in the amount of the total cost of the temporary construction control measures (CCMs) will be required prior to the approval of the GEC. Once the GEC & CSWMP are approved, then the applicant must apply for a City GEC Permit by completing and submitting the GEC Permit application and paying the associated fee in Accela.
41	3	Sara Rivera : City Engineering - SWENT	Please show and label all private and public easements as applicable on all sheets.
42	4	Sara Rivera : City Engineering - SWENT	Info Only: The City of Colorado Springs (City) Public Works Department issued updated standard details for inlets on July 8th, 2024. The updated inlet details are available here: Link . All proposed inlets in the City of Colorado Springs must conform to these updated inlet details. Please note that these five (5) new City standard inlet types are similar to other previously acceptable inlet types, as can be seen in SWENT's May 2025 Policy Clarification, "Hydraulic Modeling for Colorado Springs Standard Inlets" available here: Link .
43	4	Sara Rivera : City Engineering - SWENT	All proposed inlets must meet one of the five (5) new / updated City standard inlet types. See related Info Only comment for more information.
44	4	Sara Rivera : City Engineering - SWENT	Green Infrastructure: the Planned Infiltration Area (PIAs) need to be delineated with a line or a hatch. There must be a leader calling it out as a "Planned Infiltration Area" or it must be included in the legend as "Planned Infiltration Area.". This must match what is being shown in the PDR/FDR. The PIAs must be shown on the Landscape Plans, Grading Plans, and Utility Plans. Please see the revised Development Plan checklist for further clarification: Link
45	4	Sara Rivera : City Engineering - SWENT	Label all existing and proposed drainage infrastructure with size and ownership (private or public).
46	4	Sara Rivera : City Engineering - SWENT	Info Only: Construction Plans for the proposed storm sewer larger than 12" will need to be submitted to Engineering Development Review and Stormwater Enterprise for review and approval prior to construction.
40	3	Sara Rivera : City Engineering - SWENT	Add a note that all private to public storm sewer connections must be inspected by an Engineering Development Review Inspector.
47	5	Sara Rivera : City Engineering - SWENT	The offsite disturbance associated with utility installations must be included in the total disturbed area. In the FDR, areas of disturbance for offsite utility installation can be excluded from the total disturbed area as it applies to the Four Step Process, but this exclusion must be clearly documented. Please reach out to the Lead Reviewer if there are questions on how to show this. For the GEC and CWMP this disturbed area must be shown and included. This area cannot be excluded in these plans/reports.
24	1	Joel Dagnillo : City Engineering Dev Review	Is final plat submittal forthcoming? Add final plat name to title block of this development plan.
25	1	Joel Dagnillo : City Engineering Dev Review	COPN-22-0002
26	1	Joel Dagnillo : City Engineering Dev Review	Please add the following notes to Cover Sheet: "All existing curb, gutter, sidewalk, pedestrian ramps, crosspans and driveway aprons posing a safety hazard, damaged, exhibiting excessive deterioration or not meeting current City Engineering Standards along all City public streets adjacent to the site will need to be removed and replaced prior to issuing the certificate of

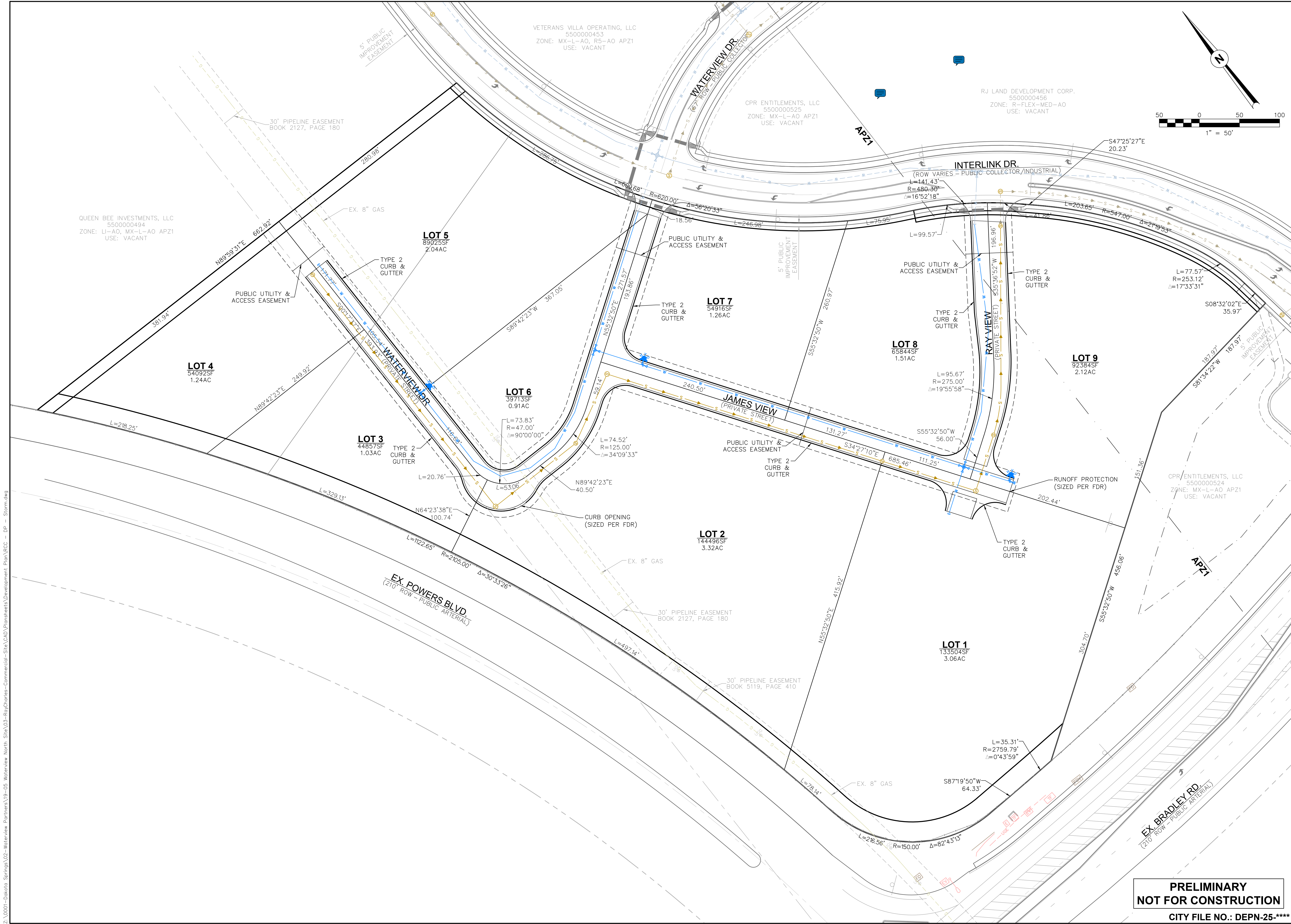
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			occupancy (C.O.). An on-site meeting can be set up with the Engineering Development Review Inspector to determine what, if any, improvements are required. The Inspector can be reached at 719-385-5977." "Accessible routes, including ramps and sidewalks, within the public right-of-way shall be per the City's Standard drawings and Specifications. City's Engineering Development Review Inspector will have the final authority on accepting the public improvements." "Please contact Marisa Medrano (marisa.j.medrano@usps.gov) directly to review this development for mail service. To establish mail delivery and kiosk locations an appointment will be required with USPS to determine final locations. Information required for this establishment include proposed locations, type of mail receptacle, final plat with addresses, type of development (residential/commercial) and date of first occupancy."
27	2	Joel Dagnillo : City Engineering Dev Review	Label Powers Blvd. as "Colorado State Highway 21"
28	2	Joel Dagnillo : City Engineering Dev Review	Please coordinate with CDOT regarding any required improvements or infrastructure along Powers Blvd.
29	2	Joel Dagnillo : City Engineering Dev Review	Please label and call out all public improvements along Interlink Dr. and Bradley Rd. (such as sidewalk, curb/gutter, pedestrian ramps) to be installed by the Metro District. These improvements are shown on separate City-approved street construction plans.
21	1	Patrick Dosch : Col Springs Utilities	Re-label as "Preliminary Utility and Public Facilities Plan"
20	4	Patrick Dosch : Col Springs Utilities	Confirm grading proposed in existing easement
7	6	Patrick Dosch : Col Springs Utilities	Please label ownership (as this is not shown on the CSU GIS)
8	6	Patrick Dosch : Col Springs Utilities	Add side lot easements (5') rear lot easements (7') per proposed or existing plat
9	6	Patrick Dosch : Col Springs Utilities	Please advise when the final plat will be submitted for review/approval as the DP will remain pending until then.
10	6	Patrick Dosch : Col Springs Utilities	Main extension to furthest point
11	6	Patrick Dosch : Col Springs Utilities	Show hydrant W599663 and indicate if to remain or be removed
12	6	Patrick Dosch : Col Springs Utilities	dd note stating "Caution, utility crossing. Maintain vertical separation."
13	6	Patrick Dosch : Col Springs Utilities	HGL and WWMFF needed
14	6	Patrick Dosch : Col Springs Utilities	Provide the CSU general notes from the PU&PF checklist / LESS Add note "CSU Field Engineer to determine final gas/electric meter, transformer, and service line locations. Contact Field Engineering at 719-668-4985 (Gas) or 719-668-5564 (Electric) with any questions."
15	6	Patrick Dosch : Col Springs Utilities	Please provide the street cross section detail from the LESS
16	6	Patrick Dosch : Col Springs Utilities	Add a note stating, "Trees shall not be planted in an easement and shall maintain a 15-foot minimum separation from water mains, wastewater mains, or Services and a 6-foot minimum separation from electric and gas distribution lines."
17	6	Patrick Dosch : Col Springs Utilities	Label widths of all utility easements and label establishment by plat or separate instrument
18	6	Patrick Dosch : Col Springs Utilities	Please indicate separation from C&G to water and wastewater mains, and minimum separation between water and wastewater Several areas may not be meeting required clearances.
19	6	Patrick Dosch : Col Springs Utilities	Re-label as "Preliminary Utility and Public Facilities Plan"

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50	1	Steve Smith : Fire	Add note that the drives will meet the following: Facilities, buildings, or portions of buildings hereafter constructed shall be accessible to fire department apparatus by way of an approved fire apparatus access road with asphalt, concrete, or other approved driving surface capable of supporting the imposed load of fire apparatus weighing up to 75,000 pounds with a minimum single axle weight of 27,000 pounds.
51	2	Steve Smith : Fire	Temporary FD turnaround required until roadway is connected. Show the temporary turnaround on the plans. May be gravel.
2	1	Gregory Stachon : Planning	Will the landscape setback trees be installed by master developer then maintained by individual lot owners? If so, show trees on this plan. If not, clarify that "landscape setback trees to be provided by individual lots as they develop."
23	1	Caroline Miller : Planning	Please add a note: 'Citywide Development Impact Fees will be applicable for future developments, with fees due at time of building permit.'
52	1	Drew Foxx : Planning	Will an FLP/FIP be provided now or upon proceeding development plan modifications?
53	1	Drew Foxx : Planning	Revise: MX-L APZ 1 AP-O (Mixed-Use Large Scale and Airport Protection Zone 1 with Airport Overlay); Ord. 23-52 (City File No. ZONE-22-0014)
54	1	Drew Foxx : Planning	Lot coverage block is not necessary at this time. Please remove.
55	1	Drew Foxx : Planning	Please remove parking block and insert this note in the general notes.
56	1	Drew Foxx : Planning	Include the following in the site data block: - Master Plan: MAPN-22-0002 - Concept Plan: COPN-22-0002 - Drainage Basin: _____
57	1	Drew Foxx : Planning	Add city file number to the bottom right hand corner of each sheet.
58	1	Drew Foxx : Planning	Add box for future city stamp in lower right hand corner of each sheet.
59	1	Drew Foxx : Planning	Add "TO BE PLATTED AS...." description.
60	1	Drew Foxx : Planning	Remove second line of the height block.
65	1	Drew Foxx : Planning	Please include the following general notes: - No direct vehicular access shall be allowed onto Powers Blvd. from the parcel(s) within this development. - The parcels within this development are subject to the fees, restrictions, and covenants of the _____ district, which is created by ordinance no. _____ and recorded in the records of the El Paso County Clerk and Recorder's office under reception no. _____.
66	1	Drew Foxx : Planning	Temporary blockades should be placed at the end of the roadways where the future road will continue. Add note that these blocks shall be installed when the road is complete until such time the roadway continues.
3	2	Michelle Lavelle : Planning	Street names James View and Ray View are not available. Per 7.4.304H 2e Duplicate Street Names shall not be approved regardless of the street designation. Please submit street name reviews to StreetNamingLUR.SMB@coloradosprings.gov
4	2	Michelle Lavelle : Planning	Waterview Dr is a public ROW on the north side of Interlink Dr. The continuation is a Private this will need a different street name cannot be duplicated. Per 7.4.304H2e per 7.304H 6 - Private Street Name Designations: Any private street or right-of-way shall be designated as follows: Grove, Heights, Point, or View. Please submit street name reviews to StreetNamingLUR.SMB@coloradosprings.gov
62	2	Drew Foxx : Planning	Add width and reception number of all public utility and access easements.

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63	2	Drew Foxx : Planning	Label zone and use classification for this property.
64	2	Drew Foxx : Planning	Detail El Paso County boundaries.



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811
Know what's below.
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SCALE: 1"=50'
VERT: STATION: FROM: TO:
DATE:

DESIGNED BY: JMM DATE: 9.12.25
DRAWN BY: JMM DATE: 10.16.25
CHECKED BY: DATE:

RAY CHARLES COMMERCIAL CENTRE
DEVELOPMENT PLAN
STORM PLAN

REVISIONS:	NO.	DESCRIPTION	DATE

PROJECT NUMBER: 0219-05.03
SHEET 5 OF 6

