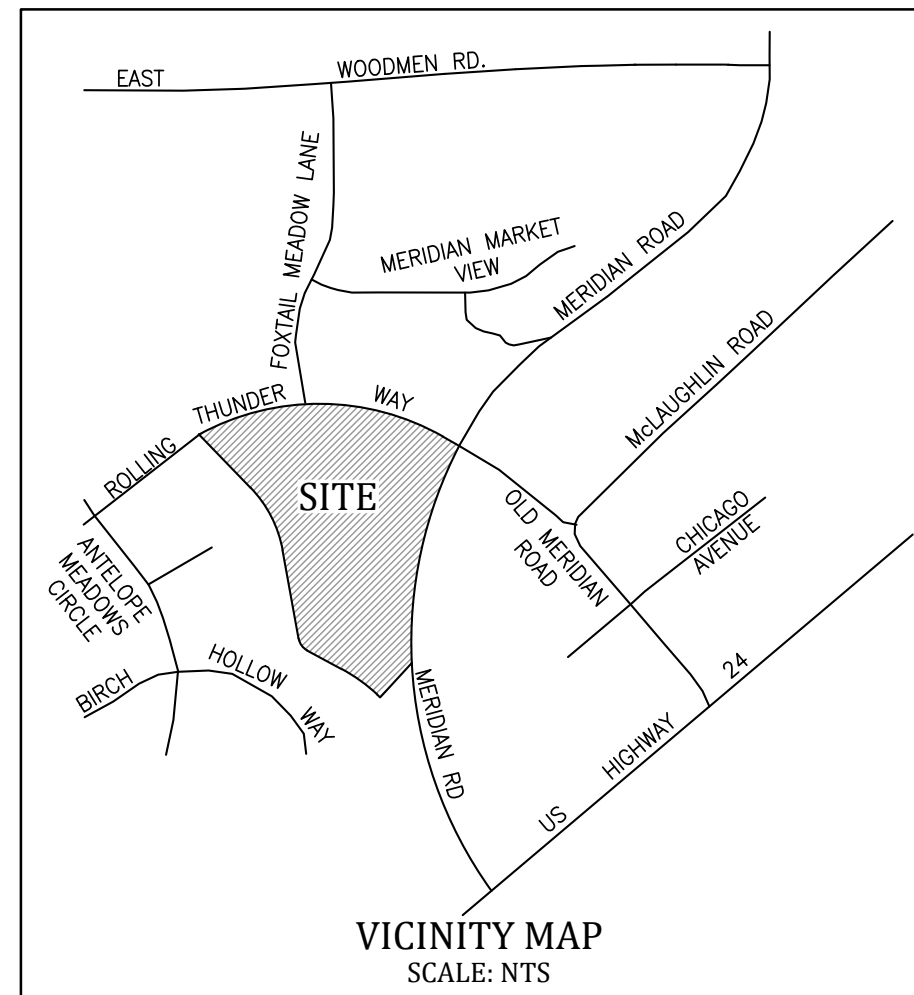


U-HAUL AT FALCON - ROLLING THUNDER WAY CIVIL CONSTRUCTION PLANS

U-HAUL AT FALCON FILING NO. 1 (FALCON HIGHLANDS) EL PASO COUNTY, COLORADO

INDEX OF SHEETS	
C100	CIVIL COVER SHEET
C101	NOTES SHEET
C201-C202	EXISTING CONDITIONS / DEMOLITION PLAN
C203-C204	CIVIL SITE PLAN
C211-C212	DETAIL SHEET
C301-C302	GRADING PLAN
C310	GRADING AND EROSION CONTROL PLAN - COVER SHEET
C311-C313	GRADING & EC PLAN - INITIAL PHASE
C314-C316	GRADING & EC PLAN - INTERIM PHASE
C317-C319	GRADING & EC PLAN - FINAL PHASE
C320-C322	GRADING & EC PLAN - DETAIL SHEET
C401-C402	UTILITY PLAN
C403-C405	STORM SEWER PLAN AND PROFILES



Design Engineer's Statement:
These detailed plans and specifications were prepared under my direction and supervision. Said plans and specifications have been prepared according to the criteria established by the County for detailed roadway, drainage, grading and erosion control plans and specifications, and said plans and specifications are in conformity with applicable master drainage plans and master transportation plans. Said plans and specifications meet the purposes for which the particular roadway and drainage facilities are designed and are correct to the best of my knowledge and belief. I accept responsibility for any liability caused by any negligent acts, errors or omissions on my part in preparation of these detailed plans and specifications.

Matthew W. Erichsen, P.E. #36713 _____ Date _____
For and on behalf of Kiowa Engineering Corp.

Owner/Developer's Statement:
I, the owner/developer have read and will comply with all of the requirements of the grading and erosion control plan and all of the requirements specified in these detailed plans and specifications.

Owner Signature _____ Date _____

El Paso County:
County plan review is provided only for general conformance with County Design Criteria. The County is not responsible for the accuracy and adequacy of the design, dimensions, and/or elevations which shall be confirmed at the job site. The County through the approval of this document assumes no responsibility for completeness and/or accuracy of this document.

Filed in accordance with the requirements of the El Paso County Land Development Code, Drainage Criteria Manual, and Engineering Criteria Manual as amended.

In accordance with ECM Section 1.12, these construction documents will be valid for construction for a period of 2 years from the date signed by the El Paso County Engineer. If construction has not started within those 2 years, the plans will need to be resubmitted for approval, including payment of review fees at the Planning and Community Development Directors discretion.

Joshua Palmer, P.E. _____ Date _____
County Engineer/ECM Administrator

GENERAL NOTES:

REVISIONS:

NO.	DATE	INITIALS	NOTES
1			
2			
3			
4			
5			
6			
7			
8			

PROFESSIONAL SEAL:



AMERCO
REAL ESTATE COMPANY

CONSTRUCTION DEPARTMENT
2727 NORTH CENTRAL AVENUE
PHOENIX, ARIZONA 85004
P: (602) 263-6502
F: (602) 277-1026

SITE ADDRESS:
U-HAUL at Falcon
Rolling Thunder Way
Falcon, CO 80831

SHEET CONTENTS:
CIVIL COVER SHEET

866077

DRAWN: JRD

CHECKED: MWE **C100**

DATE: 6/9/23

PCD File #
PPR-22-56 & SF-22-40

ABBREVIATIONS	
ASSY = ASSEMBLY	NTS = NOT TO SCALE
BNDY = BOUNDARY	OD = OUTSIDE DIAMETER
BOP = BOTTOM OF PIPE	PC = POINT OF HORIZONTAL CURVATURE
C&G = CURB & GUTTER	PLBG = PLUMBING
CL = CENTERLINE	PP = PROPOSED
CO = CLEAN OUT	PRC = POINT OF REVERSE CURVE
CRA = CONCRETE REVERSE ANCHOR	PROP = PROPERTY
CR = POINT OF CURB RETURN	PT = POINT OF HORIZONTAL TANGENCY
CS = CROSS SLOPE	PVC = POLY VINYL CHLORIDE PIPE
CTB = CONCRETE THRUST BLOCK	PVC = POINT OF VERTICAL CURVATURE
DIP = DUCTILE IRON PIPE	PVI = POINT OF VERTICAL INTERSECTION
DTL = DETAIL	PVT = POINT OF VERTICAL TANGENCY
EL = ELEVATION	R = RADIUS
EOA = EDGE OF ASPHALT	R = RIGHT
ESMT = EASEMENT	RCP = REINFORCED CONCRETE PIPE
EX = EXISTING	RD = ROOF DRAIN (STORM LINE)
FC = FACE OF CURB	RT = RIGHT OF WAY
FES = FLARED END SECTION	RT = RIGHT
FLG = FLANGE	SHT = SHEET
FL = FLOWLINE	SOI = SAND OIL INTERCEPTOR
GB = GRADE BREAK	SS = SANITARY SEWER
GI = GREASE INTERCEPTOR	STA = STATION
HP = HIGH POINT	STD = STANDARD
HORIZ = HORIZONTAL	TA = TOP OF ASPHALT
HYD = HYDRANT	TB = THRUST BLOCK
ID = INSIDE DIAMETER	TC = TOP OF CURB
L = LEFT	TOA = TOP OF ASPHALT
LT = LEFT	TOC = TOP OF CONCRETE
LF = LINEAR FEET	TOP = TOP OF PIPE
LP = LOW POINT	TYP = TYPICAL
MAX = MAXIMUM	VC = VERTICAL CURVE
MH = MANHOLE	WM = WATER MAIN
MIN = MINIMUM	

PRE-EXCAVATION CHECKLIST

- GAS AND OTHER UTILITY LINES OF RECORD SHOWN ON PLANS.
- UTILITIES CENTRAL LOCATING CALLED AT LEAST 2 BUSINESS DAYS AHEAD.
- UTILITIES LOCATED AND MARKED.
- EMPLOYEES BRIEFED ON MARKING AND COLOR CODES.
- EMPLOYEES TRAINED ON EXCAVATION AND SAFETY PROCEDURES FOR NATURAL GAS LINES.
- WHEN EXCAVATION APPROACHES GAS LINES, EMPLOYEES EXPOSE LINES BY CAREFUL PROBING AND HAND DIGGING.

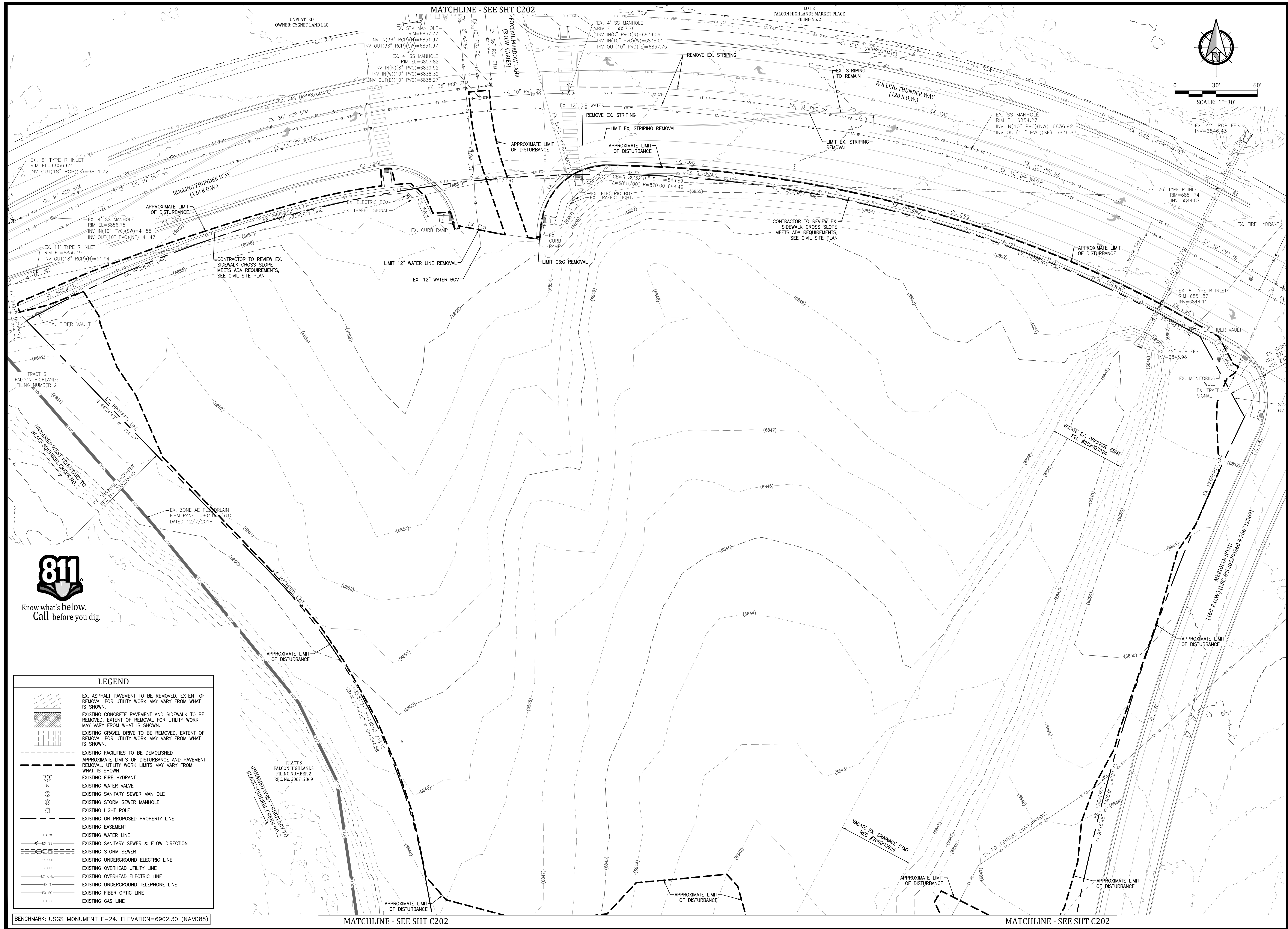
*A.G.A.I.A.P.W.A. STANDARD UTILITY MARKING COLOR CODE

NATURAL GAS	YELLOW	WATER	BLUE
ELECTRIC	RED	WASTEWATER	GREEN

Know what's below.
Call before you dig.

CONTACTS		
SERVICE	ENTITY	POINT OF CONTACT
DEVELOPER/OWNER	AMERCO Real Estate Company 2727 North Central Avenue 5N Phoenix, AZ 85004	Jeff Gilley 719-337-8154
CIVIL ENGINEER	Kiowa Engineering Corporation 7175 West Jefferson Ave, #2200 Lakewood, CO 80235	Matthew Erichsen, PE (303) 692-0369
COMMUNITY: DRAINAGE, GRADING	El Paso County Public Works	Edward B. Schoenheit 719-520-6813
WASTEWATER & WATER:	Falcon Highlands Metro District c/o JDS Hydro Consultants	Ryan Mangino, PE 719-227-0072
FIRE:	Falcon Fire Protection District	Trent Harwig 719-495-4050
GAS:	Colorado Springs Utilities	-----
ELECTRIC:	Mountain View Electric Assoc	-----

© COPYRIGHT - AMERCO - REAL ESTATE COMPANY



LEGEND	
	EX. ASPHALT PAVEMENT TO BE REMOVED. EXTENT OF REMOVAL FOR UTILITY WORK MAY VARY FROM WHAT IS SHOWN.
	EXISTING CONCRETE PAVEMENT AND SIDEWALK TO BE REMOVED. EXTENT OF REMOVAL FOR UTILITY WORK MAY VARY FROM WHAT IS SHOWN.
	EXISTING GRAVEL DRIVE TO BE REMOVED. EXTENT OF REMOVAL FOR UTILITY WORK MAY VARY FROM WHAT IS SHOWN.
	EXISTING FACILITIES TO BE DEMOLISHED
	APPROXIMATE LIMITS OF DISTURBANCE AND PAVEMENT REMOVAL. UTILITY WORK LIMITS MAY VARY FROM WHAT IS SHOWN.
	EXISTING FIRE HYDRANT
	EXISTING WATER VALVE
	EXISTING SANITARY SEWER MANHOLE
	EXISTING STORM SEWER MANHOLE
	EXISTING LIGHT POLE
	EXISTING OR PROPOSED PROPERTY LINE
	EXISTING EASEMENT
	EXISTING WATER LINE
	EXISTING SANITARY SEWER & FLOW DIRECTION
	EXISTING STORM SEWER
	EXISTING UNDERGROUND ELECTRIC LINE
	EXISTING OVERHEAD UTILITY LINE
	EXISTING OVERHEAD ELECTRIC LINE
	EXISTING UNDERGROUND TELEPHONE LINE
	EXISTING FIBER OPTIC LINE
	EXISTING GAS LINE

BENCHMARK: USGS MONUMENT E-24. ELEVATION=6902.30 (NAVD88)

GENERAL NOTES:

REVISIONS:

NO.	DATE	INITIALS	NOTES
1			
2			
3			
4			
5			
6			
7			
8			

PROFESSIONAL SEAL:

Kiowa
Engineering Corporation
5951 Middlefield Road, Suite 200
Lafayette, CA 94503
(925) 932-0369

AMERCO
REAL ESTATE COMPANY

CONSTRUCTION DEPARTMENT
2727 NORTH CENTRAL AVENUE
PHOENIX, ARIZONA 85004
P: (602) 263-6502
F: (602) 277-1026

SITE ADDRESS:
U-HAUL at Falcon
Rolling Thunder Way
Falcon, CO 80831

SHEET CONTENTS:
EXISTING CONDITIONS/
DEMOLITION PLAN

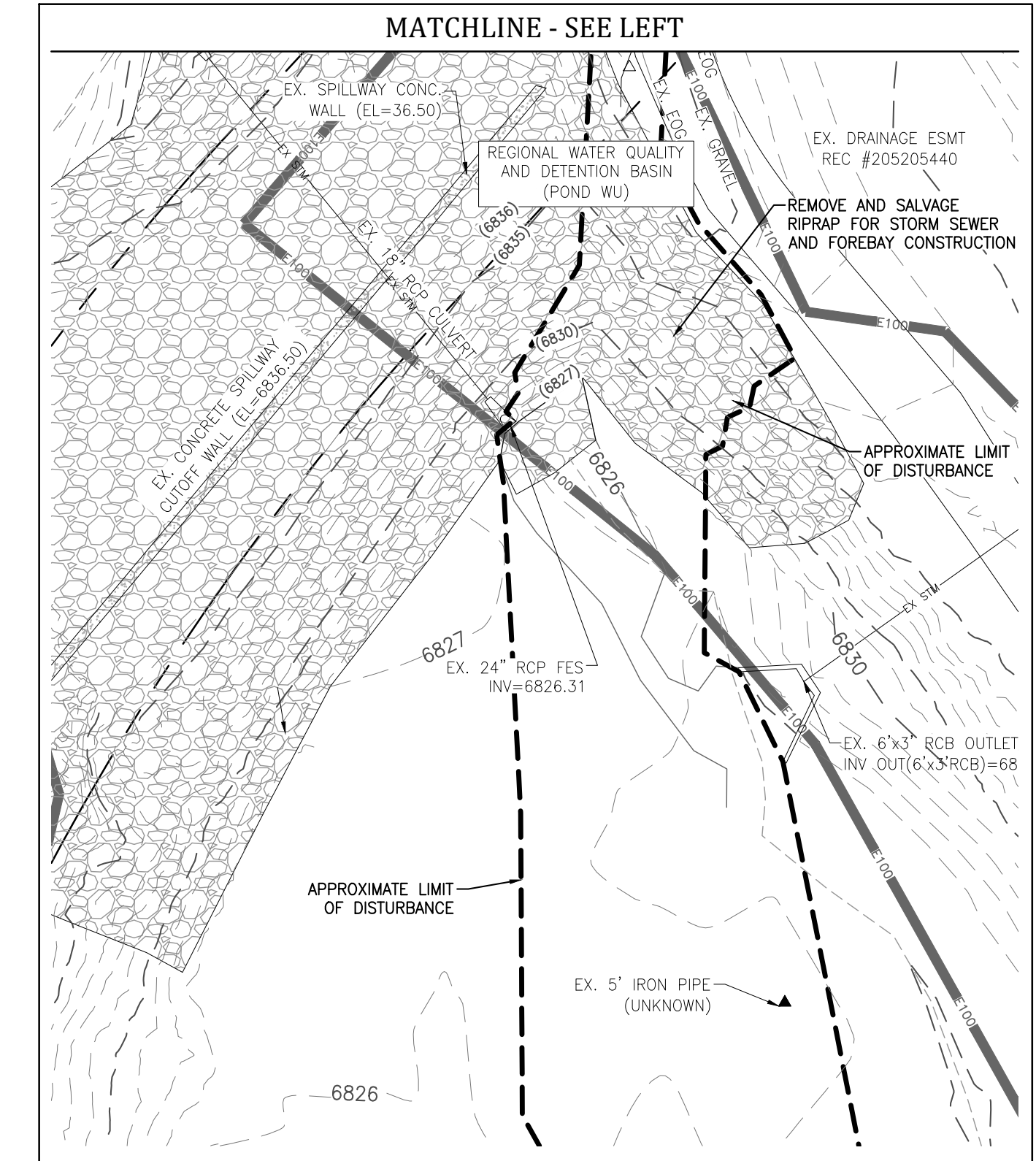
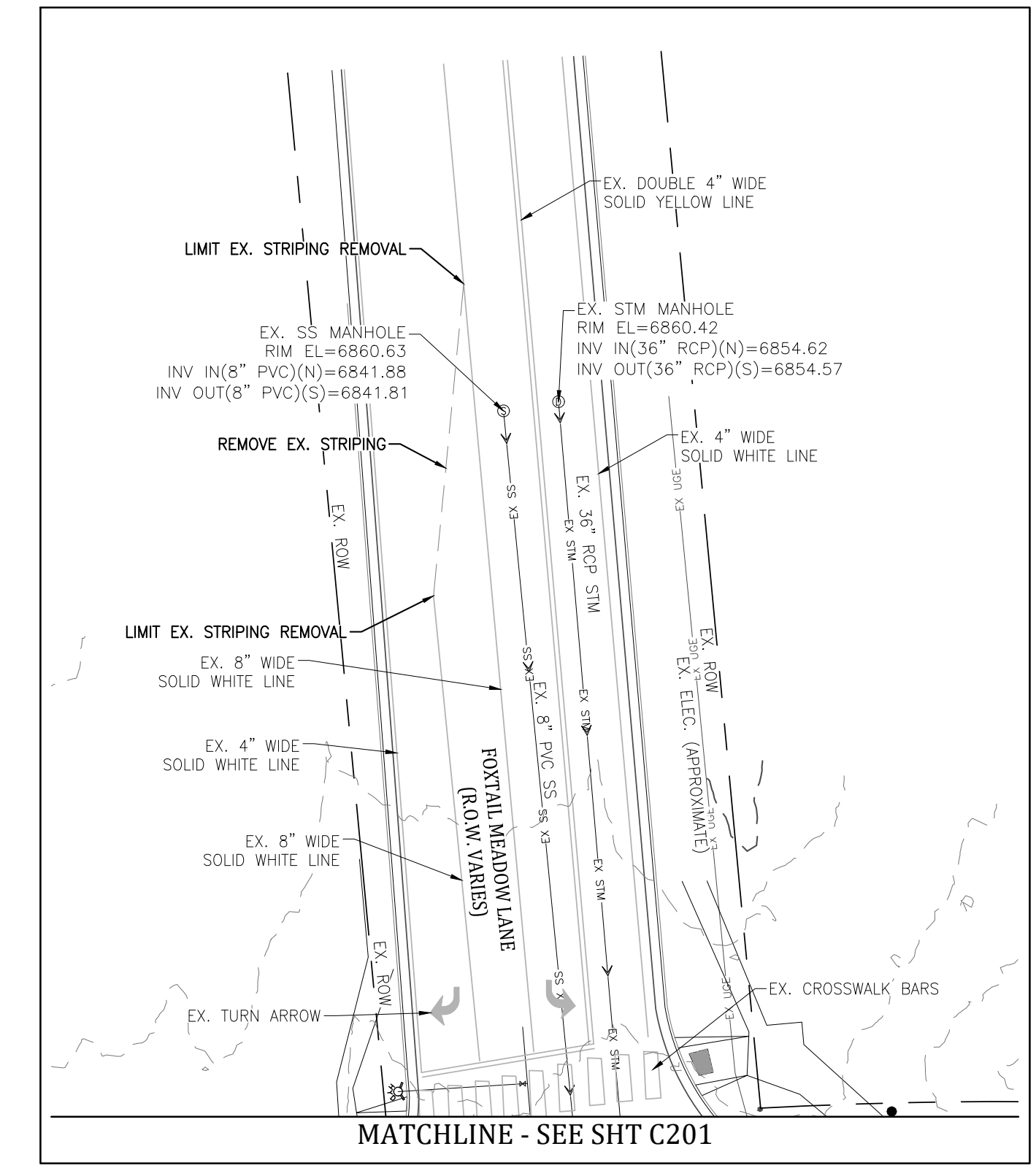
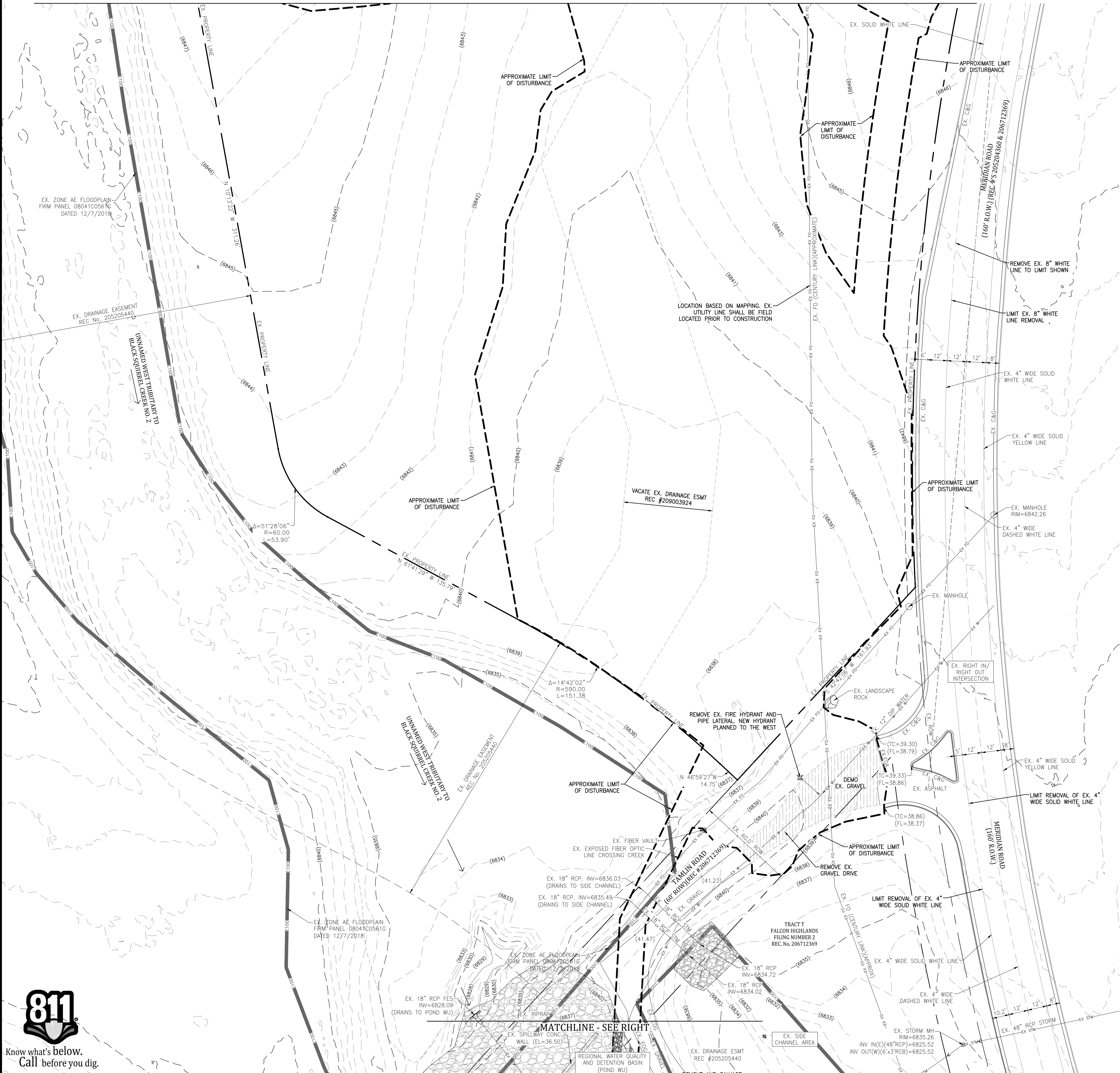
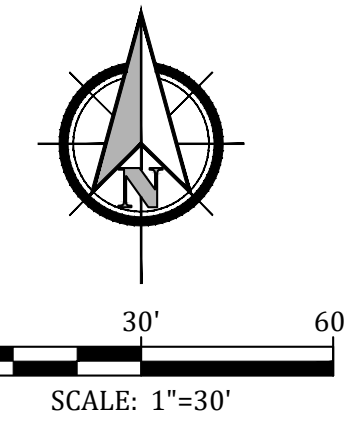
866077

DRAWN: JRD
CHECKED: MWE
DATE: 6/9/23

PCD File #
PPR-22-56 & SF-22-40

MATCHLINE - SEE SHT C201

MATCHLINE - SEE SHT C201



GENERAL NOTES:

REVISIONS:

NO.	DATE	INITIALS	NOTES
1			
2			
3			
4			
5			
6			
7			
8			

PROFESSIONAL SEAL:

Kiowa
Engineering Corporation
5951 Middlefield Road, Suite 200
Lafayette, CA 94503
(925) 692-0369

AMERCO
REAL ESTATE COMPANY

CONSTRUCTION DEPARTMENT
2727 NORTH CENTRAL AVENUE
PHOENIX, ARIZONA 85004
P: (602) 263-6502
F: (602) 277-1026

SITE ADDRESS:
U-HAUL at Falcon
Rolling Thunder Way
Falcon, CO 80831

SHEET CONTENTS:
EXISTING CONDITIONS/
DEMOLITION PLAN

866077

DRAWN: JRD
CHECKED: MWE
DATE: 6/9/23

C202

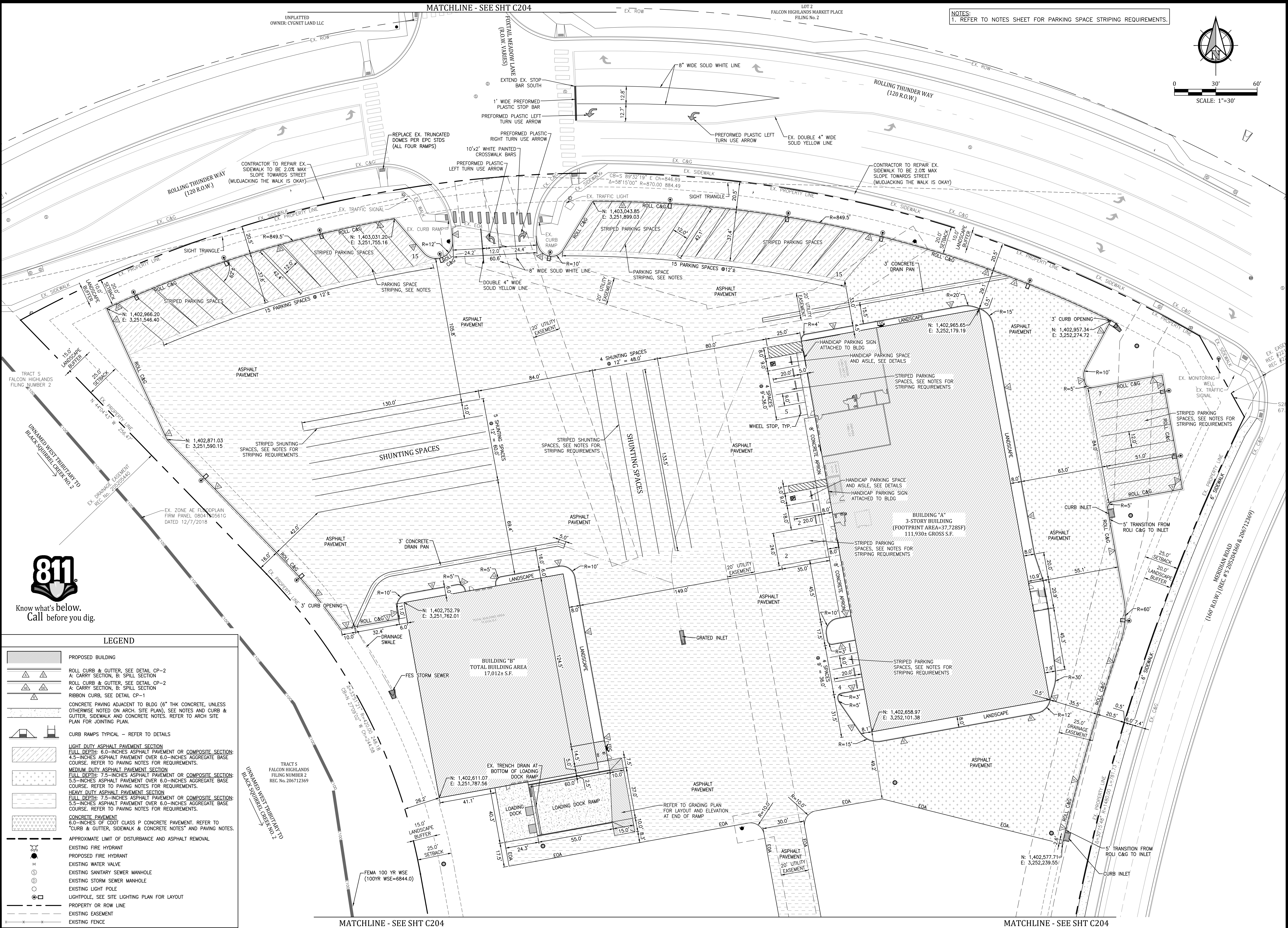
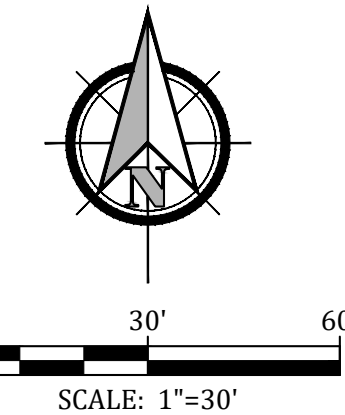
PCD File #
PPR-22-56 & SF-22-40



© COPYRIGHT AMERCO REAL ESTATE COMPANY

MATCHLINE - SEE SHT C204

NOTES:
1. REFER TO NOTES SHEET FOR PARKING SPACE STRIPING REQUIREMENTS.



MATCHLINE - SEE SHT C204

MATCHLINE - SEE SHT C204



Know what's below.
Call before you dig.

LEGEND

- PROPOSED BUILDING
- ROLL CURB & GUTTER, SEE DETAIL CP-2
- A: CARRY SECTION, B: SPILL SECTION
- RIBBON CURB, SEE DETAIL CP-1
- CONCRETE PAVING ADJACENT TO BLDG (6" THK CONCRETE, UNLESS OTHERWISE NOTED ON ARCH. SITE PLAN), SEE NOTES AND CURB & GUTTER, SIDEWALK AND CONCRETE NOTES. REFER TO ARCH SITE PLAN FOR JOINTING PLAN.
- CURB RAMPS TYPICAL - REFER TO DETAILS
- LIGHT DUTY ASPHALT PAVEMENT SECTION
- MEDIUM DUTY ASPHALT PAVEMENT SECTION
- HEAVY DUTY ASPHALT PAVEMENT SECTION
- CONCRETE PAVEMENT
- APPROXIMATE LIMIT OF DISTURBANCE AND ASPHALT REMOVAL
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- EXISTING WATER VALVE
- EXISTING SANITARY SEWER MANHOLE
- EXISTING STORM SEWER MANHOLE
- EXISTING LIGHT POLE
- LIGHTPOLE, SEE SITE LIGHTING PLAN FOR LAYOUT
- PROPERTY OR ROW LINE
- EXISTING EASEMENT
- EXISTING FENCE

GENERAL NOTES:

REVISIONS:

NO.	DATE	INITIALS	NOTES
1			
2			
3			
4			
5			
6			
7			
8			

PROFESSIONAL SEAL:

Kiowa
Engineering Corporation
5951 Middlefield Road, Suite 200
Lubbock, TX 79424
(803) 692-0369

AMERCO
REAL ESTATE COMPANY

CONSTRUCTION DEPARTMENT
2727 NORTH CENTRAL AVENUE
PHOENIX, ARIZONA 85004
P: (602) 263-6502
F: (602) 277-1026

SITE ADDRESS:
U-HAUL at Falcon
Rolling Thunder Way
Falcon, CO 80831

SHEET CONTENTS:
CIVIL SITE PLAN

866077

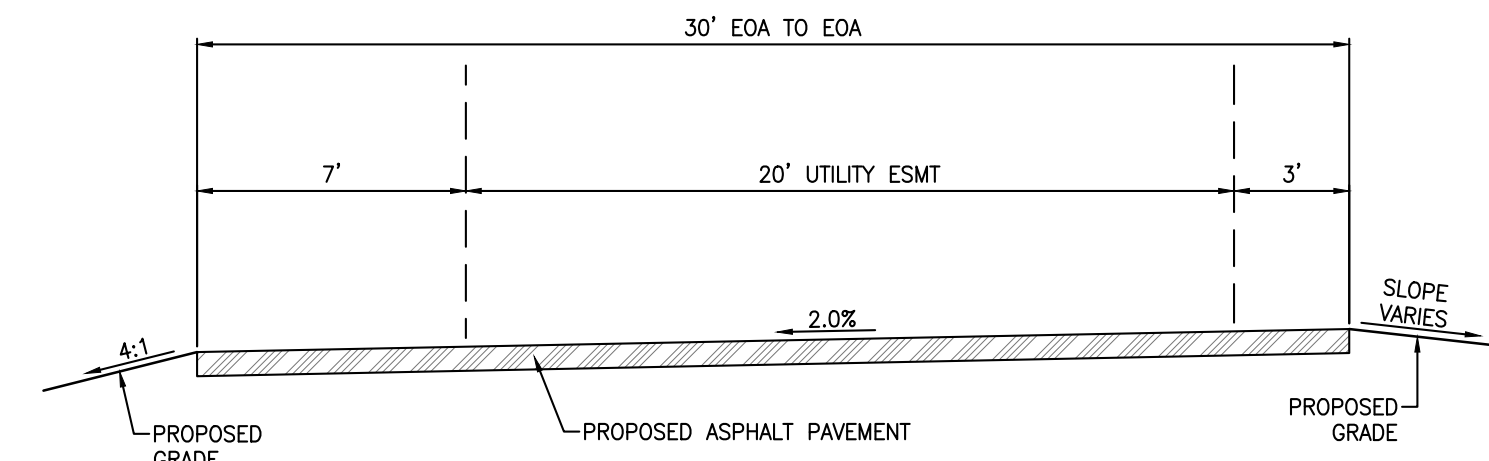
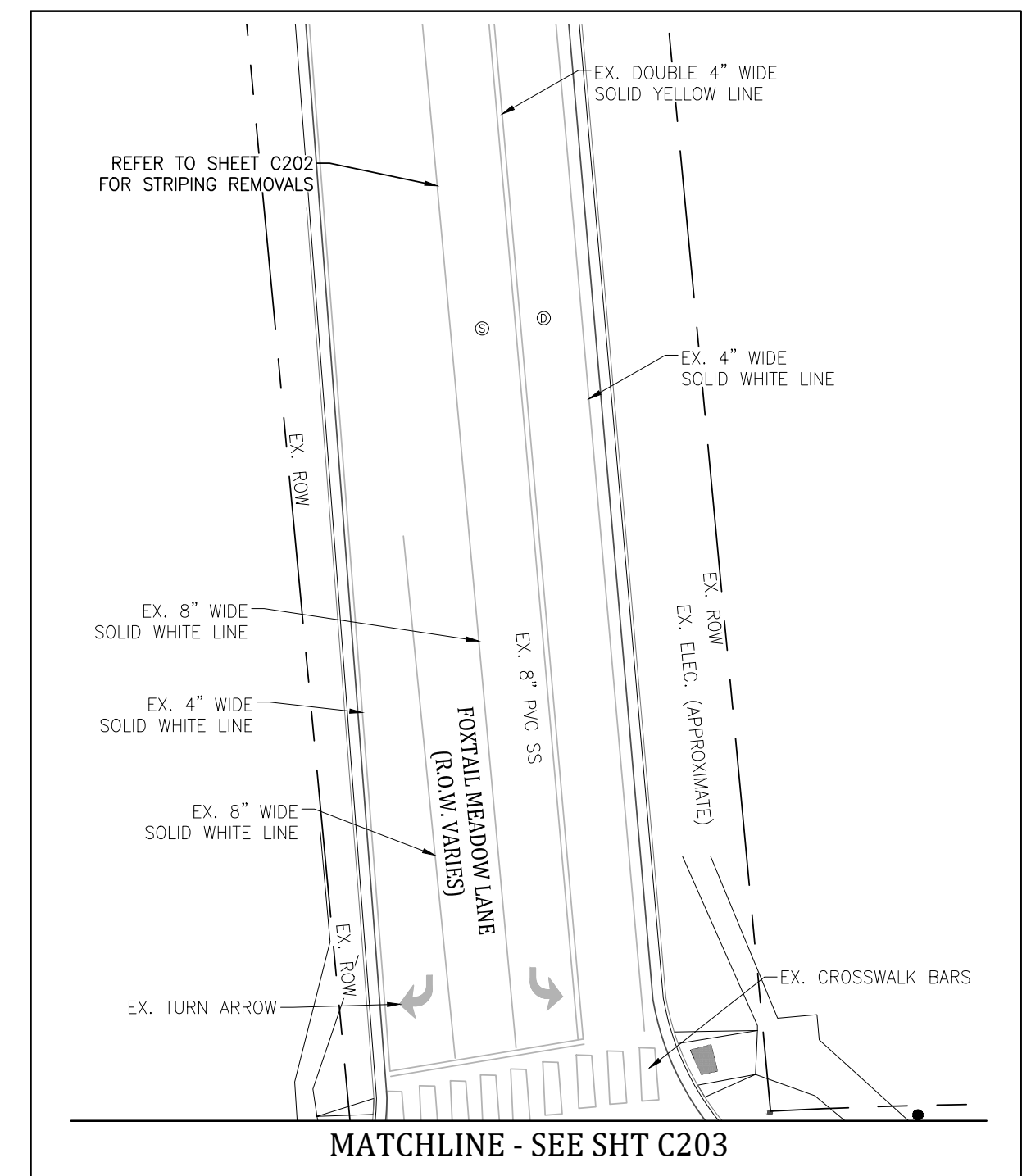
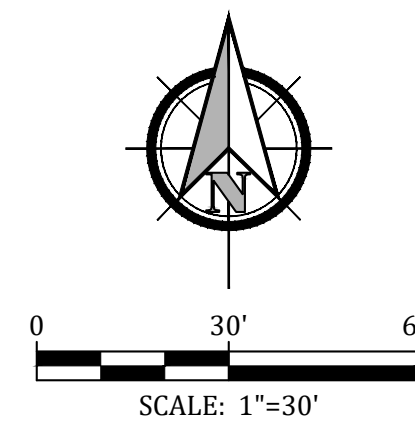
DRAWN:	JRD	C203
CHECKED:	MWE	
DATE:	6/9/23	

PCD File #
PPR-22-56 & SF-22-40

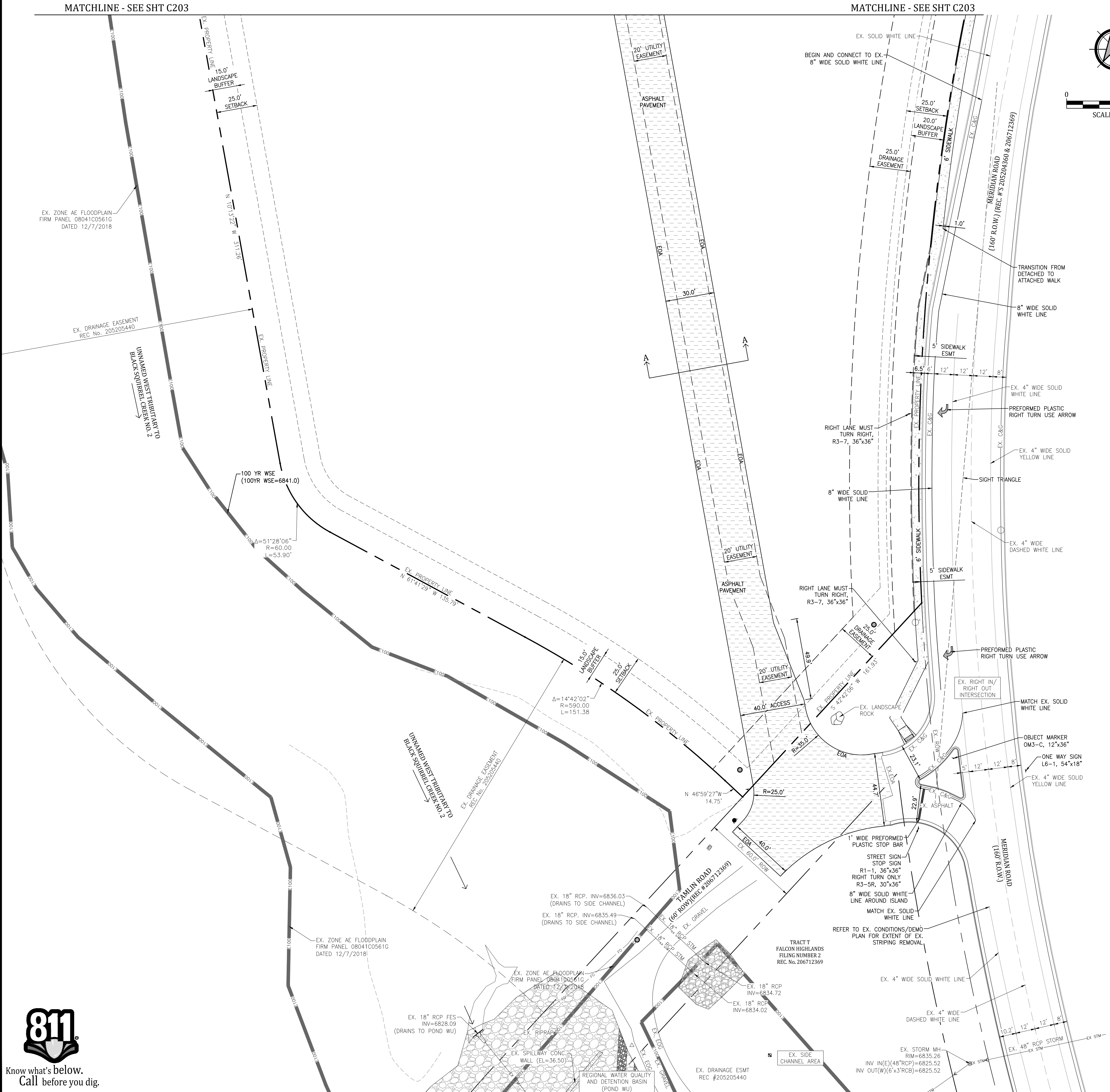
© COPYRIGHT AMERCO REAL ESTATE COMPANY

MATCHLINE - SEE SHT C203

MATCHLINE - SEE SHT C203



A
C204 ACCESS ROAD TYPICAL SECTION A-A
SCALE: NTS



GENERAL NOTES:

REVISIONS:

NO.	DATE	INITIALS	NOTES
1			
2			
3			
4			
5			
6			
7			
8			

PROFESSIONAL SEAL:



AMERCO
REAL ESTATE COMPANY

CONSTRUCTION DEPARTMENT
2727 NORTH CENTRAL AVENUE
PHOENIX, ARIZONA 85004
P: (602) 263-6502
F: (602) 277-1026

SITE ADDRESS:
U-HAUL at Falcon
Rolling Thunder Way
Falcon, CO 80831

SHEET CONTENTS:
CIVIL SITE PLAN

866077

DRAWN: JRD	C204
CHECKED: MWE	
DATE: 6/9/23	

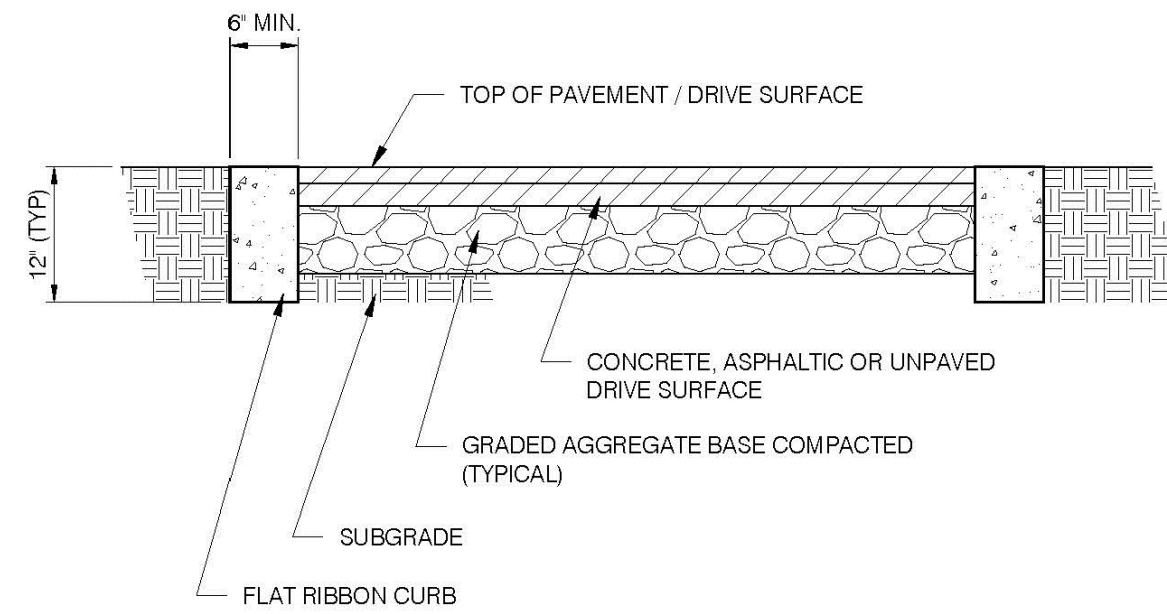
PCD File #
PPR-22-56 & SF-22-40



© COPYRIGHT AMERCO REAL ESTATE COMPANY

RIBBON CURB DETAIL

USE AT ALL INTERIOR LOT LOCATIONS



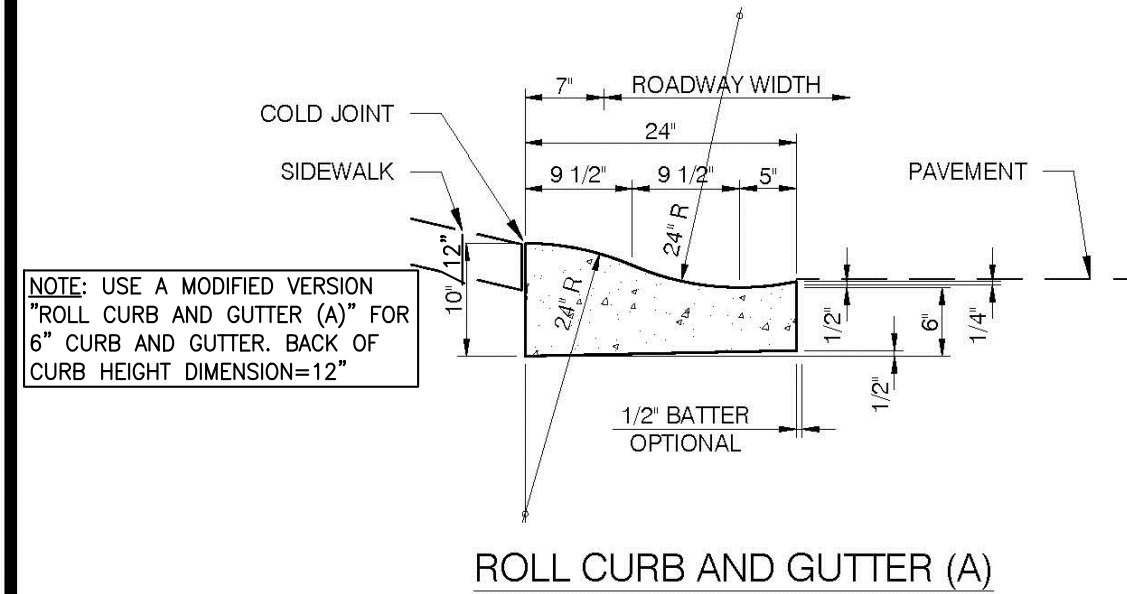
RIBBON CURB NOTES:

- RIBBON CURB MUST BE A FLAT CURB, TOP FLUSH WITH PAVED OR UNPAVED DRIVE SURFACES.
- RIBBON CURB SHALL BE A MINIMUM OF 3000 PSI CONCRETE AT 28 DAYS.
- ALONG RIBBON CURB:
 - 1/2-INCH EXPANSION JOINTS OR PREMOLDED BITUMINOUS EXPANSION JOINT MATERIAL SHALL BE PROVIDED AT ALL STRUCTURES, RADIUS POINTS, AND AT INTERVALS NOT TO EXCEED 50 FEET.
 - CONSTRUCTION JOINT SHALL BE INSTALLED 1/2-INCH AT 10-FT INTERVALS.

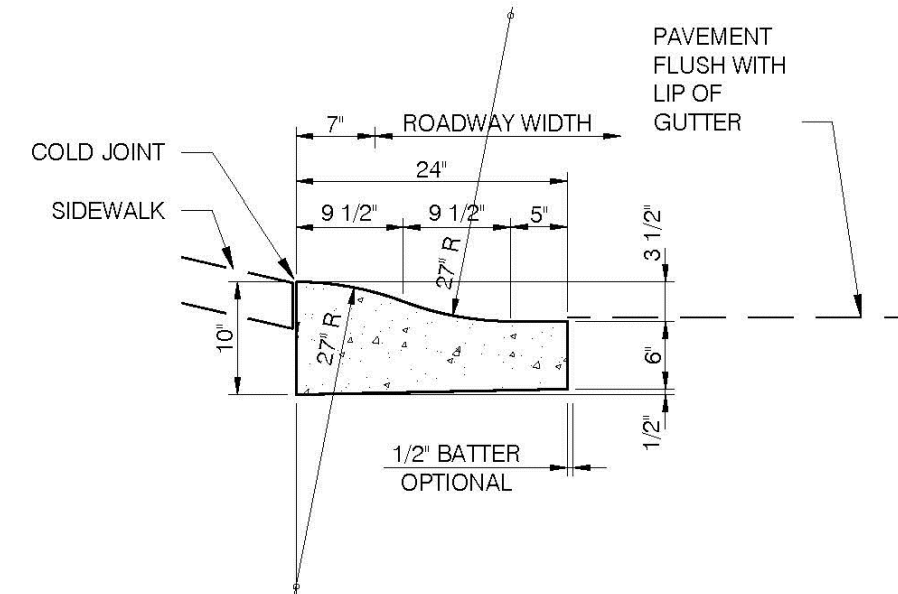
AMERCO
REAL ESTATE COMPANY

RIBBON CURB DETAIL
FILE NAME: CURBTRICKLE.dwg
SECTION #: C211-CP-1
REVISION: 06-13-2020
SCALE: NOT TO SCALE
SHEET: CP-1
DETAIL

MOUNTABLE ROLLED CURB DETAIL



ROLL CURB AND GUTTER (A)



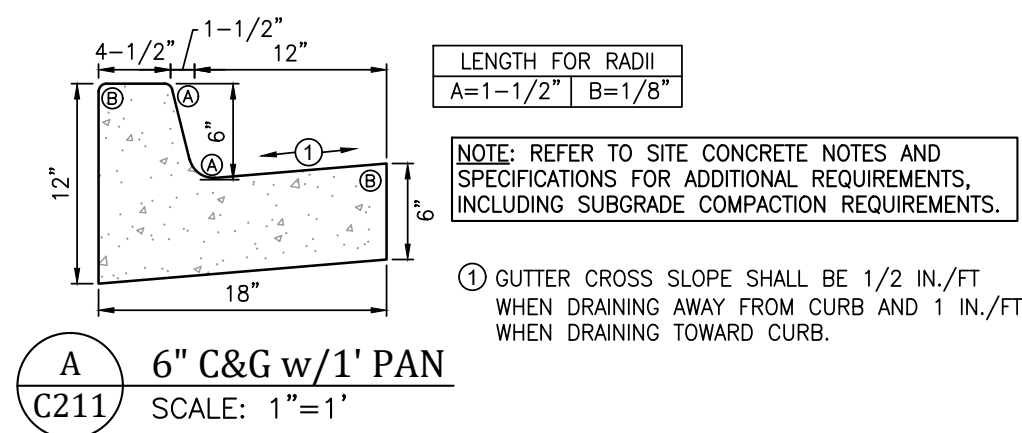
ROLL CURB AND GUTTER (B)

ROLL CURB NOTES (A & B)

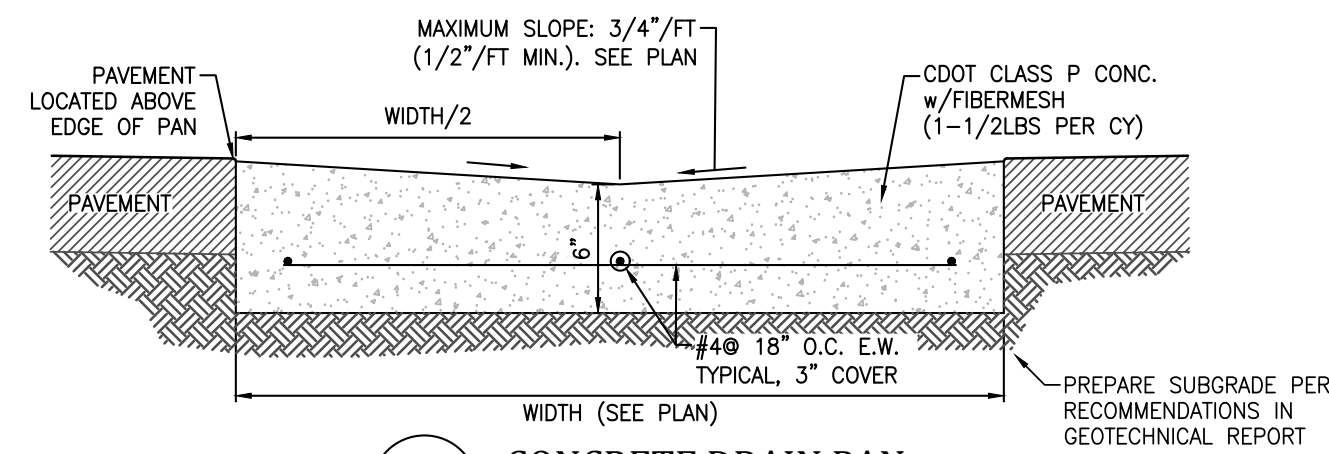
- ONLY USE WHEN RIBBON CURB IS NOT ALLOWED OR WHEN REQUIRED FOR DRAINAGE.
- CONTRACTION JOINT SPACING 10' MAXIMUM.
- MINIMUM OF 3000 PSI CONCRETE AT 28 DAYS.

AMERCO
REAL ESTATE COMPANY

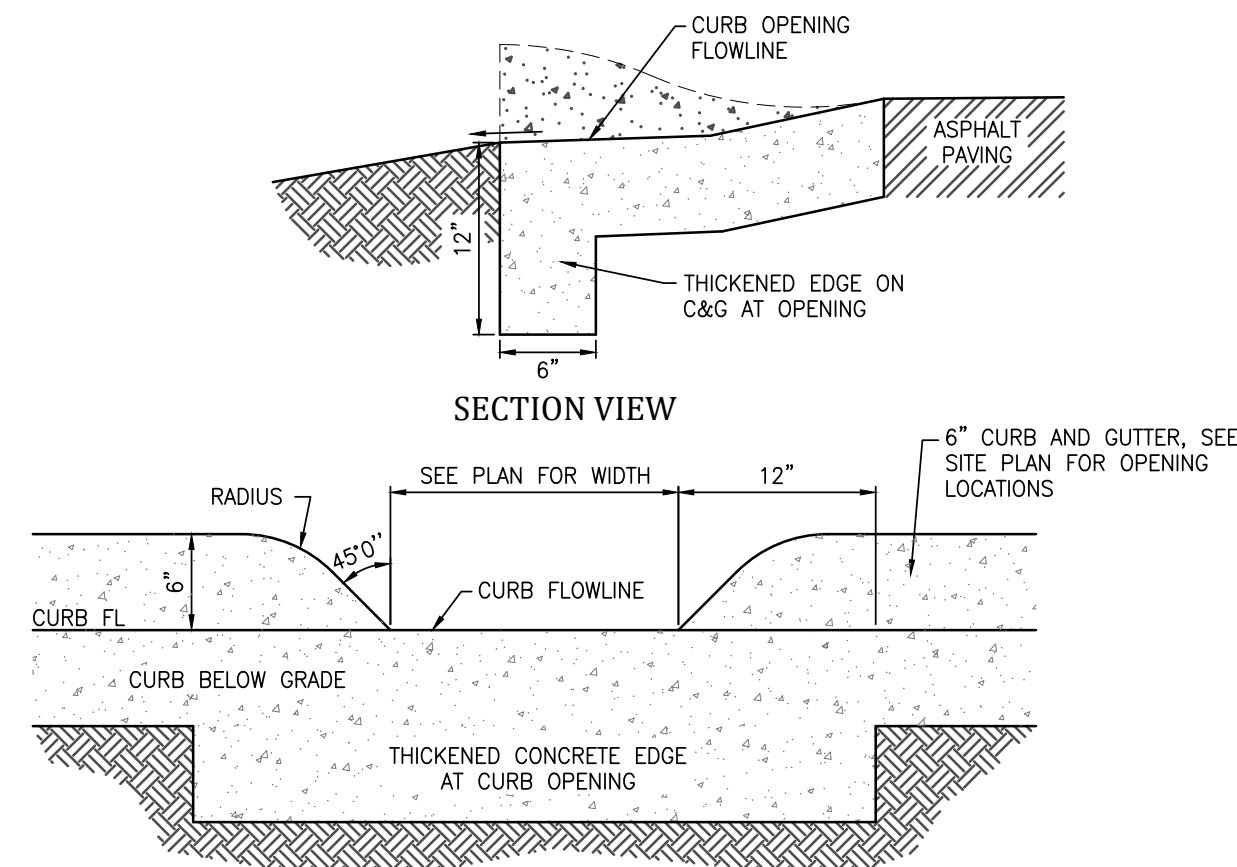
ROLL CURB DETAILS
FILE NAME: CURBPROFILES.dwg
SECTION #: C211-CP-2
REVISION: 06-13-2020
SCALE: NOT TO SCALE
SHEET: CP-2
DETAIL



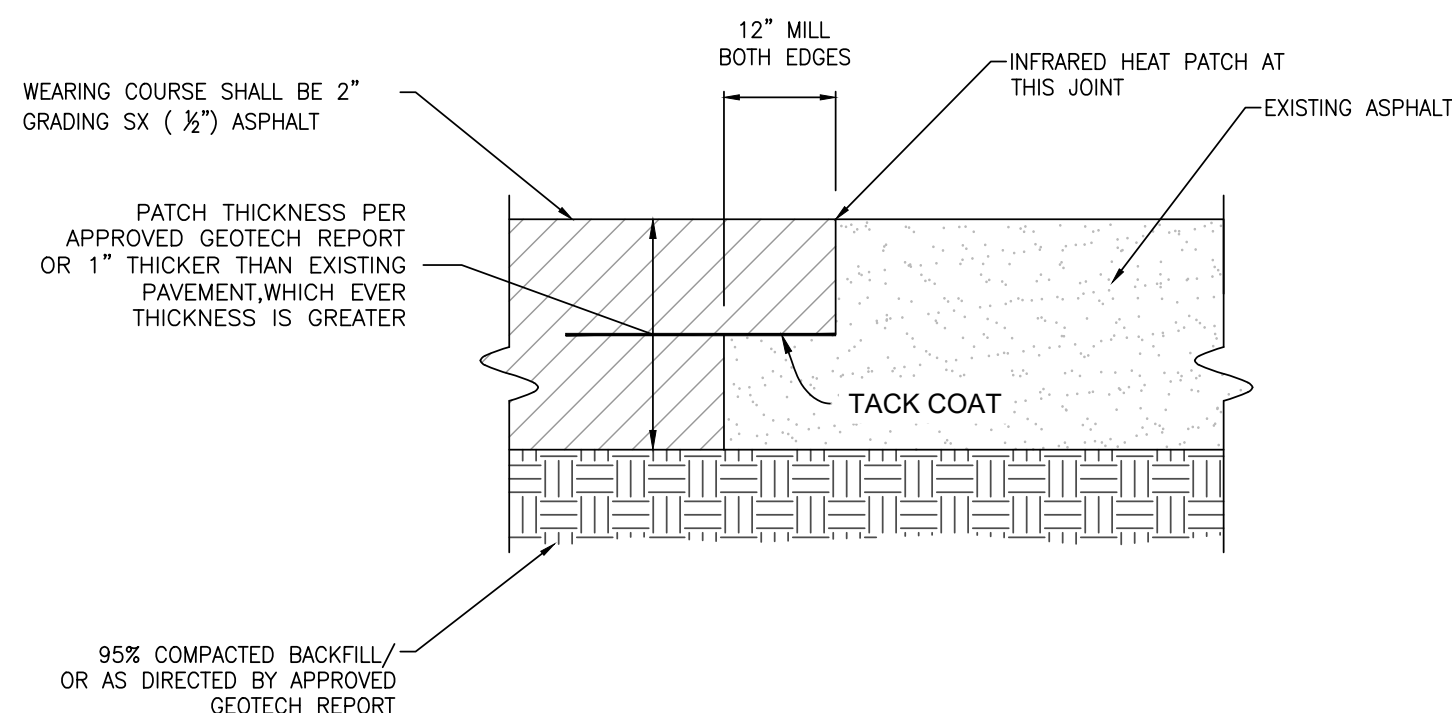
A 6' C&G w/1' PAN
SCALE: 1"=1'



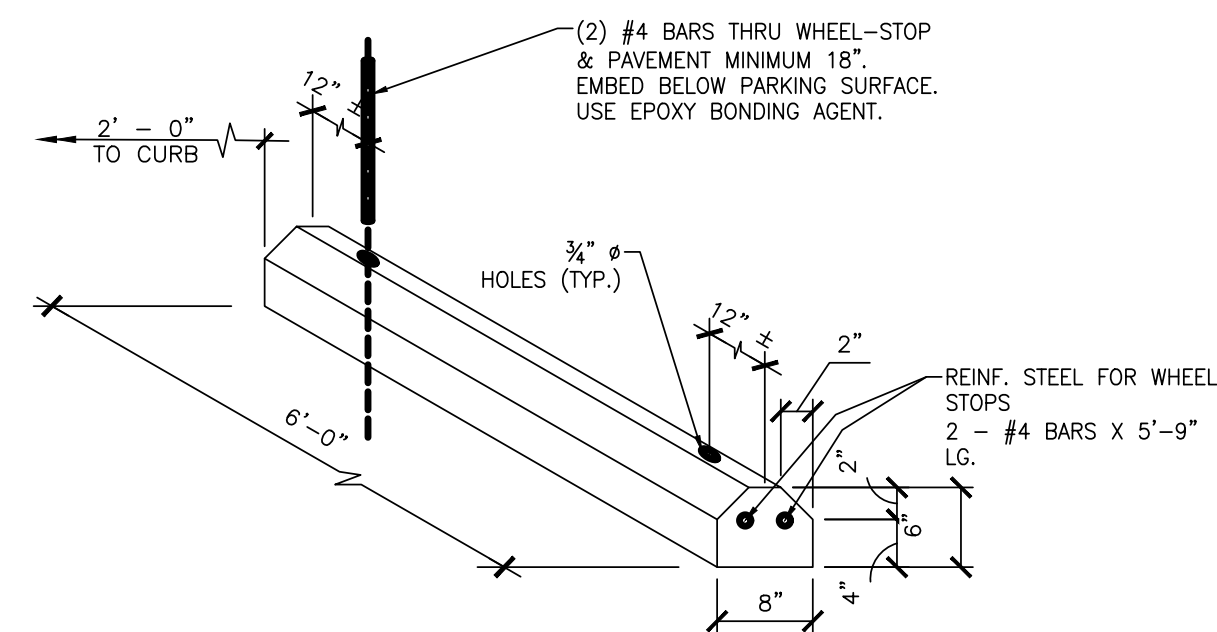
B CONCRETE DRAIN PAN
PARKING LOT
SCALE: NTS



C CURB OPENING ELEVATION VIEW
SCALE: NTS

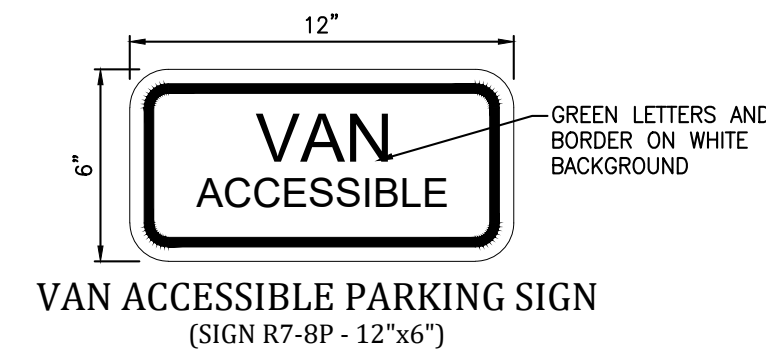


G TYPICAL ASPHALT T-PATCH DETAIL
SCALE: NTS

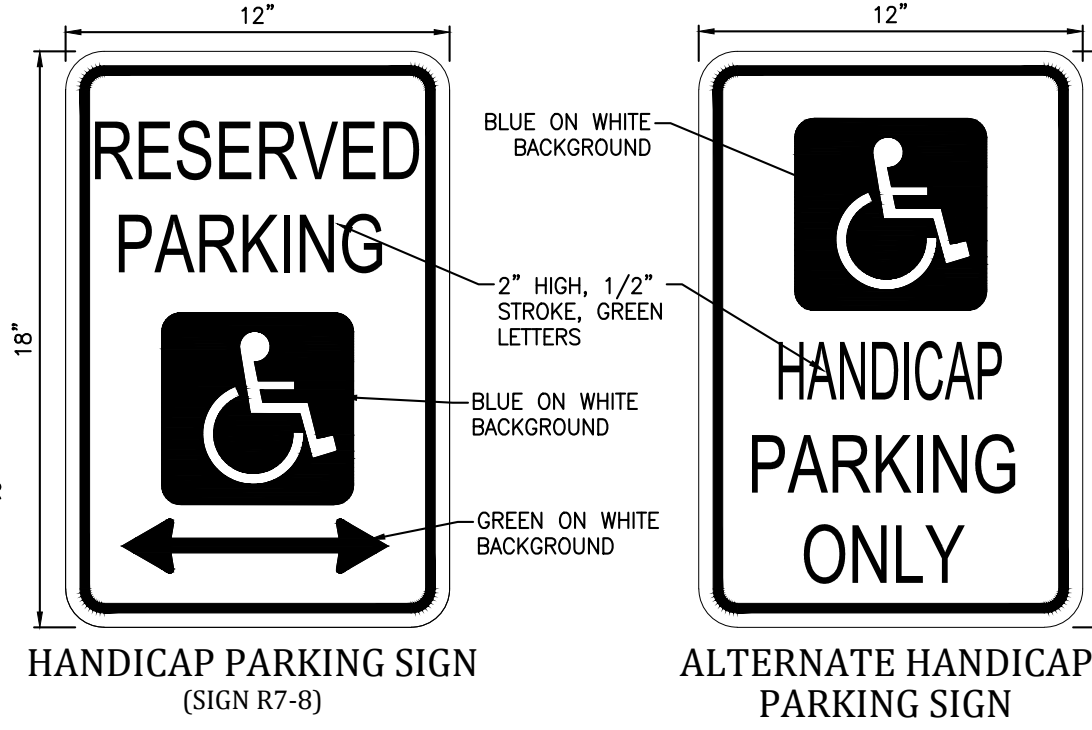


H TYPICAL CONCRETE WHEEL STOP DETAIL
SCALE: NTS

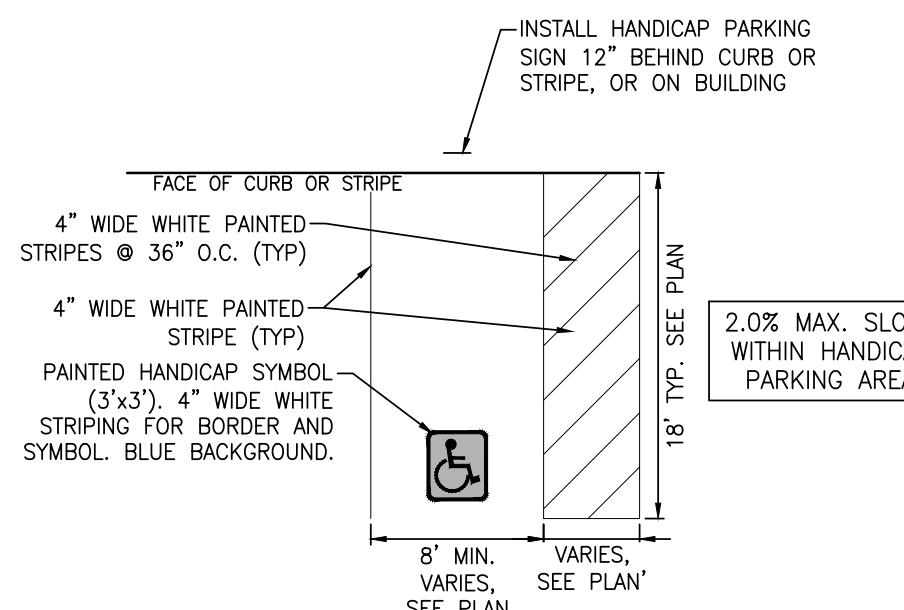
NOTE:
IN EACH PARKING STALL, A CURB OR WHEEL STOP SHALL BE PROVIDED IF REQUIRED TO PREVENT ENCROACHMENT OF VEHICLES OVER THE REQUIRED WIDTH OF WALKWAYS. PARKING STALLS SHALL BE SO LOCATED THAT PERSONS WITH DISABILITIES ARE NOT COMPELLED TO WHEEL OR WALK BEHIND PARKED VEHICLES OTHER THAN THEIR OWN.



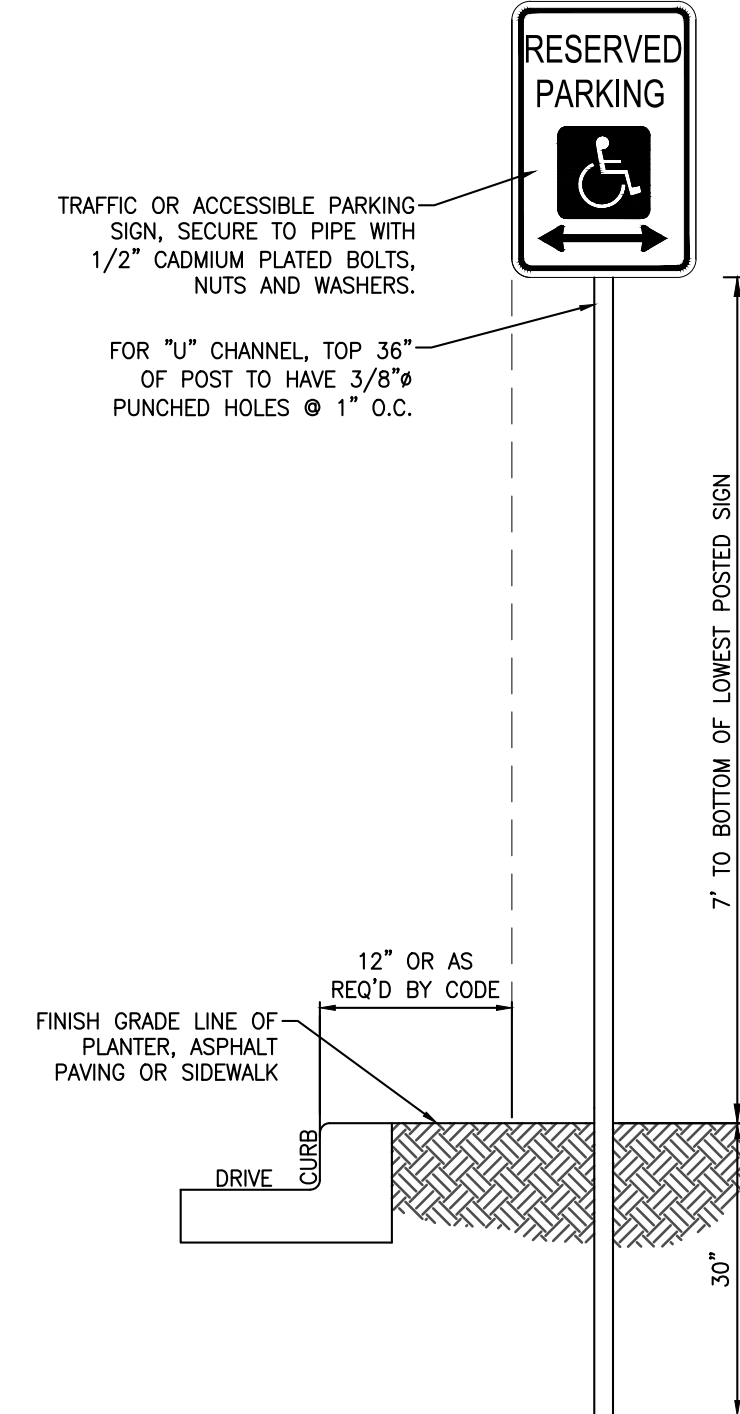
D TYPICAL HANDICAP PARKING STALL
SCALE: NTS



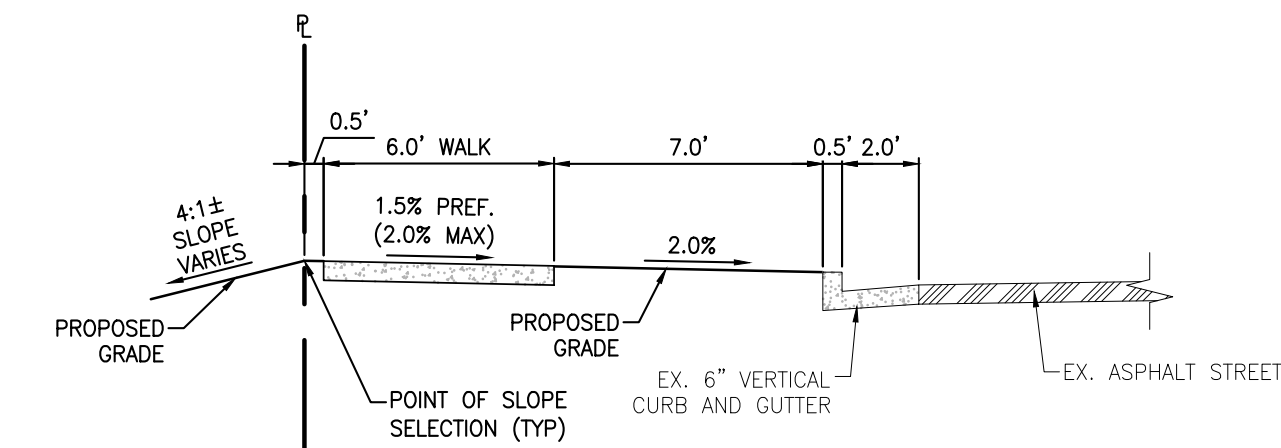
E HANDICAP PARKING SIGN
SCALE: NTS



F SIGN PLACEMENT DETAIL
SCALE: NTS



I DETACHED SIDEWALK TYPICAL SECTION
SCALE: NTS



J ATTACHED SIDEWALK TYPICAL SECTION
SCALE: NTS

- NOTES:
- ALL TRAFFIC CONTROL AND TRAFFIC SIGNS SHALL BE IN CONFORMANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), THE CURRENT COLORADO SUPPLEMENT AND THE APPROVED PLANS.
 - STOP AND YIELD SIGN PLACEMENT LOCATIONS SHALL BE PER SECTION 28-9 OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION AND CDOT S-614-1.
 - PRIVATE STREET SIGN DESIGN AND PLACEMENT SHALL BE PER THE LATEST VERSION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND THE CITY OF COLORADO SPRINGS TRAFFIC DIVISION. STREET SIGN BACKGROUND TO BE BROWN.
 - LOCATION, PLACEMENT, AND THE NUMBER OF REQUIRED FIRE LANES SIGNS OR FIRE LANE STRIPING SHALL BE COORDINATED WITH THE COLORADO SPRINGS FIRE DEPARTMENT.
 - HANDICAP PARKING SIGNS SHALL BE LOCATED AT EACH HANDICAP PARKING SPACE.
 - VAN ACCESSIBLE SIGNS SHOULD BE LOCATED AT VAN ACCESSIBLE PARKING SPACES (SEE STRIPING PLAN FOR LOCATIONS). PLACE 'VAN ACCESSIBLE' SIGN WITH A MINIMUM OF FIVE (5) FEET OF CLEARANCE.

GENERAL NOTES:

REVISIONS:

NO.	DATE	INITIALS	NOTES
1			
2			
3			
4			
5			
6			
7			
8			

PROFESSIONAL SEAL:

Kiowa
Engineering Corporation
5951 Middlefield Road, Suite 200
Lafayette, CA 94503
(925) 692-0369

AMERCO
REAL ESTATE COMPANY

CONSTRUCTION DEPARTMENT
2727 NORTH CENTRAL AVENUE
PHOENIX, ARIZONA 85004

P: (602) 263-6502
F: (602) 277-1026

SITE ADDRESS:
U-HAUL at Falcon
Rolling Thunder Way
Falcon, CO 80831

SHEET CONTENTS:
DETAIL SHEET

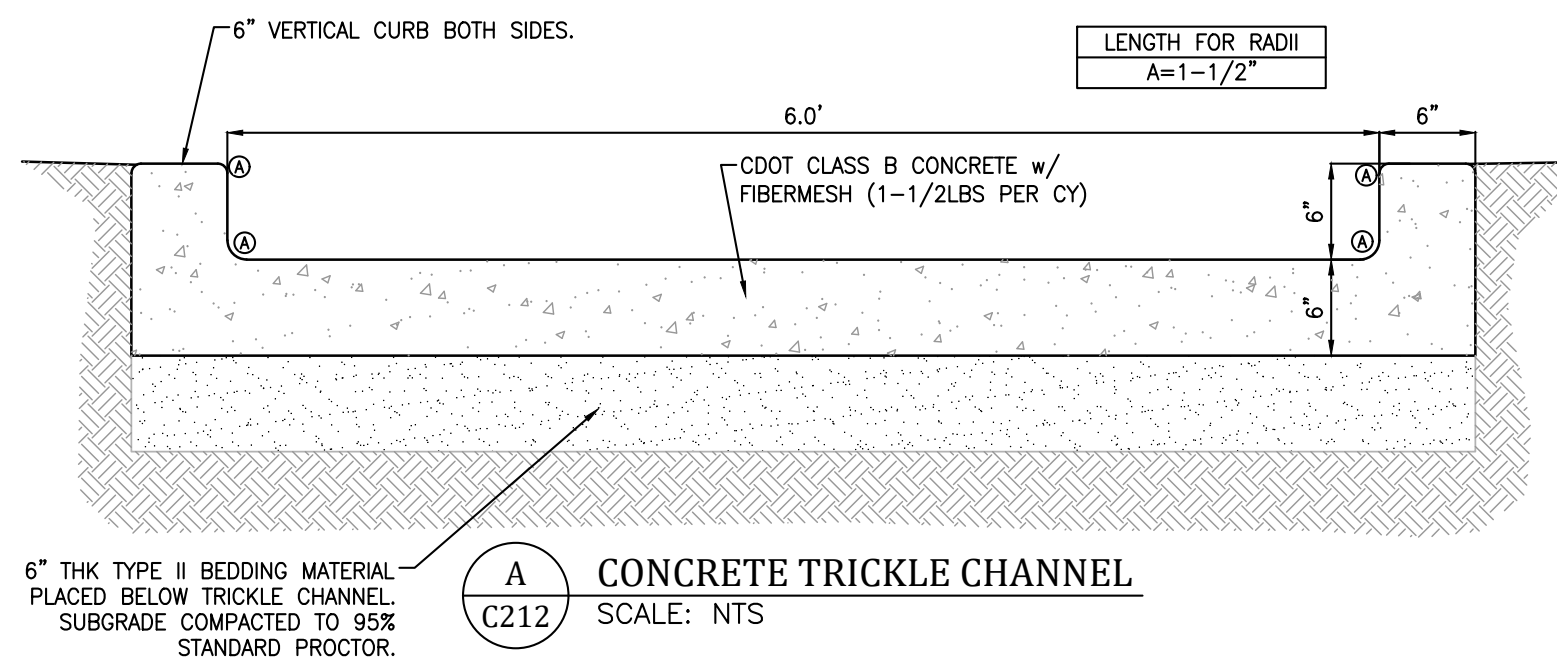
866077

DRAWN: JRD
CHECKED: MWE
DATE: 6/9/23

C211

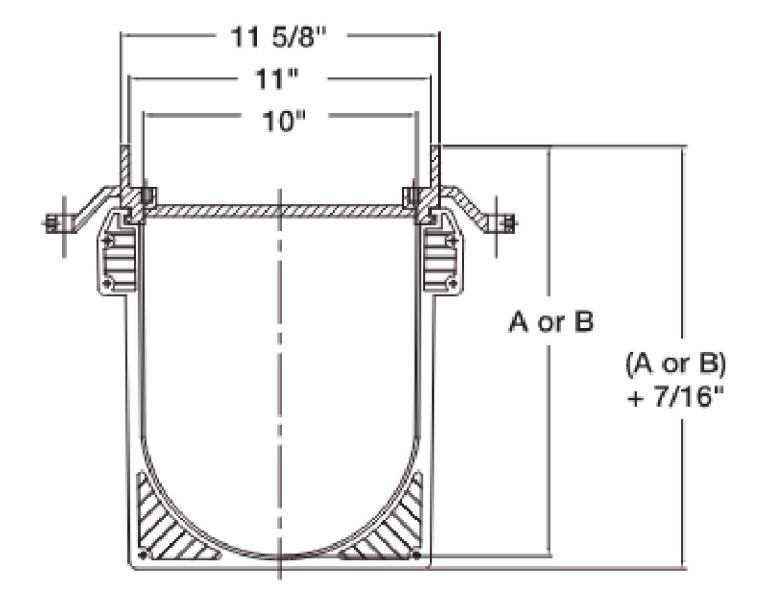
PCD File #
PPR-22-56 & SF-22-40

© COPYRIGHT - AMERCO - REAL ESTATE COMPANY



A CONCRETE TRICKLE CHANNEL
SCALE: NTS

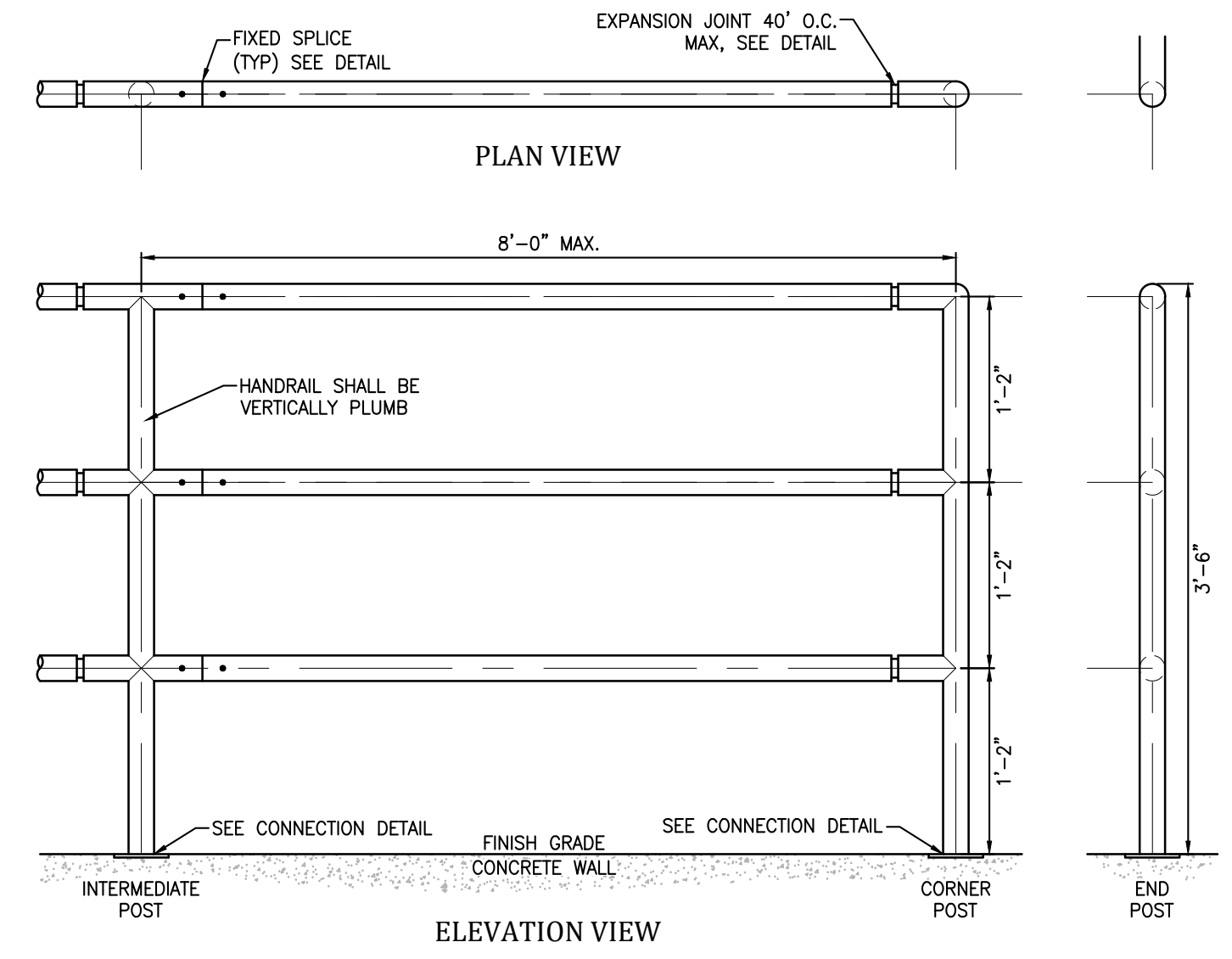
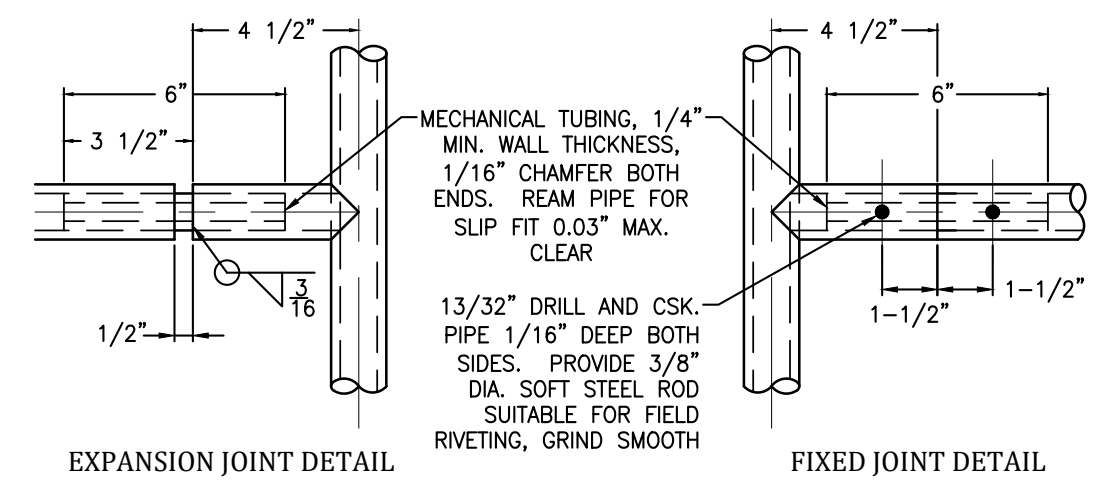
NOTES:
1. TRENCH DRAIN IN LOADING DOCK SHALL BE WATTS DEAD LEVEL DX 12" WIDE WITH DUCTILE IRON FRAME (CLASS F GRATE) OR EQUAL. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF TRENCH DRAIN.



B TRENCH DRAIN SECTION
SCALE: NTS



PEDESTRIAN RAILING/HANDRAIL NOTES:
1. ALL HANDRAIL SHALL BE FABRICATED WITH NEW 1-1/2" (1-7/8" OD) DIAMETER STANDARD WEIGHT STEEL PIPE.
2. WELD ALL PIPE JOINTS WITH 1/8" REINFORCED WELDS AND DRESS SMOOTH.
3. CORNERS AND EDGES OF ALL BARS, PLATES AND PIPE ENDS SHALL BE Sanded SMOOTH AND FREE OF BURRS.
4. ALL HANDRAIL MATERIAL REQUIRED FOR COMPLETE INSTALLATION SHALL BE PROVIDED.
5. HANDRAIL FINISH SHALL BE ONE COAT METAL PRIMER AND TWO COATS SHERWIN WILLIAMS PAINT. PAINT COLOR SHALL BE TOASTY (SW 6095) TO MATCH EX. RAILING ON NORTHWEST FOREBAY. CONTRACTOR TO SUBMIT COLOR SAMPLE FOR APPROVAL PRIOR TO APPLICATION.
6. CONTRACTOR TO FIELD VERIFY DIMENSIONS PRIOR TO FABRICATION.

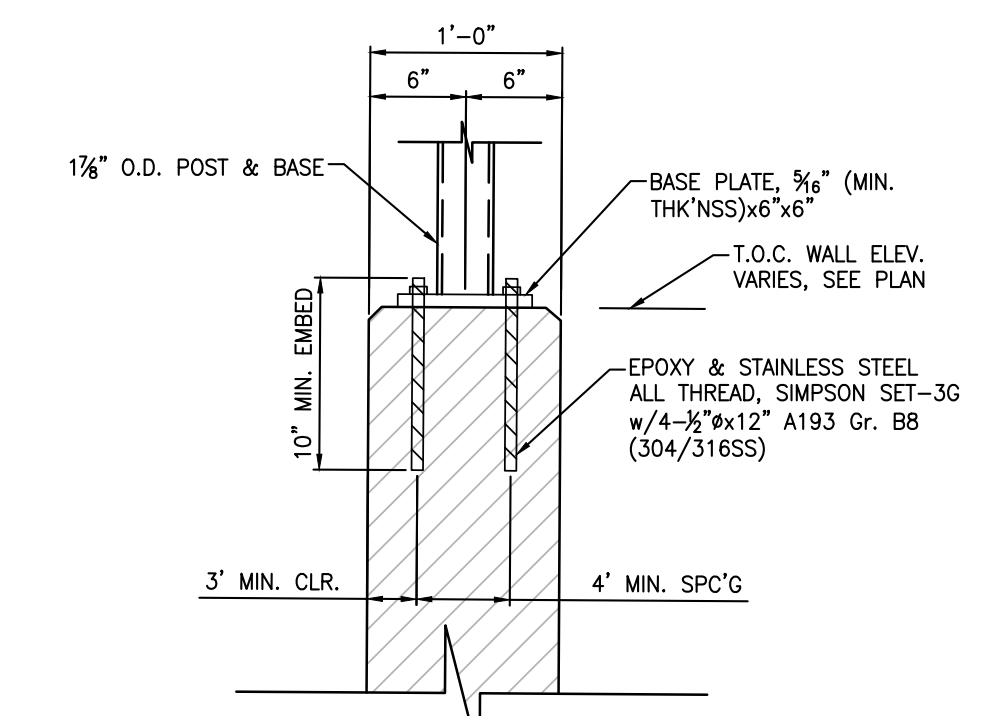


D PEDESTRIAN RAILING/HANDRAIL
SCALE: NTS

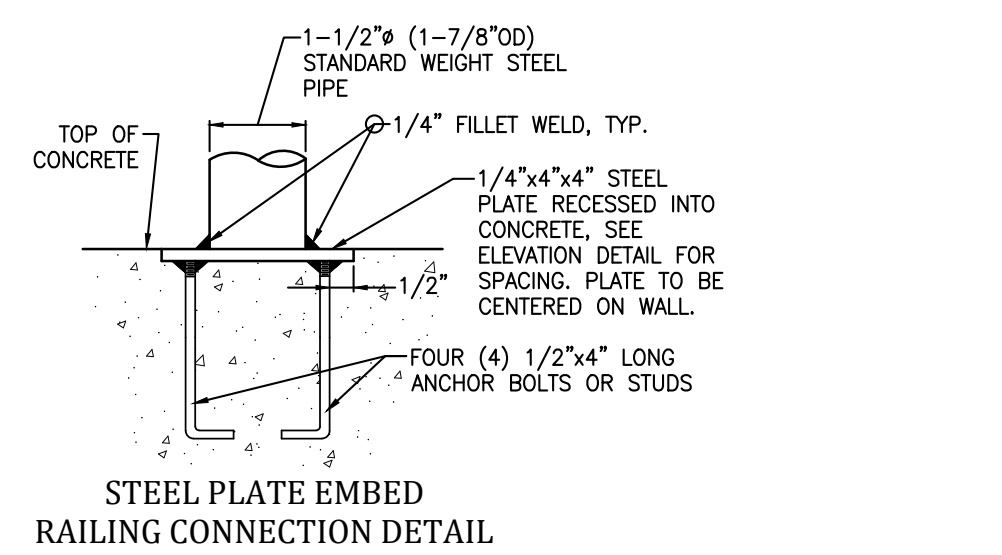
U.S. STANDARD SIEVE	PERCENT PASSING BY WEIGHT (TYPE II CDOT SECT. 703.09 CLASS A)
3 INCHES	90-100
3/4 INCHES	20-90
#4	0-20
#200	0-3

RIPRAP DESIGNATION	% SMALLER THAN GIVEN SIZE BY WEIGHT	INTERMEDIATE ROCK DIMENSION (INCHES)	d50* (INCHES)
TYPE VL	70-100	12	6**
	50-70	9	
	35-50	6	
TYPE L	70-100	15	9**
	50-70	12	
	35-50	9	
TYPE M	70-100	21	12**
	50-70	18	
	35-50	12	
TYPE H	100	30	18
	50-70	24	
	35-50	18	
TYPE VH	100	42	24
	50-70	33	
	35-50	24	

* d50=MEAN PARTICLE SIZE (INTERMEDIATE DIMENSION) BY WEIGHT.
** MIX VL, L AND M RIPRAP WITH 35% TOPSOIL (BY VOLUME) AND BURY WITH 4-6 INCHES OF TOPSOIL. ALL VIBRATION COMPACTED & REVEGETATE. (CLASSIFICATION AND GRADATION OF ORDINARY RIPRAP. UDFCD, DRAINAGE CRITERIA MANUAL, VOL. 1)

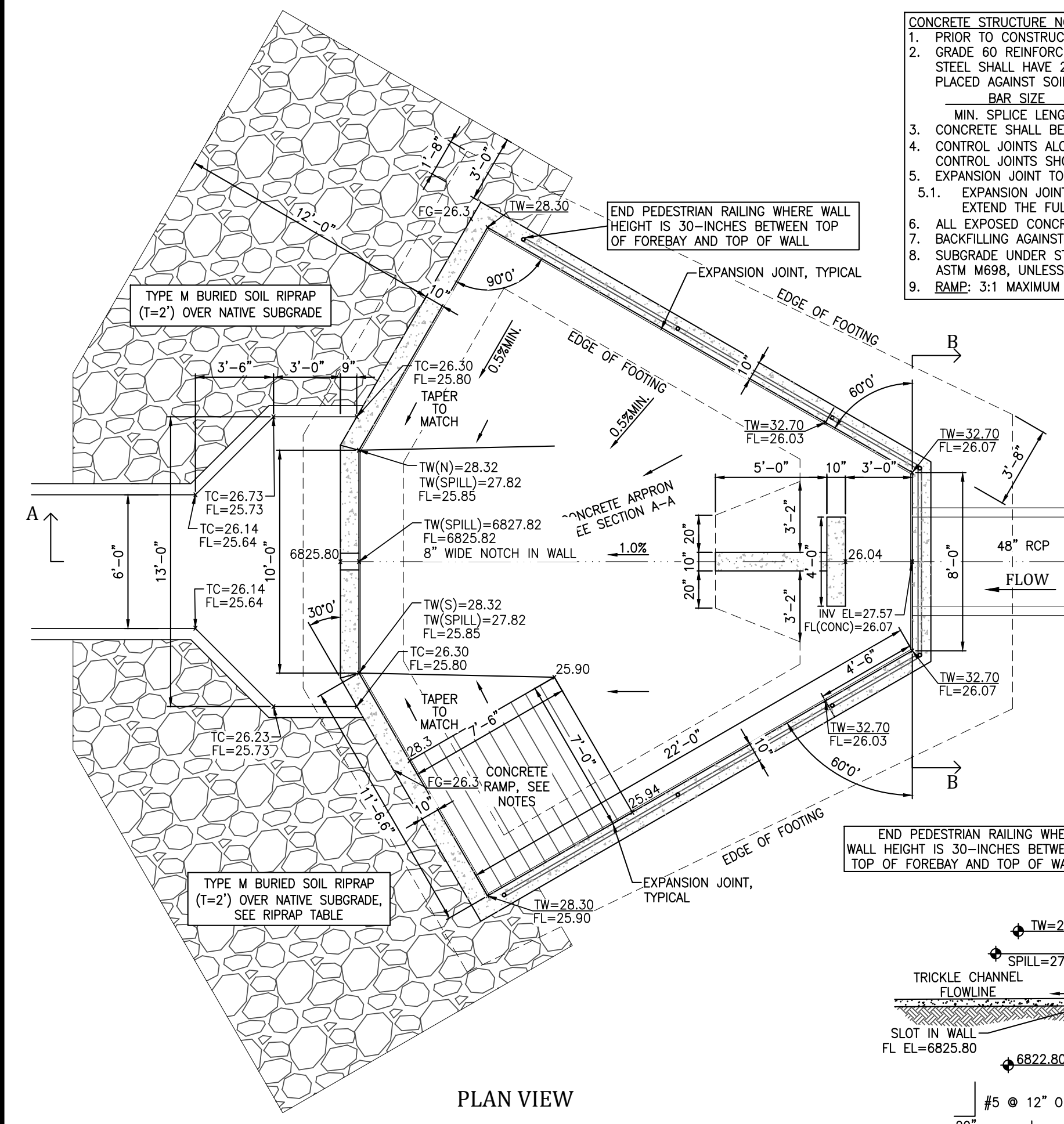


ALTERNATE CONNECTION DETAIL

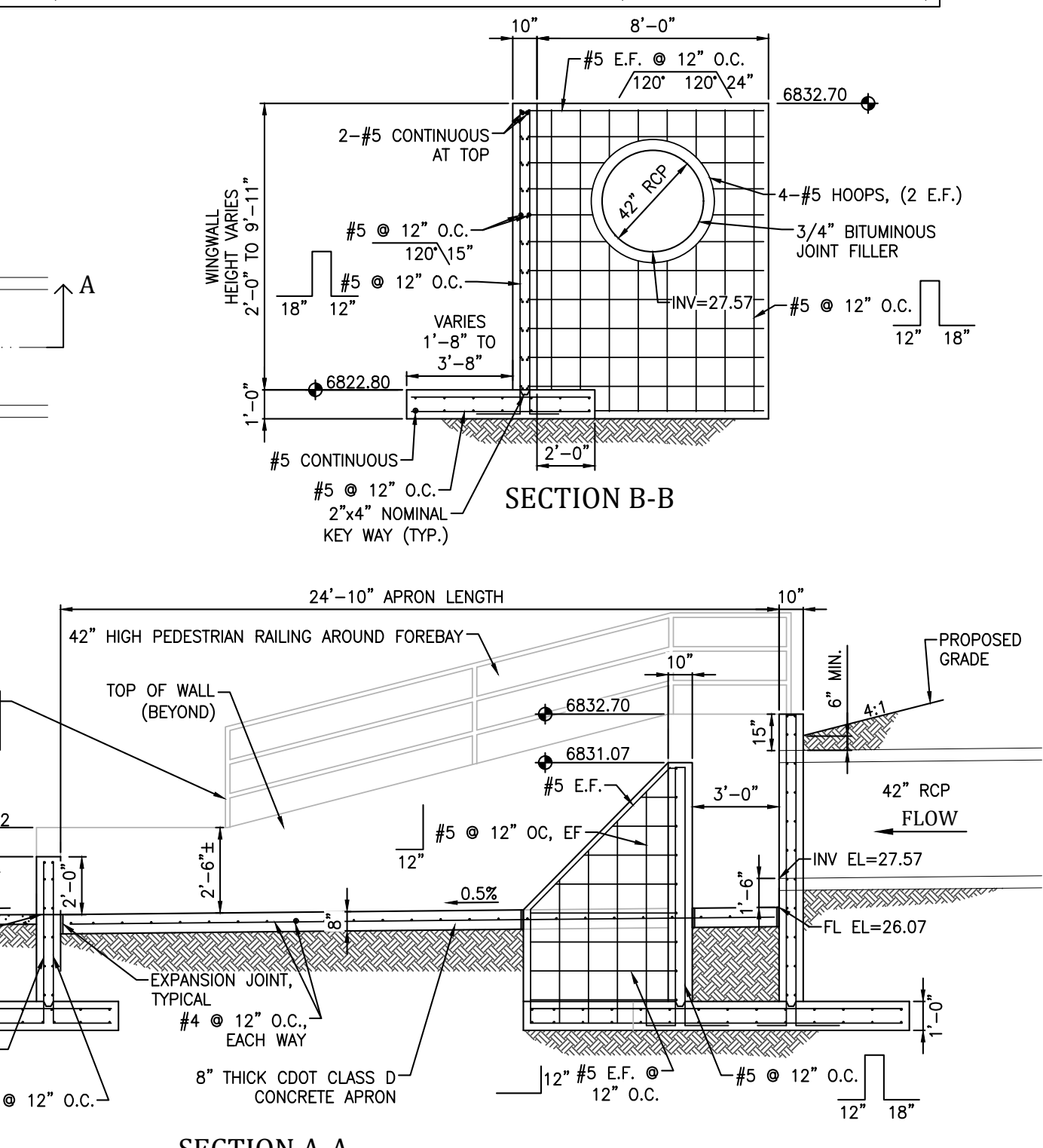


STEEL PLATE EMBED RAILING CONNECTION DETAIL

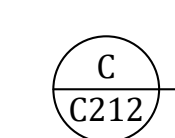
CONCRETE STRUCTURE NOTES:
1. PRIOR TO CONSTRUCTION, CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ALL COMPONENTS OF THE FOREBAY.
2. GRADE 60 REINFORCING STEEL REQUIRED. SEE TABLE FOR THE MINIMUM LAP SPLICE LENGTH FOR REINFORCING BARS. ALL REINFORCING STEEL SHALL HAVE 2-INCH MINIMUM CLEARANCE FROM EDGE OF CONCRETE AND 3-INCH MIN CLEARANCE TO EDGE OF CONCRETE PLACED AGAINST SOIL, UNLESS OTHERWISE NOTED.
3. CONCRETE SHALL BE CDOT CLASS D CONCRETE.
4. CONTROL JOINTS ALONG FLOOR SHALL BE INSTALLED AT 10' O.C. MAXIMUM. THE JOINTS SHALL BE SEALED WITH A JOINT SEALANT. CONTROL JOINTS SHOULD SEPARATE CONCRETE INTO PANELS AS RECOMMENDED BY ACI.
5. EXPANSION JOINT TO BE PLACED BETWEEN WALL SECTIONS AND FOREBAY SLAB.
5.1. EXPANSION JOINT MATERIAL SHALL MEET AASHTO SPECIFICATION M-213. EXPANSION JOINT MATERIAL SHALL BE 1/2" THICK, SHALL EXTEND THE FULL DEPTH OF CONTACT SURFACE AND THE JOINT SHALL BE SEALED, REFER TO DETAILS.
6. ALL EXPOSED CONCRETE CORNERS SHALL HAVE A 3/4-INCH CHAMFER UNLESS OTHERWISE NOTED.
7. BACKFILLING AGAINST WALLS SHALL NOT COMMENCE UNTIL CONCRETE HAS OBTAINED ITS FULL SEVEN DAY STRENGTH.
8. SUBGRADE UNDER STRUCTURES TO BE SCARIFIED TO A DEPTH OF 12" THK AND COMPACTED TO 95% STANDARD PROCTOR DENSITY PER ASTM M698, UNLESS OTHERWISE REQUIRED BY GEOTECHNICAL ENGINEER.
9. RAMP: 3:1 MAXIMUM SLOPE. 3/8" DEEP GROOVES IN RAMP AT 9' O.C., BROOM FINISH CONCRETE (ROUGH FINISH TO IMPROVE TRACTION)



PLAN VIEW



C FOREBAY DETAIL
SCALE: NTS



GENERAL NOTES:

REVISIONS:

NO.	DATE	INITIALS	NOTES
1			
2			
3			
4			
5			
6			
7			
8			

PROFESSIONAL SEAL:

Kiowa
Engineering Corporation
5951 Middlefield Road, Suite 200
Livermore, CA 94551
(925) 692-0369

AMERCO
REAL ESTATE COMPANY

CONSTRUCTION DEPARTMENT
2727 NORTH CENTRAL AVENUE
PHOENIX, ARIZONA 85004
P: (602) 263-6502
F: (602) 277-1026

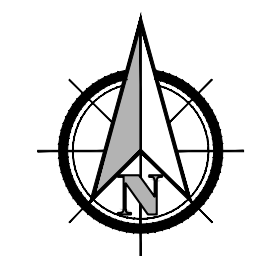
SITE ADDRESS:
U-HAUL at Falcon
Rolling Thunder Way
Falcon, CO 80831

866077

DRAWN: JRD
CHECKED: MWE
DATE: 6/9/23

PCD File #
PPR-22-56 & SF-22-40

© COPYRIGHT AMERCO REAL ESTATE COMPANY



Know what's below.
Call before you dig.

LEGEND	
[Symbol]	PROPOSED BUILDING
[Symbol]	PROPERTY OR ROW LINE
[Symbol]	EXISTING EASEMENT
[Symbol]	PROPOSED EASEMENT
[Symbol]	CURB & GUTTER
[Symbol]	EXISTING WATER LINE
[Symbol]	EXISTING SANITARY SEWER
[Symbol]	EXISTING STORM SEWER
[Symbol]	EXISTING UNDERGROUND ELECTRIC LINE
[Symbol]	EXISTING UNDERGROUND TELEPHONE LINE
[Symbol]	EXISTING GAS LINE
[Symbol]	EXISTING 100 YEAR FLOODPLAIN
[Symbol]	EXISTING STREET LIGHT
[Symbol]	EXISTING CONTOURS
[Symbol]	PROPOSED CONTOURS
[Symbol]	EXISTING SPOT ELEVATION
[Symbol]	APPROXIMATE EXISTING SPOT ELEVATION, ELEVATION TO BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
[Symbol]	PROPOSED SPOT ELEVATION
[Symbol]	EXISTING FLOW DIRECTION AND SLOPE
[Symbol]	PROPOSED FLOW DIRECTION AND SLOPE
[Symbol]	PROPOSED SLOPE
[Symbol]	APPROXIMATE LIMIT OF DISTURBANCE
[Symbol]	PROPOSED STORM SEWER PIPE AND MANHOLE
[Symbol]	PROPOSED STORM SEWER PIPE AND MANHOLE
[Symbol]	PROPOSED SINGLE STORM GRATED INLET
[Symbol]	PROPOSED TYPE C GRATED INLET
[Symbol]	PROPOSED STORM CURB INLET
[Symbol]	PROPOSED STORM SEWER FLARED END SECTION

BENCHMARK: USGS MONUMENT E-24. ELEVATION=6902.30 (NAVD88)

MATCHLINE - SEE SHT C302

MATCHLINE - SEE SHT C302

GENERAL NOTES:

REVISIONS:

NO.	DATE	INITIALS	NOTES
1			
2			
3			
4			
5			
6			
7			
8			

PROFESSIONAL SEAL:

Kiowa
Engineering Corporation
5951 Middlefield Road, Suite 200
Livermore, CA 94551
(925) 892-0369

AMERCO
REAL ESTATE COMPANY

CONSTRUCTION DEPARTMENT
2727 NORTH CENTRAL AVENUE
PHOENIX, ARIZONA 85004
P: (602) 263-6502
F: (602) 277-1026

SITE ADDRESS:
U-HAUL at Falcon
Rolling Thunder Way
Falcon, CO 80831

SHEET CONTENTS:
GRADING PLAN

866077

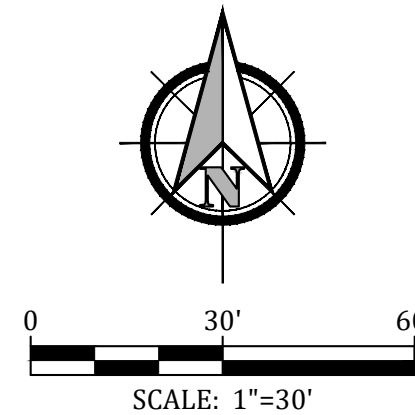
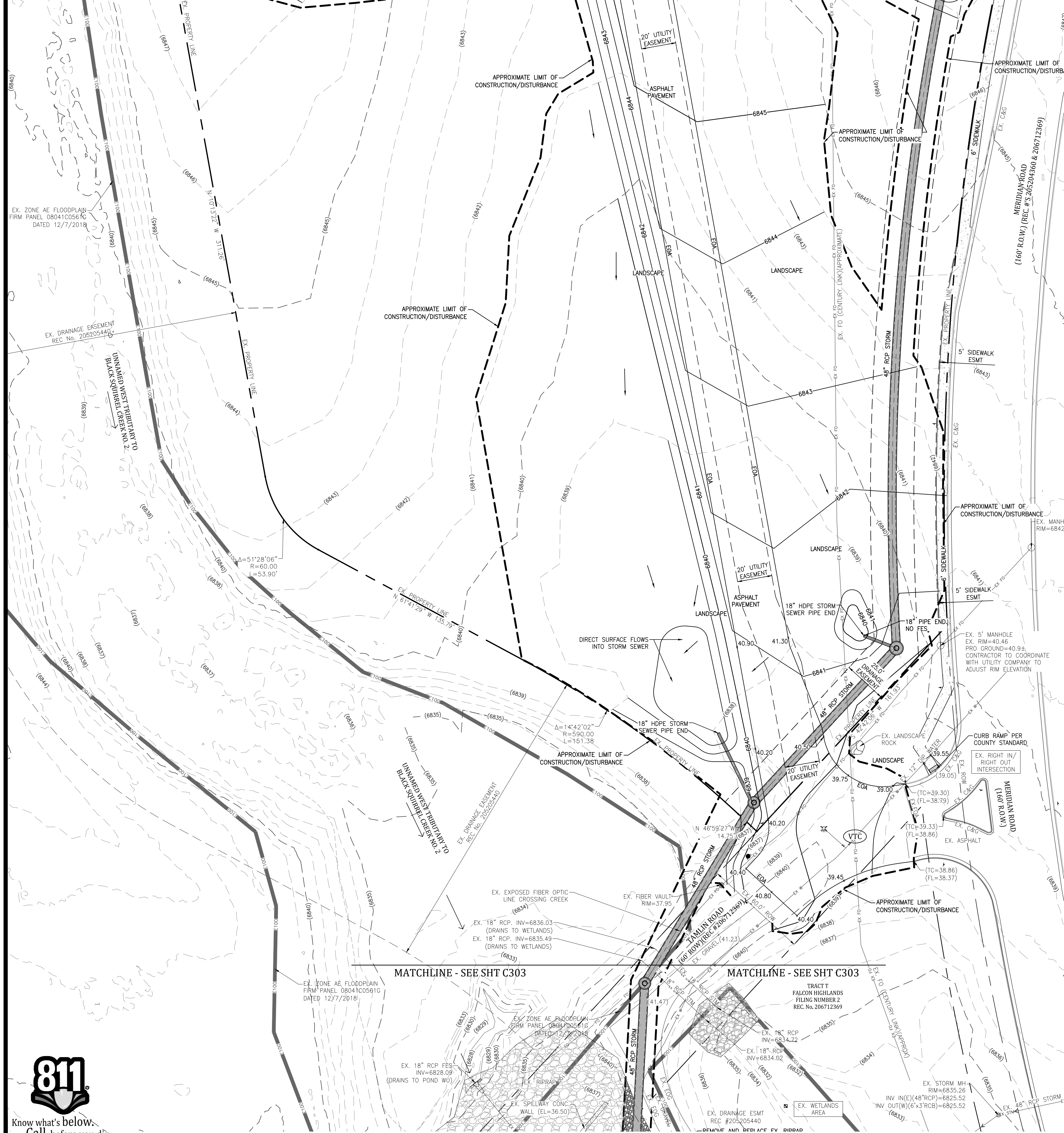
DRAWN: JRD
CHECKED: MWE
DATE: 6/9/23

PCD File #
PPR-22-56 & SF-22-40

© COPYRIGHT AMERCO REAL ESTATE COMPANY

MATCHLINE - SEE SHT C301

MATCHLINE - SEE SHT C301



GENERAL NOTES:

REVISIONS:

NO.	DATE	INITIALS	NOTES
1			
2			
3			
4			
5			
6			
7			
8			

PROFESSIONAL SEAL:

Kiowa
Engineering Corporation
5951 Middlefield Road, Suite 200
Liberty, CO 80130
(303) 692-0369

AMERCO
REAL ESTATE COMPANY

CONSTRUCTION DEPARTMENT
2727 NORTH CENTRAL AVENUE
PHOENIX, ARIZONA 85004
P: (602) 263-6502
F: (602) 277-1026

SITE ADDRESS:
U-HAUL at Falcon
Rolling Thunder Way
Falcon, CO 80831

SHEET CONTENTS:
GRADING PLAN

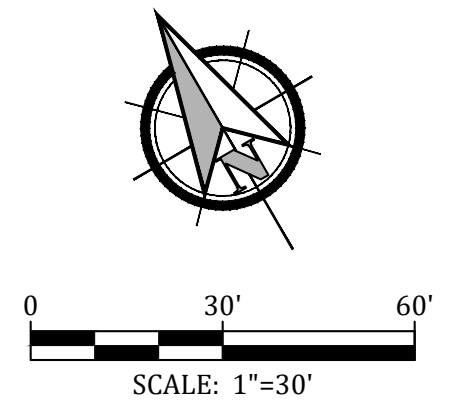
866077

DRAWN:	JRD	C302
CHECKED:	MWE	
DATE:	6/9/23	

PCD File #
PPR-22-56 & SF-22-40



© COPYRIGHT AMERCO REAL ESTATE COMPANY



GENERAL NOTES:

REVISIONS:

NO.	DATE	INITIALS	NOTES
1			
2			
3			
4			
5			
6			
7			
8			

PROFESSIONAL SEAL:

Kiowa
Engineering Corporation
5951 Middlefield Road, Suite 200
Lafayette, CA 94503
(925) 692-0369

AMERCO
REAL ESTATE COMPANY

CONSTRUCTION DEPARTMENT
2727 NORTH CENTRAL AVENUE
PHOENIX, ARIZONA 85004
P: (602) 263-6502
F: (602) 277-1026

SITE ADDRESS:
U-HAUL at Falcon
Rolling Thunder Way
Falcon, CO 80831

SHEET CONTENTS:
GRADING PLAN

866077

DRAWN:	JRD	C303
CHECKED:	MWE	
DATE:	6/9/23	

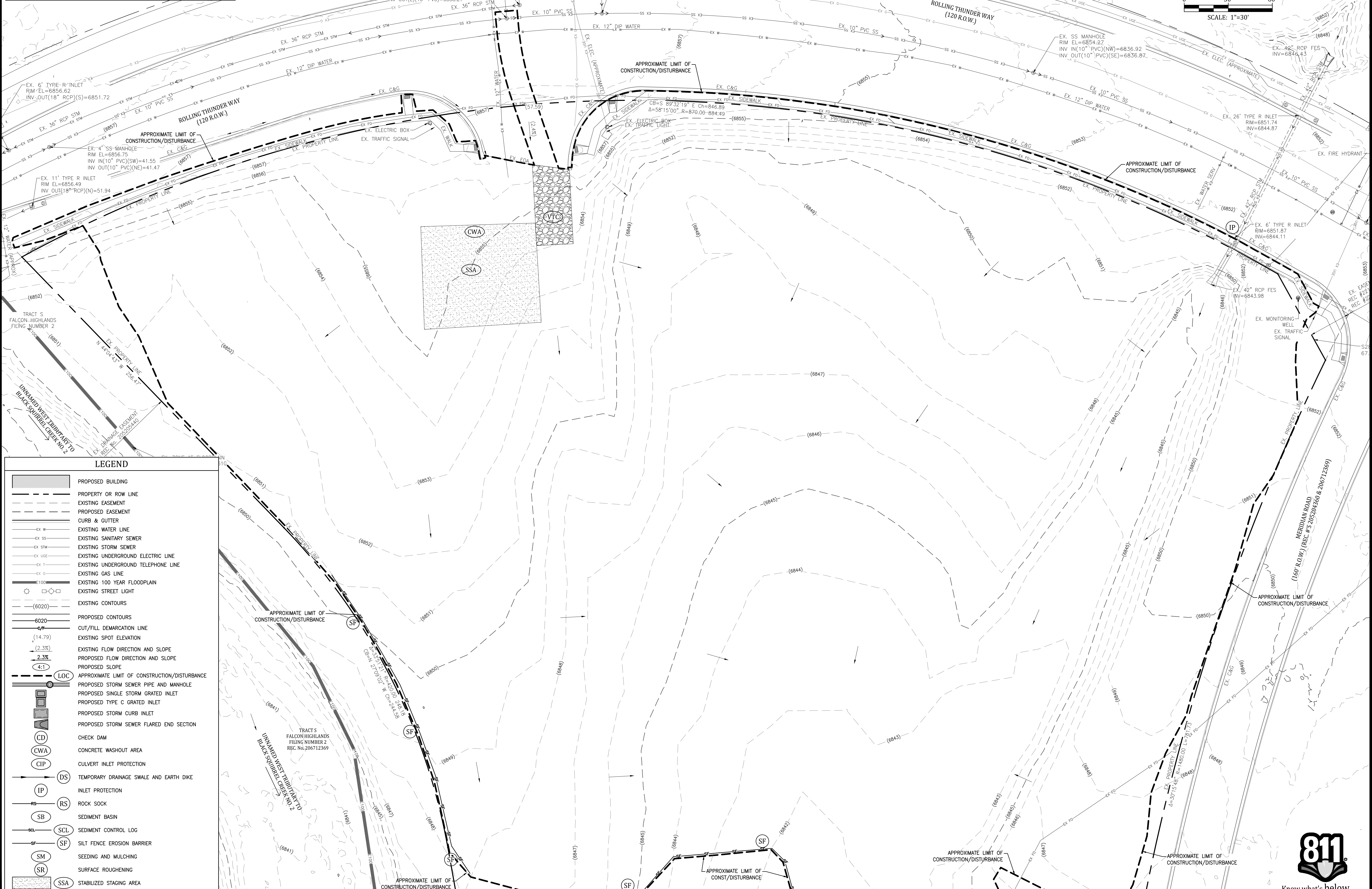
PCD File #
PPR-22-56 & SF-22-40

811
Know what's below.
Call before you dig.

© COPYRIGHT AMERCO REAL ESTATE COMPANY

EROSION CONTROL NOTES:

1. REFER TO THE COVER SHEET FOR EROSION CONTROL NOTES AND GRADING NOTES AND LEGEND.
2. THE TIMING FOR THE INSTALLATION OF THE CONTROL MEASURE IS EITHER INITIAL (PRIOR TO EARTHMOVING ACTIVITIES OCCURRING), INTERIM (AFTER INSTALLATION OF THE PROPOSED FACILITY IT WILL BE INSTALLED ALONG OR DOWNSTREAM OF) AND FINAL (AT THE END OF CONSTRUCTION).
3. EROSION CONTROL MEASURES INSTALLED IN INITIAL OR INTERIM PHASE, SHALL BE LEFT IN PLACE UNTIL AREA TRIBUTARY TO BMP IS STABILIZED.
4. CONTRACTOR TO REDLINE PLAN IF BMP LOCATIONS ARE DIFFERENT THAN SHOWN ON THE PLAN. COUNTY INSPECTOR SHALL APPROVE REDLINES.



LEGEND

[Symbol]	PROPOSED BUILDING
[Symbol]	PROPERTY OR ROW LINE
[Symbol]	EXISTING EASEMENT
[Symbol]	PROPOSED EASEMENT
[Symbol]	CURB & GUTTER
[Symbol]	EXISTING WATER LINE
[Symbol]	EXISTING SANITARY SEWER
[Symbol]	EXISTING STORM SEWER
[Symbol]	EXISTING UNDERGROUND ELECTRIC LINE
[Symbol]	EXISTING UNDERGROUND TELEPHONE LINE
[Symbol]	EXISTING GAS LINE
[Symbol]	EXISTING 100 YEAR FLOODPLAIN
[Symbol]	EXISTING STREET LIGHT
[Symbol]	EXISTING CONTOURS
[Symbol]	PROPOSED CONTOURS
[Symbol]	CUT/FILL DEMARCATION LINE
[Symbol]	EXISTING SPOT ELEVATION
[Symbol]	EXISTING FLOW DIRECTION AND SLOPE
[Symbol]	PROPOSED FLOW DIRECTION AND SLOPE
[Symbol]	PROPOSED SLOPE
[Symbol]	APPROXIMATE LIMIT OF CONSTRUCTION/DISTURBANCE
[Symbol]	PROPOSED STORM SEWER PIPE AND MANHOLE
[Symbol]	PROPOSED SINGLE STORM GRATED INLET
[Symbol]	PROPOSED TYPE C GRATED INLET
[Symbol]	PROPOSED STORM CURB INLET
[Symbol]	PROPOSED STORM SEWER FLARED END SECTION
[Symbol]	CHECK DAM
[Symbol]	CONCRETE WASHOUT AREA
[Symbol]	CULVERT INLET PROTECTION
[Symbol]	TEMPORARY DRAINAGE SWALE AND EARTH DIKE
[Symbol]	INLET PROTECTION
[Symbol]	ROCK SOCK
[Symbol]	SEDIMENT BASIN
[Symbol]	SEDIMENT CONTROL LOG
[Symbol]	SILT FENCE EROSION BARRIER
[Symbol]	SEEDING AND MULCHING
[Symbol]	SURFACE ROUGHENING
[Symbol]	STABILIZED STAGING AREA
[Symbol]	VEHICLE TRACKING CONTROL

GENERAL NOTES:

REVISIONS:

NO.	DATE	INITIALS	NOTES
1			
2			
3			
4			
5			
6			
7			
8			

PROFESSIONAL SEAL:

AMERCO REAL ESTATE COMPANY

CONSTRUCTION DEPARTMENT
2727 NORTH CENTRAL AVENUE
PHOENIX, ARIZONA 85004
P: (602) 263-6502
F: (602) 277-1026

SITE ADDRESS:
U-HAUL at Falcon
Rolling Thunder Way
Falcon, CO 80831

SHEET CONTENTS:
GRADING AND EC PLAN
- INITIAL

866077

DRAWN: JRD
CHECKED: MWE
DATE: 6/9/23

PCD File #
PPR-22-56 & SF-22-40



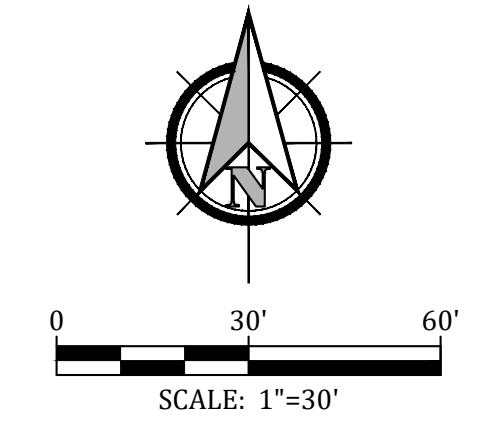
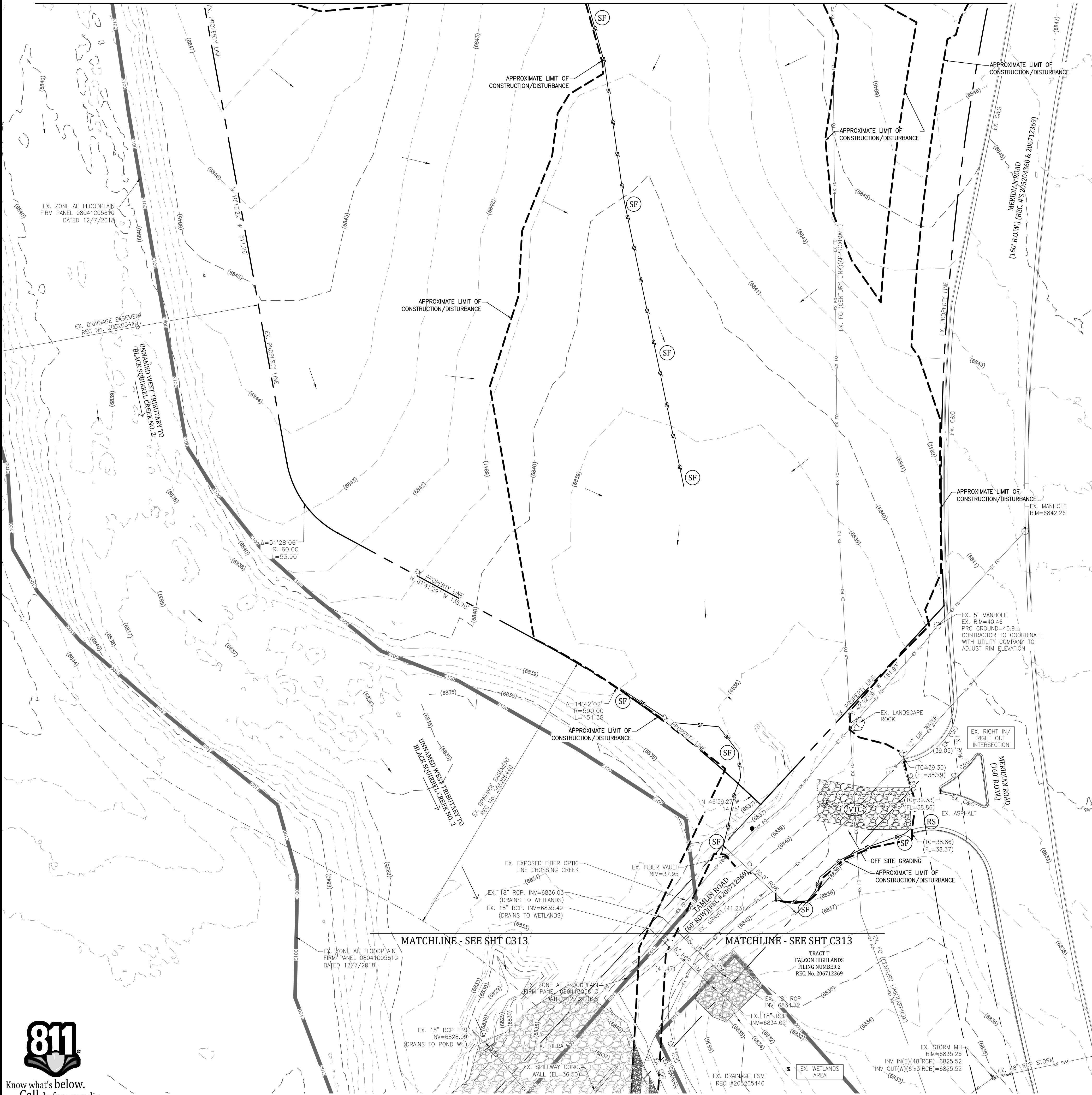
MATCHLINE - SEE SHT C312

MATCHLINE - SEE SHT C312

© COPYRIGHT AMERCO REAL ESTATE COMPANY

MATCHLINE - SEE SHT C311

MATCHLINE - SEE SHT C311



LEGEND	
[Symbol]	PROPOSED BUILDING
[Symbol]	PROPERTY OR ROW LINE
[Symbol]	EXISTING EASEMENT
[Symbol]	PROPOSED EASEMENT
[Symbol]	CURB & GUTTER
[Symbol]	EXISTING WATER LINE
[Symbol]	EXISTING SANITARY SEWER
[Symbol]	EXISTING STORM SEWER
[Symbol]	EXISTING UNDERGROUND ELECTRIC LINE
[Symbol]	EXISTING UNDERGROUND TELEPHONE LINE
[Symbol]	EXISTING GAS LINE
[Symbol]	EXISTING 100 YEAR FLOODPLAIN
[Symbol]	EXISTING STREET LIGHT
[Symbol]	EXISTING CONTOURS
[Symbol]	PROPOSED CONTOURS
[Symbol]	CUT/FILL DEMARCATION LINE
[Symbol]	EXISTING SPOT ELEVATION
[Symbol]	EXISTING FLOW DIRECTION AND SLOPE
[Symbol]	PROPOSED FLOW DIRECTION AND SLOPE
[Symbol]	PROPOSED SLOPE
[Symbol]	APPROXIMATE LIMIT OF CONSTRUCTION/DISTURBANCE
[Symbol]	PROPOSED STORM SEWER PIPE AND MANHOLE
[Symbol]	PROPOSED SINGLE STORM GRATED INLET
[Symbol]	PROPOSED TYPE C GRATED INLET
[Symbol]	PROPOSED STORM CURB INLET
[Symbol]	PROPOSED STORM SEWER FLARED END SECTION
[Symbol]	CHECK DAM
[Symbol]	CONCRETE WASHOUT AREA
[Symbol]	CULVERT INLET PROTECTION
[Symbol]	TEMPORARY DRAINAGE SWALE AND EARTH DIKE
[Symbol]	INLET PROTECTION
[Symbol]	ROCK SOCK
[Symbol]	SEDIMENT BASIN
[Symbol]	SEDIMENT CONTROL LOG
[Symbol]	SILT FENCE EROSION BARRIER
[Symbol]	SEEDING AND MULCHING
[Symbol]	SURFACE ROUGHENING
[Symbol]	STABILIZED STAGING AREA
[Symbol]	VEHICLE TRACKING CONTROL

EROSION CONTROL NOTES:

- REFER TO THE COVER SHEET FOR EROSION CONTROL NOTES AND GRADING NOTES AND LEGEND.
- THE TIMING FOR THE INSTALLATION OF THE CONTROL MEASURE IS EITHER INITIAL (PRIOR TO EARTHMOVING ACTIVITIES OCCURRING), INTERIM (AFTER INSTALLATION OF THE PROPOSED FACILITY IT WILL BE INSTALLED ALONG OR DOWNSTREAM OF) AND FINAL (AT THE END OF CONSTRUCTION).
- EROSION CONTROL MEASURES INSTALLED IN INITIAL OR INTERIM PHASE, SHALL BE LEFT IN PLACE UNTIL AREA TRIBUTARY TO BMP IS STABILIZED.
- CONTRACTOR TO REDLINE PLAN IF BMP LOCATIONS ARE DIFFERENT THAN SHOWN ON THE PLAN. COUNTY INSPECTOR SHALL APPROVE REDLINES.

GENERAL NOTES:

REVISIONS:

NO.	DATE	INITIALS	NOTES
1			
2			
3			
4			
5			
6			
7			
8			

PROFESSIONAL SEAL:



AMERCO
REAL ESTATE COMPANY

CONSTRUCTION DEPARTMENT
2727 NORTH CENTRAL AVENUE
PHOENIX, ARIZONA 85004

P: (602) 263-6502
F: (602) 277-1026

SITE ADDRESS:
U-HAUL at Falcon
Rolling Thunder Way
Falcon, CO 80831

SHEET CONTENTS:
GRADING AND EC PLAN
- INITIAL

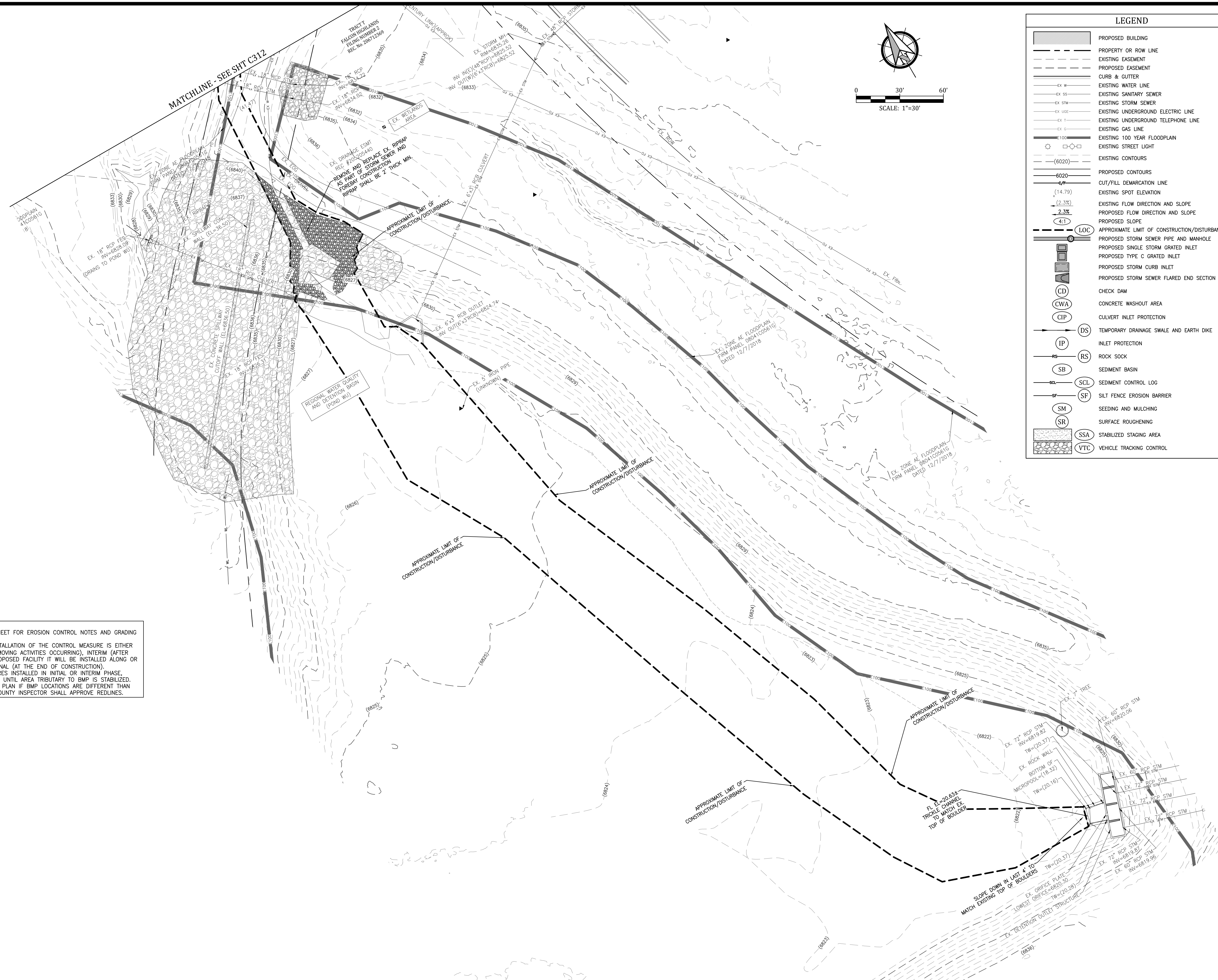
866077

DRAWN:	JRD	C312
CHECKED:	MWE	
DATE:	6/9/23	

PCD File #
PPR-22-56 & SF-22-40



© COPYRIGHT AMERCO REAL ESTATE COMPANY



LEGEND

[Symbol]	PROPOSED BUILDING
[Symbol]	PROPERTY OR ROW LINE
[Symbol]	EXISTING EASEMENT
[Symbol]	PROPOSED EASEMENT
[Symbol]	CURB & GUTTER
[Symbol]	EXISTING WATER LINE
[Symbol]	EXISTING SANITARY SEWER
[Symbol]	EXISTING STORM SEWER
[Symbol]	EXISTING UNDERGROUND ELECTRIC LINE
[Symbol]	EXISTING UNDERGROUND TELEPHONE LINE
[Symbol]	EXISTING GAS LINE
[Symbol]	EXISTING 100 YEAR FLOODPLAIN
[Symbol]	EXISTING STREET LIGHT
[Symbol]	EXISTING CONTOURS
[Symbol]	PROPOSED CONTOURS
[Symbol]	CUT/FILL DEMARCATION LINE
[Symbol]	EXISTING SPOT ELEVATION
[Symbol]	EXISTING FLOW DIRECTION AND SLOPE
[Symbol]	PROPOSED FLOW DIRECTION AND SLOPE
[Symbol]	PROPOSED SLOPE
[Symbol]	APPROXIMATE LIMIT OF CONSTRUCTION/DISTURBANCE
[Symbol]	PROPOSED STORM SEWER PIPE AND MANHOLE
[Symbol]	PROPOSED SINGLE STORM GRATED INLET
[Symbol]	PROPOSED TYPE C GRATED INLET
[Symbol]	PROPOSED STORM CURB INLET
[Symbol]	PROPOSED STORM SEWER FLARED END SECTION
[Symbol]	CHECK DAM
[Symbol]	CONCRETE WASHOUT AREA
[Symbol]	CULVERT INLET PROTECTION
[Symbol]	TEMPORARY DRAINAGE SWALE AND EARTH DIKE
[Symbol]	INLET PROTECTION
[Symbol]	ROCK SOCK
[Symbol]	SEDIMENT BASIN
[Symbol]	SEDIMENT CONTROL LOG
[Symbol]	SILT FENCE EROSION BARRIER
[Symbol]	SEEDING AND MULCHING
[Symbol]	SURFACE ROUGHENING
[Symbol]	STABILIZED STAGING AREA
[Symbol]	VEHICLE TRACKING CONTROL

EROSION CONTROL NOTES:
 1. REFER TO THE COVER SHEET FOR EROSION CONTROL NOTES AND GRADING NOTES AND LEGEND.
 2. THE TIMING FOR THE INSTALLATION OF THE CONTROL MEASURE IS EITHER INITIAL (PRIOR TO EARTH-MOVING ACTIVITIES OCCURRING), INTERIM (AFTER INSTALLATION OF THE PROPOSED FACILITY IT WILL BE INSTALLED ALONG OR DOWNSTREAM OF) AND FINAL (AT THE END OF CONSTRUCTION).
 3. EROSION CONTROL MEASURES INSTALLED IN INITIAL OR INTERIM PHASE, SHALL BE LEFT IN PLACE UNTIL AREA TRIBUTARY TO BMP IS STABILIZED.
 4. CONTRACTOR TO REDLINE PLAN IF BMP LOCATIONS ARE DIFFERENT THAN SHOWN ON THE PLAN. COUNTY INSPECTOR SHALL APPROVE REDLINES.

GENERAL NOTES:

REVISIONS:

NO.	DATE	INITIALS	NOTES
1			
2			
3			
4			
5			
6			
7			
8			

PROFESSIONAL SEAL:

Kiowa
 Engineering Corporation
 5951 Middlefield Road, Suite 200
 Lubbock, TX 79424
 (803) 692-0369

AMERCO
 REAL ESTATE COMPANY

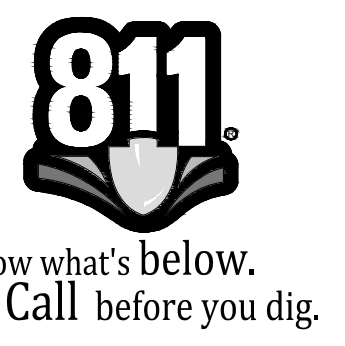
CONSTRUCTION DEPARTMENT
 2727 NORTH CENTRAL AVENUE
 PHOENIX, ARIZONA 85004
 P: (602) 263-6502
 F: (602) 277-1026

SITE ADDRESS:
 U-HAUL at Falcon
 Rolling Thunder Way
 Falcon, CO 80831

866077

DRAWN: JRD
 CHECKED: MWE
 DATE: 6/9/23

PCD File #
 PPR-22-56 & SF-22-40



© COPYRIGHT AMERCO REAL ESTATE COMPANY

EROSION CONTROL NOTES:

1. REFER TO THE COVER SHEET FOR EROSION CONTROL NOTES AND GRADING NOTES AND LEGEND.
2. THE TIMING FOR THE INSTALLATION OF THE CONTROL MEASURE IS EITHER INITIAL (PRIOR TO EARTHMOVING ACTIVITIES OCCURRING), INTERIM (AFTER INSTALLATION OF THE PROPOSED FACILITY IT WILL BE INSTALLED ALONG OR DOWNSTREAM OF) AND FINAL (AT THE END OF CONSTRUCTION).
3. EROSION CONTROL MEASURES INSTALLED IN INITIAL OR INTERIM PHASE, SHALL BE LEFT IN PLACE UNTIL AREA TRIBUTARY TO BMP IS STABILIZED.
4. CONTRACTOR TO REDLINE PLAN IF BMP LOCATIONS ARE DIFFERENT THAN SHOWN ON THE PLAN. COUNTY INSPECTOR SHALL APPROVE REDLINES.

BENCHMARK: USGS MONUMENT E-24. ELEVATION=6902.30 (NAVD88)



LEGEND

[Symbol]	PROPOSED BUILDING
[Symbol]	PROPERTY OR ROW LINE
[Symbol]	EXISTING EASEMENT
[Symbol]	PROPOSED EASEMENT
[Symbol]	CURB & GUTTER
[Symbol]	EXISTING WATER LINE
[Symbol]	EXISTING SANITARY SEWER
[Symbol]	EXISTING STORM SEWER
[Symbol]	EXISTING UNDERGROUND ELECTRIC LINE
[Symbol]	EXISTING UNDERGROUND TELEPHONE LINE
[Symbol]	EXISTING GAS LINE
[Symbol]	EXISTING 100 YEAR FLOODPLAIN
[Symbol]	EXISTING STREET LIGHT
[Symbol]	EXISTING CONTOURS
[Symbol]	PROPOSED CONTOURS
[Symbol]	CUT/FILL DEMARCATION LINE
[Symbol]	EXISTING SPOT ELEVATION
[Symbol]	EXISTING FLOW DIRECTION AND SLOPE
[Symbol]	PROPOSED FLOW DIRECTION AND SLOPE
[Symbol]	PROPOSED SLOPE
[Symbol]	APPROXIMATE LIMIT OF CONSTRUCTION/DISTURBANCE
[Symbol]	PROPOSED STORM SEWER PIPE AND MANHOLE
[Symbol]	PROPOSED SINGLE STORM GRATED INLET
[Symbol]	PROPOSED TYPE C GRATED INLET
[Symbol]	PROPOSED STORM CURB INLET
[Symbol]	PROPOSED STORM SEWER FLARED END SECTION
[Symbol]	CHECK DAM
[Symbol]	CONCRETE WASHOUT AREA
[Symbol]	CULVERT INLET PROTECTION
[Symbol]	TEMPORARY DRAINAGE SWALE AND EARTH DIKE
[Symbol]	INLET PROTECTION
[Symbol]	ROCK SOCK
[Symbol]	SEDIMENT BASIN
[Symbol]	SEDIMENT CONTROL LOG
[Symbol]	SILT FENCE EROSION BARRIER
[Symbol]	SEEDING AND MULCHING
[Symbol]	SURFACE ROUGHENING
[Symbol]	STABILIZED STAGING AREA
[Symbol]	VEHICLE TRACKING CONTROL

MATCHLINE - SEE SHT C315

MATCHLINE - SEE SHT C315

GENERAL NOTES:

REVISIONS:

NO.	DATE	INITIALS	NOTES
1			
2			
3			
4			
5			
6			
7			
8			

PROFESSIONAL SEAL:



AMERCO
REAL ESTATE COMPANY

CONSTRUCTION DEPARTMENT
2727 NORTH CENTRAL AVENUE
PHOENIX, ARIZONA 85004

P: (602) 263-6502
F: (602) 277-1026

SITE ADDRESS:
U-HAUL at Falcon
Rolling Thunder Way
Falcon, CO 80831

SHEET CONTENTS:
GRADING AND EC PLAN
- INTERIM

866077

DRAWN: JRD
CHECKED: MWE
DATE: 6/9/23

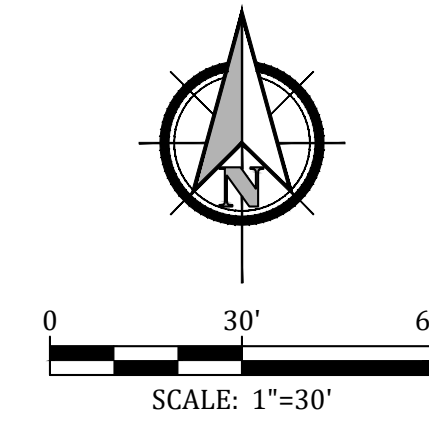
PCD File #
PPR-22-56 & SF-22-40



© COPYRIGHT AMERCO REAL ESTATE COMPANY

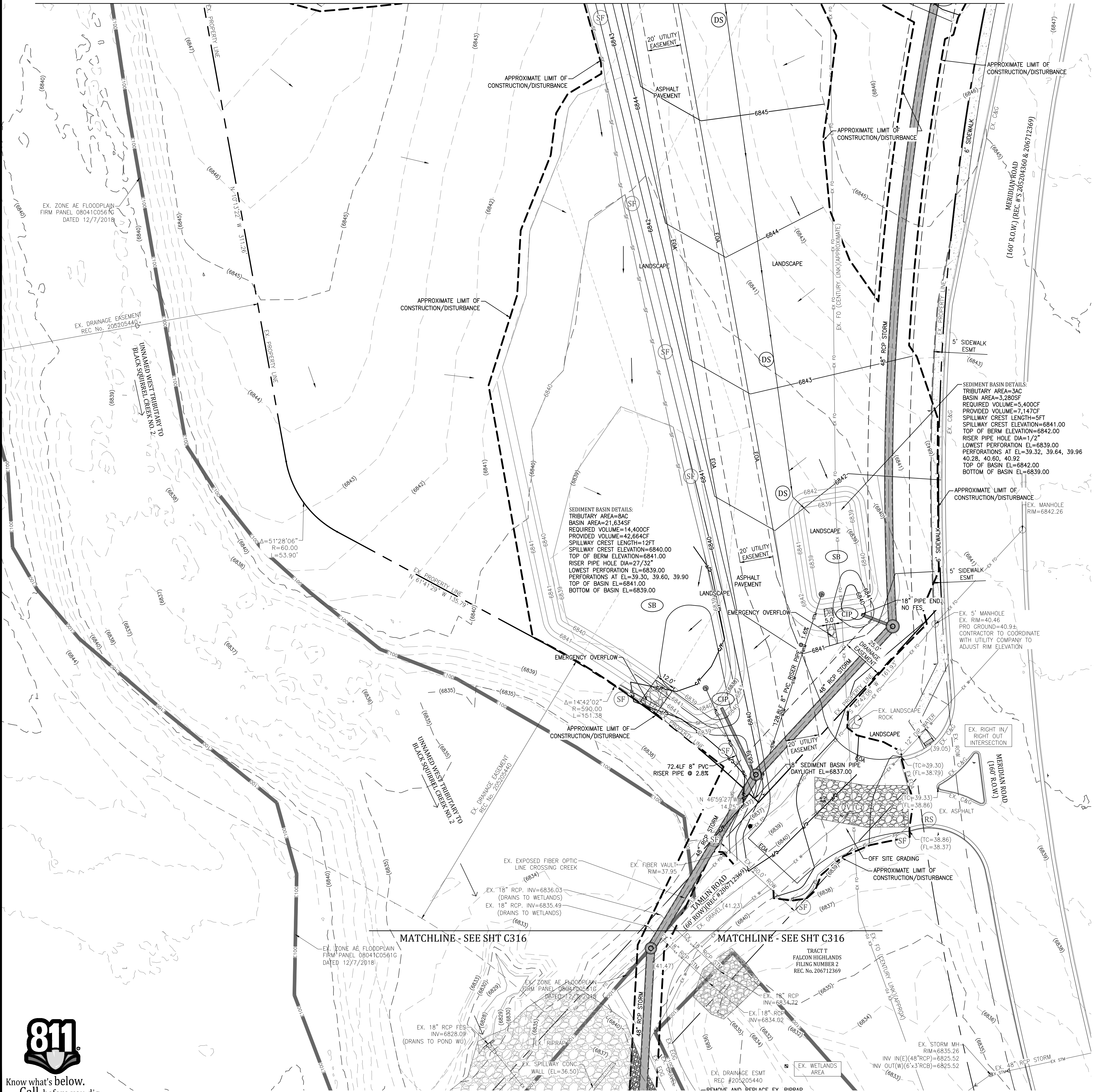
MATCHLINE - SEE SHT C314

MATCHLINE - SEE SHT C314



LEGEND	
	PROPOSED BUILDING
	PROPERTY OR ROW LINE
	EXISTING EASEMENT
	PROPOSED EASEMENT
	CURB & GUTTER
	EXISTING WATER LINE
	EXISTING SANITARY SEWER
	EXISTING STORM SEWER
	EXISTING UNDERGROUND ELECTRIC LINE
	EXISTING UNDERGROUND TELEPHONE LINE
	EXISTING GAS LINE
	EXISTING 100 YEAR FLOODPLAIN
	EXISTING STREET LIGHT
	EXISTING CONTOURS
	PROPOSED CONTOURS
	CUT/FILL DEMARCATION LINE
	EXISTING SPOT ELEVATION
	EXISTING FLOW DIRECTION AND SLOPE
	PROPOSED FLOW DIRECTION AND SLOPE
	PROPOSED SLOPE
	APPROXIMATE LIMIT OF CONSTRUCTION/DISTURBANCE
	PROPOSED STORM SEWER PIPE AND MANHOLE
	PROPOSED SINGLE STORM GRATED INLET
	PROPOSED TYPE C GRATED INLET
	PROPOSED STORM CURB INLET
	PROPOSED STORM SEWER FLARED END SECTION
	CHECK DAM
	CONCRETE WASHOUT AREA
	CULVERT INLET PROTECTION
	TEMPORARY DRAINAGE SWALE AND EARTH DIKE
	INLET PROTECTION
	ROCK SOCK
	SEDIMENT BASIN
	SEDIMENT CONTROL LOG
	SILT FENCE EROSION BARRIER
	SEEDING AND MULCHING
	SURFACE ROUGHENING
	STABILIZED STAGING AREA
	VEHICLE TRACKING CONTROL

- EROSION CONTROL NOTES:**
- REFER TO THE COVER SHEET FOR EROSION CONTROL NOTES AND GRADING NOTES AND LEGEND.
 - THE TIMING FOR THE INSTALLATION OF THE CONTROL MEASURE IS EITHER INITIAL (PRIOR TO EARTHMOVING ACTIVITIES OCCURRING), INTERIM (AFTER INSTALLATION OF THE PROPOSED FACILITY IT WILL BE INSTALLED ALONG OR DOWNSTREAM OF) AND FINAL (AT THE END OF CONSTRUCTION).
 - EROSION CONTROL MEASURES INSTALLED IN INITIAL OR INTERIM PHASE, SHALL BE LEFT IN PLACE UNTIL AREA TRIBUTARY TO BMP IS STABILIZED.
 - CONTRACTOR TO REDLINE PLAN IF BMP LOCATIONS ARE DIFFERENT THAN SHOWN ON THE PLAN. COUNTY INSPECTOR SHALL APPROVE REDLINES.



GENERAL NOTES:

REVISIONS:

NO.	DATE	INITIALS	NOTES
1			
2			
3			
4			
5			
6			
7			
8			

PROFESSIONAL SEAL:

Kiowa
Engineering Corporation
5951 Middlefield Road, Suite 200
Lafayette, CA 94503
(925) 692-0369

AMERCO
REAL ESTATE COMPANY

CONSTRUCTION DEPARTMENT
2727 NORTH CENTRAL AVENUE
PHOENIX, ARIZONA 85004
P: (602) 263-6502
F: (602) 277-1026

SITE ADDRESS:
U-HAUL at Falcon
Rolling Thunder Way
Falcon, CO 80831

SHEET CONTENTS:
GRADING AND EC PLAN
- INTERIM

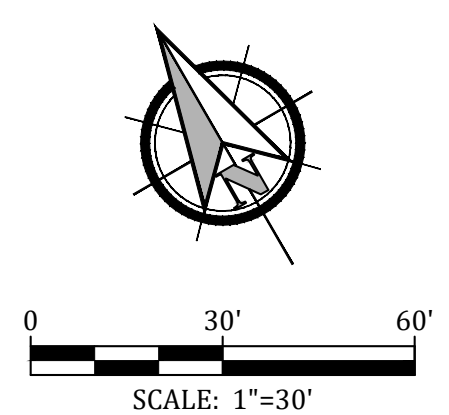
866077

DRAWN: JRD
CHECKED: MWE
DATE: 6/9/23

PCD File #
PPR-22-56 & SF-22-40



© COPYRIGHT AMERCO REAL ESTATE COMPANY



LEGEND

[Symbol]	PROPOSED BUILDING
[Symbol]	PROPERTY OR ROW LINE
[Symbol]	EXISTING EASEMENT
[Symbol]	PROPOSED EASEMENT
[Symbol]	CURB & GUTTER
[Symbol]	EXISTING WATER LINE
[Symbol]	EXISTING SANITARY SEWER
[Symbol]	EXISTING STORM SEWER
[Symbol]	EXISTING UNDERGROUND ELECTRIC LINE
[Symbol]	EXISTING UNDERGROUND TELEPHONE LINE
[Symbol]	EXISTING GAS LINE
[Symbol]	EXISTING 100 YEAR FLOODPLAIN
[Symbol]	EXISTING STREET LIGHT
[Symbol]	EXISTING CONTOURS
[Symbol]	PROPOSED CONTOURS
[Symbol]	CUT/FILL DEMARCATION LINE
[Symbol]	EXISTING SPOT ELEVATION
[Symbol]	EXISTING FLOW DIRECTION AND SLOPE
[Symbol]	PROPOSED FLOW DIRECTION AND SLOPE
[Symbol]	PROPOSED SLOPE
[Symbol]	APPROXIMATE LIMIT OF CONSTRUCTION/DISTURBANCE
[Symbol]	PROPOSED STORM SEWER PIPE AND MANHOLE
[Symbol]	PROPOSED SINGLE STORM GRATED INLET
[Symbol]	PROPOSED TYPE C GRATED INLET
[Symbol]	PROPOSED STORM CURB INLET
[Symbol]	PROPOSED STORM SEWER FLARED END SECTION
[Symbol]	CHECK DAM
[Symbol]	CONCRETE WASHOUT AREA
[Symbol]	CULVERT INLET PROTECTION
[Symbol]	TEMPORARY DRAINAGE SWALE AND EARTH DIKE
[Symbol]	INLET PROTECTION
[Symbol]	ROCK SOCK
[Symbol]	SEDIMENT BASIN
[Symbol]	SEDIMENT CONTROL LOG
[Symbol]	SILT FENCE EROSION BARRIER
[Symbol]	SEEDING AND MULCHING
[Symbol]	SURFACE ROUGHENING
[Symbol]	STABILIZED STAGING AREA
[Symbol]	VEHICLE TRACKING CONTROL

EROSION CONTROL NOTES:
 1. REFER TO THE COVER SHEET FOR EROSION CONTROL NOTES AND GRADING NOTES AND LEGEND.
 2. THE TIMING FOR THE INSTALLATION OF THE CONTROL MEASURE IS EITHER INITIAL (PRIOR TO EARTH-MOVING ACTIVITIES OCCURRING), INTERIM (AFTER INSTALLATION OF THE PROPOSED FACILITY IT WILL BE INSTALLED ALONG OR DOWNSTREAM OF) AND FINAL (AT THE END OF CONSTRUCTION).
 3. EROSION CONTROL MEASURES INSTALLED IN INITIAL OR INTERIM PHASE, SHALL BE LEFT IN PLACE UNTIL AREA TRIBUTARY TO BMP IS STABILIZED.
 4. CONTRACTOR TO REDLINE PLAN IF BMP LOCATIONS ARE DIFFERENT THAN SHOWN ON THE PLAN. COUNTY INSPECTOR SHALL APPROVE REDLINES.

GENERAL NOTES:

REVISIONS:

NO.	DATE	INITIALS	NOTES
1			
2			
3			
4			
5			
6			
7			
8			

PROFESSIONAL SEAL:

Kiowa
 Engineering Corporation
 5951 Middlefield Road, Suite 200
 Littleton, CO 80120
 (303) 692-0369

AMERCO
 REAL ESTATE COMPANY

CONSTRUCTION DEPARTMENT
 2727 NORTH CENTRAL AVENUE
 PHOENIX, ARIZONA 85004
 P: (602) 263-6502
 F: (602) 277-1026

SITE ADDRESS:
 U-HAUL at Falcon
 Rolling Thunder Way
 Falcon, CO 80831

866077

DRAWN: JRD
 CHECKED: MWE
 DATE: 6/9/23

PCD File #
 PPR-22-56 & SF-22-40

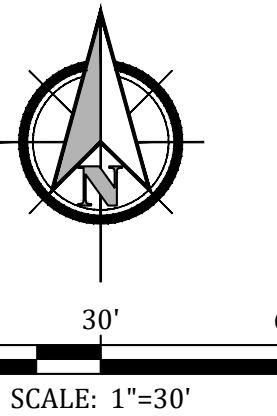


© COPYRIGHT AMERCO REAL ESTATE COMPANY

EROSION CONTROL NOTES:

1. REFER TO THE COVER SHEET FOR EROSION CONTROL NOTES AND GRADING NOTES AND LEGEND.
2. THE TIMING FOR THE INSTALLATION OF THE CONTROL MEASURE IS EITHER INITIAL (PRIOR TO EARTHMOVING ACTIVITIES OCCURRING), INTERIM (AFTER INSTALLATION OF THE PROPOSED FACILITY IT WILL BE INSTALLED ALONG OR DOWNSTREAM OF) AND FINAL (AT THE END OF CONSTRUCTION).
3. EROSION CONTROL MEASURES INSTALLED IN INITIAL OR INTERIM PHASE, SHALL BE LEFT IN PLACE UNTIL AREA TRIBUTARY TO BMP IS STABILIZED.
4. CONTRACTOR TO REDLINE PLAN IF BMP LOCATIONS ARE DIFFERENT THAN SHOWN ON THE PLAN. COUNTY INSPECTOR SHALL APPROVE REDLINES.

BENCHMARK: USGS MONUMENT E-24. ELEVATION=6902.30 (NAVD88)



LEGEND

[Symbol]	PROPOSED BUILDING
[Symbol]	PROPERTY OR ROW LINE
[Symbol]	EXISTING EASEMENT
[Symbol]	PROPOSED EASEMENT
[Symbol]	CURB & GUTTER
[Symbol]	EXISTING WATER LINE
[Symbol]	EXISTING SANITARY SEWER
[Symbol]	EXISTING STORM SEWER
[Symbol]	EXISTING UNDERGROUND ELECTRIC LINE
[Symbol]	EXISTING UNDERGROUND TELEPHONE LINE
[Symbol]	EXISTING GAS LINE
[Symbol]	EXISTING 100 YEAR FLOODPLAIN
[Symbol]	EXISTING STREET LIGHT
[Symbol]	EXISTING CONTOURS
[Symbol]	PROPOSED CONTOURS
[Symbol]	CUT/FILL DEMARCATION LINE
[Symbol]	EXISTING SPOT ELEVATION
[Symbol]	EXISTING FLOW DIRECTION AND SLOPE
[Symbol]	PROPOSED FLOW DIRECTION AND SLOPE
[Symbol]	PROPOSED SLOPE
[Symbol]	APPROXIMATE LIMIT OF CONSTRUCTION/DISTURBANCE
[Symbol]	PROPOSED STORM SEWER PIPE AND MANHOLE
[Symbol]	PROPOSED SINGLE STORM GRATED INLET
[Symbol]	PROPOSED TYPE C GRATED INLET
[Symbol]	PROPOSED STORM CURB INLET
[Symbol]	PROPOSED STORM SEWER FLARED END SECTION
[Symbol]	CHECK DAM
[Symbol]	CONCRETE WASHOUT AREA
[Symbol]	CULVERT INLET PROTECTION
[Symbol]	TEMPORARY DRAINAGE SWALE AND EARTH DIKE
[Symbol]	INLET PROTECTION
[Symbol]	ROCK SOCK
[Symbol]	SEDIMENT BASIN
[Symbol]	SEDIMENT CONTROL LOG
[Symbol]	SILT FENCE EROSION BARRIER
[Symbol]	SEEDING AND MULCHING
[Symbol]	SURFACE ROUGHENING
[Symbol]	STABILIZED STAGING AREA
[Symbol]	VEHICLE TRACKING CONTROL

GENERAL NOTES:

REVISIONS:

NO.	DATE	INITIALS	NOTES
1			
2			
3			
4			
5			
6			
7			
8			

PROFESSIONAL SEAL:



AMERCO
REAL ESTATE COMPANY

CONSTRUCTION DEPARTMENT
2727 NORTH CENTRAL AVENUE
PHOENIX, ARIZONA 85004

P: (602) 263-6502
F: (602) 277-1026

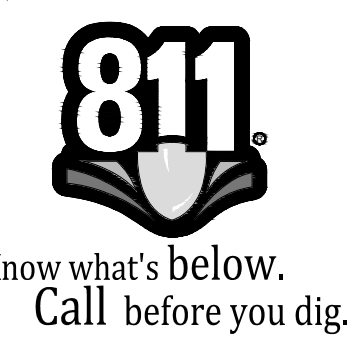
SITE ADDRESS:
U-HAUL at Falcon
Rolling Thunder Way
Falcon, CO 80831

SHEET CONTENTS:
GRADING AND EC PLAN
- FINAL

866077

DRAWN: JRD
CHECKED: MWE
DATE: 6/9/23

PCD File #
PPR-22-56 & SF-22-40



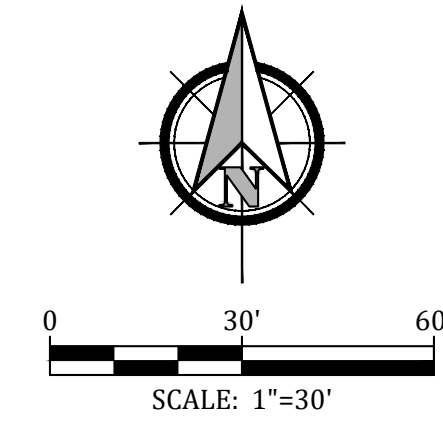
MATCHLINE - SEE SHT C318

MATCHLINE - SEE SHT C318

© COPYRIGHT AMERCO REAL ESTATE COMPANY

MATCHLINE - SEE SHT C317

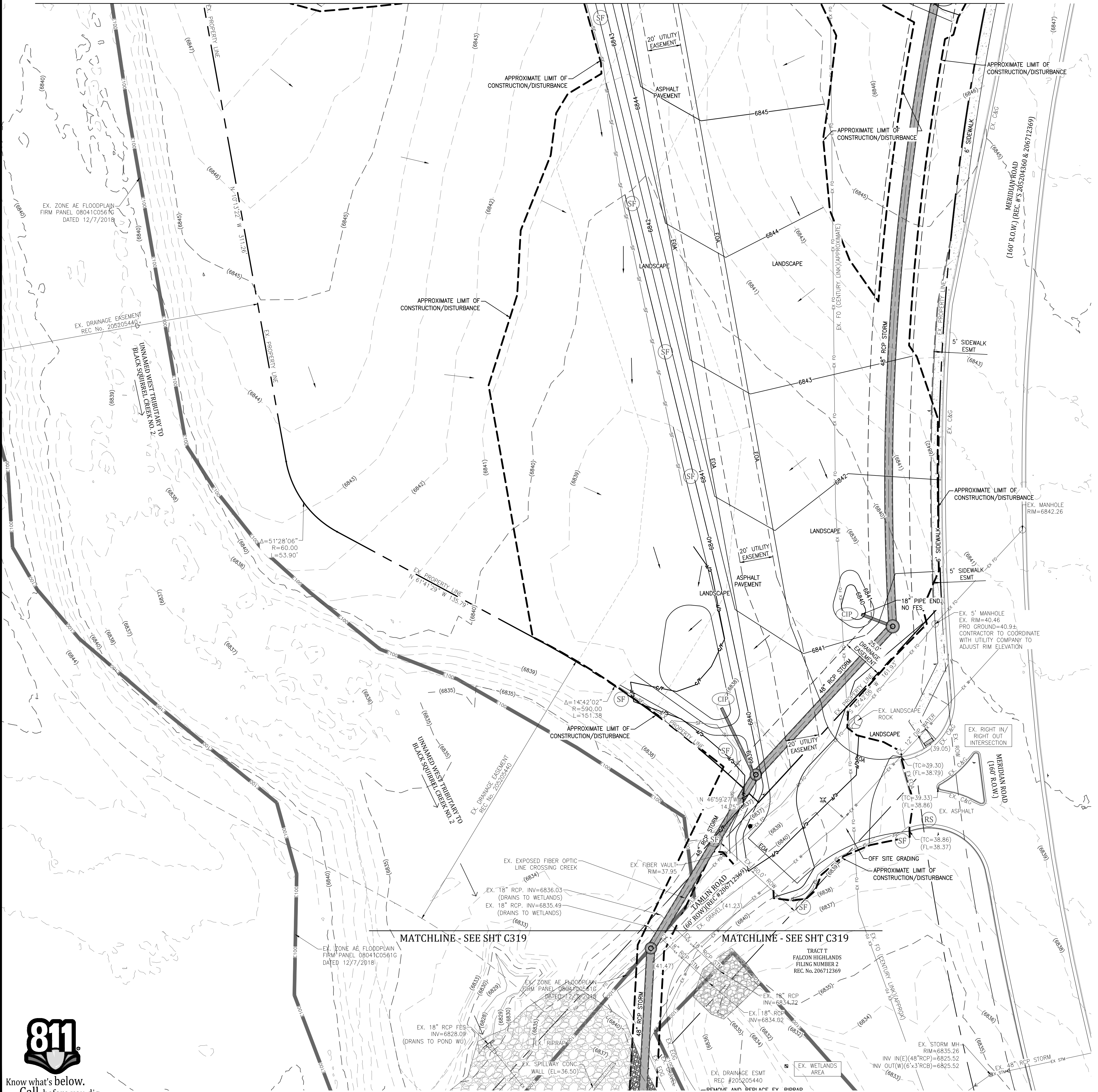
MATCHLINE - SEE SHT C317



LEGEND	
	PROPOSED BUILDING
	PROPERTY OR ROW LINE
	EXISTING EASEMENT
	PROPOSED EASEMENT
	CURB & GUTTER
	EXISTING WATER LINE
	EXISTING SANITARY SEWER
	EXISTING STORM SEWER
	EXISTING UNDERGROUND ELECTRIC LINE
	EXISTING UNDERGROUND TELEPHONE LINE
	EXISTING GAS LINE
	EXISTING 100 YEAR FLOODPLAIN
	EXISTING STREET LIGHT
	EXISTING CONTOURS
	PROPOSED CONTOURS
	CUT/FILL DEMARCATION LINE
	EXISTING SPOT ELEVATION
	EXISTING FLOW DIRECTION AND SLOPE
	PROPOSED FLOW DIRECTION AND SLOPE
	PROPOSED SLOPE
	APPROXIMATE LIMIT OF CONSTRUCTION/DISTURBANCE
	PROPOSED STORM SEWER PIPE AND MANHOLE
	PROPOSED SINGLE STORM GRATED INLET
	PROPOSED TYPE C GRATED INLET
	PROPOSED STORM CURB INLET
	PROPOSED STORM SEWER FLARED END SECTION
	CHECK DAM
	CONCRETE WASHOUT AREA
	CULVERT INLET PROTECTION
	TEMPORARY DRAINAGE SWALE AND EARTH DIKE
	INLET PROTECTION
	ROCK SOCK
	SEDIMENT BASIN
	SEDIMENT CONTROL LOG
	SILT FENCE EROSION BARRIER
	SEEDING AND MULCHING
	SURFACE ROUGHENING
	STABILIZED STAGING AREA
	VEHICLE TRACKING CONTROL

EROSION CONTROL NOTES:

1. REFER TO THE COVER SHEET FOR EROSION CONTROL NOTES AND GRADING NOTES AND LEGEND.
2. THE TIMING FOR THE INSTALLATION OF THE CONTROL MEASURE IS EITHER INITIAL (PRIOR TO EARTHMOVING ACTIVITIES OCCURRING), INTERIM (AFTER INSTALLATION OF THE PROPOSED FACILITY IT WILL BE INSTALLED ALONG OR DOWNSTREAM OF) AND FINAL (AT THE END OF CONSTRUCTION).
3. EROSION CONTROL MEASURES INSTALLED IN INITIAL OR INTERIM PHASE, SHALL BE LEFT IN PLACE UNTIL AREA TRIBUTARY TO BMP IS STABILIZED. CONTRACTOR TO REDLINE PLAN IF BMP LOCATIONS ARE DIFFERENT THAN SHOWN ON THE PLAN. COUNTY INSPECTOR SHALL APPROVE REDLINES.
- 4.



GENERAL NOTES:

REVISIONS:

NO.	DATE	INITIALS	NOTES
1			
2			
3			
4			
5			
6			
7			
8			

PROFESSIONAL SEAL:

Kiowa
Engineering Corporation
5951 Middlefield Road, Suite 200
Lafayette, CA 94503
(925) 692-0369

AMERCO
REAL ESTATE COMPANY

CONSTRUCTION DEPARTMENT
2727 NORTH CENTRAL AVENUE
PHOENIX, ARIZONA 85004

P: (602) 263-6502
F: (602) 277-1026

SITE ADDRESS:
U-HAUL at Falcon
Rolling Thunder Way
Falcon, CO 80831

SHEET CONTENTS:
GRADING AND EC PLAN
- FINAL

866077

DRAWN:	JRD	C318
CHECKED:	MWE	
DATE:	6/9/23	

PCD File #
PPR-22-56 & SF-22-40



© COPYRIGHT AMERCO REAL ESTATE COMPANY



LEGEND

[Symbol]	PROPOSED BUILDING
[Symbol]	PROPERTY OR ROW LINE
[Symbol]	EXISTING EASEMENT
[Symbol]	PROPOSED EASEMENT
[Symbol]	CURB & GUTTER
[Symbol]	EXISTING WATER LINE
[Symbol]	EXISTING SANITARY SEWER
[Symbol]	EXISTING STORM SEWER
[Symbol]	EXISTING UNDERGROUND ELECTRIC LINE
[Symbol]	EXISTING UNDERGROUND TELEPHONE LINE
[Symbol]	EXISTING GAS LINE
[Symbol]	EXISTING 100 YEAR FLOODPLAIN
[Symbol]	EXISTING STREET LIGHT
[Symbol]	EXISTING CONTOURS
[Symbol]	PROPOSED CONTOURS
[Symbol]	CUT/FILL DEMARCATION LINE
[Symbol]	EXISTING SPOT ELEVATION
[Symbol]	EXISTING FLOW DIRECTION AND SLOPE
[Symbol]	PROPOSED FLOW DIRECTION AND SLOPE
[Symbol]	PROPOSED SLOPE
[Symbol]	APPROXIMATE LIMIT OF CONSTRUCTION/DISTURBANCE
[Symbol]	PROPOSED STORM SEWER PIPE AND MANHOLE
[Symbol]	PROPOSED SINGLE STORM GRATED INLET
[Symbol]	PROPOSED TYPE C GRATED INLET
[Symbol]	PROPOSED STORM CURB INLET
[Symbol]	PROPOSED STORM SEWER FLARED END SECTION
[Symbol]	CHECK DAM
[Symbol]	CONCRETE WASHOUT AREA
[Symbol]	CULVERT INLET PROTECTION
[Symbol]	TEMPORARY DRAINAGE SWALE AND EARTH DIKE
[Symbol]	INLET PROTECTION
[Symbol]	ROCK SOCK
[Symbol]	SEDIMENT BASIN
[Symbol]	SEDIMENT CONTROL LOG
[Symbol]	SILT FENCE EROSION BARRIER
[Symbol]	SEEDING AND MULCHING
[Symbol]	SURFACE ROUGHENING
[Symbol]	STABILIZED STAGING AREA
[Symbol]	VEHICLE TRACKING CONTROL

EROSION CONTROL NOTES:
 1. REFER TO THE COVER SHEET FOR EROSION CONTROL NOTES AND GRADING NOTES AND LEGEND.
 2. THE TIMING FOR THE INSTALLATION OF THE CONTROL MEASURE IS EITHER INITIAL (PRIOR TO EARTH-MOVING ACTIVITIES OCCURRING), INTERIM (AFTER INSTALLATION OF THE PROPOSED FACILITY IT WILL BE INSTALLED ALONG OR DOWNSTREAM OF) AND FINAL (AT THE END OF CONSTRUCTION).
 3. EROSION CONTROL MEASURES INSTALLED IN INITIAL OR INTERIM PHASE, SHALL BE LEFT IN PLACE UNTIL AREA TRIBUTARY TO BMP IS STABILIZED.
 4. CONTRACTOR TO REDLINE PLAN IF BMP LOCATIONS ARE DIFFERENT THAN SHOWN ON THE PLAN. COUNTY INSPECTOR SHALL APPROVE REDLINES.

GENERAL NOTES:

REVISIONS:

NO.	DATE	INITIALS	NOTES
1			
2			
3			
4			
5			
6			
7			
8			

PROFESSIONAL SEAL:

Kiowa
 Engineering Corporation
 5951 Middlefield Road, Suite 200
 Livermore, CA 94551
 (925) 692-0369

AMERCO
 REAL ESTATE COMPANY

CONSTRUCTION DEPARTMENT
 2727 NORTH CENTRAL AVENUE
 PHOENIX, ARIZONA 85004
 P: (602) 263-6502
 F: (602) 277-1026

SITE ADDRESS:
 U-HAUL at Falcon
 Rolling Thunder Way
 Falcon, CO 80831

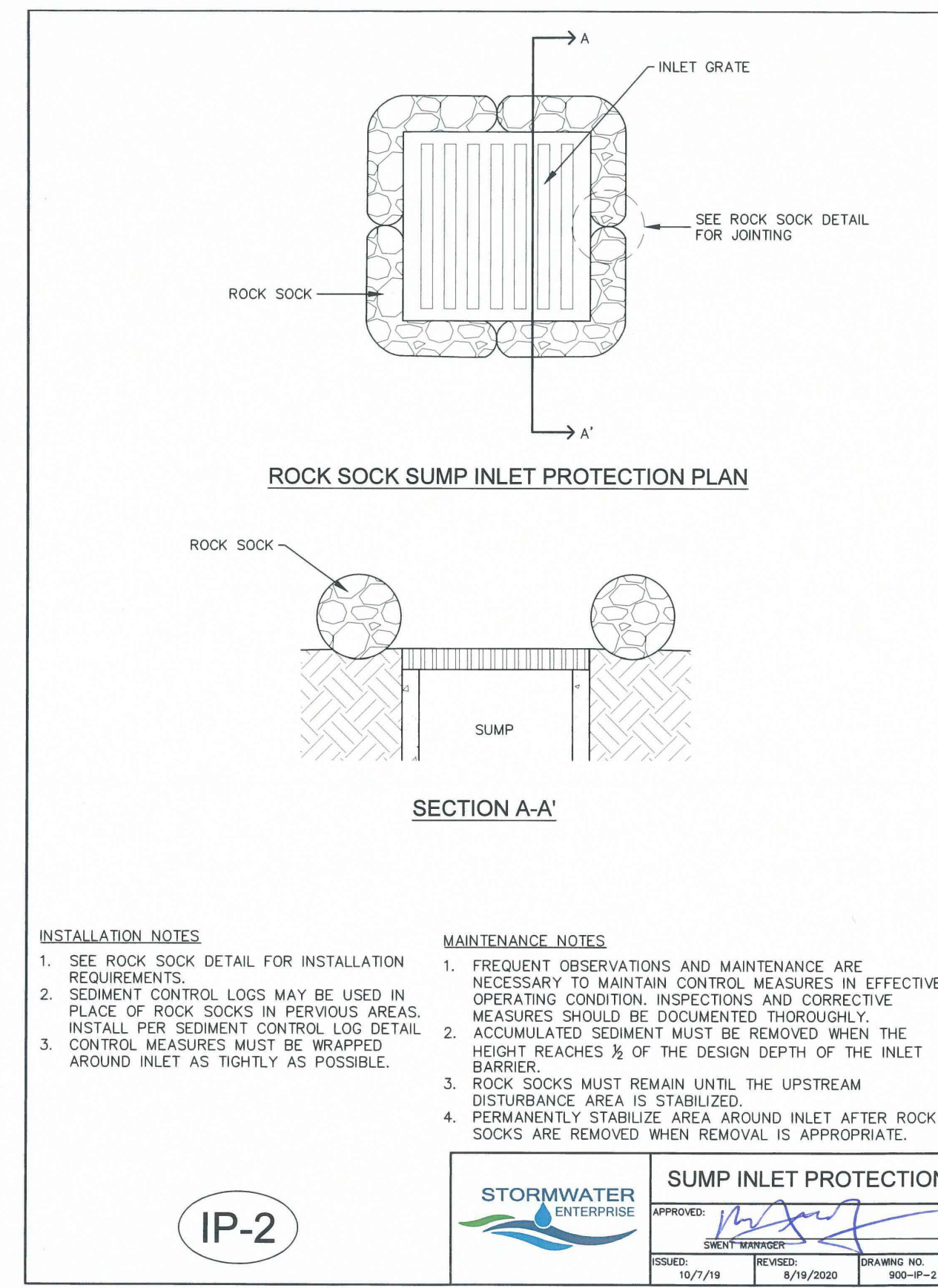
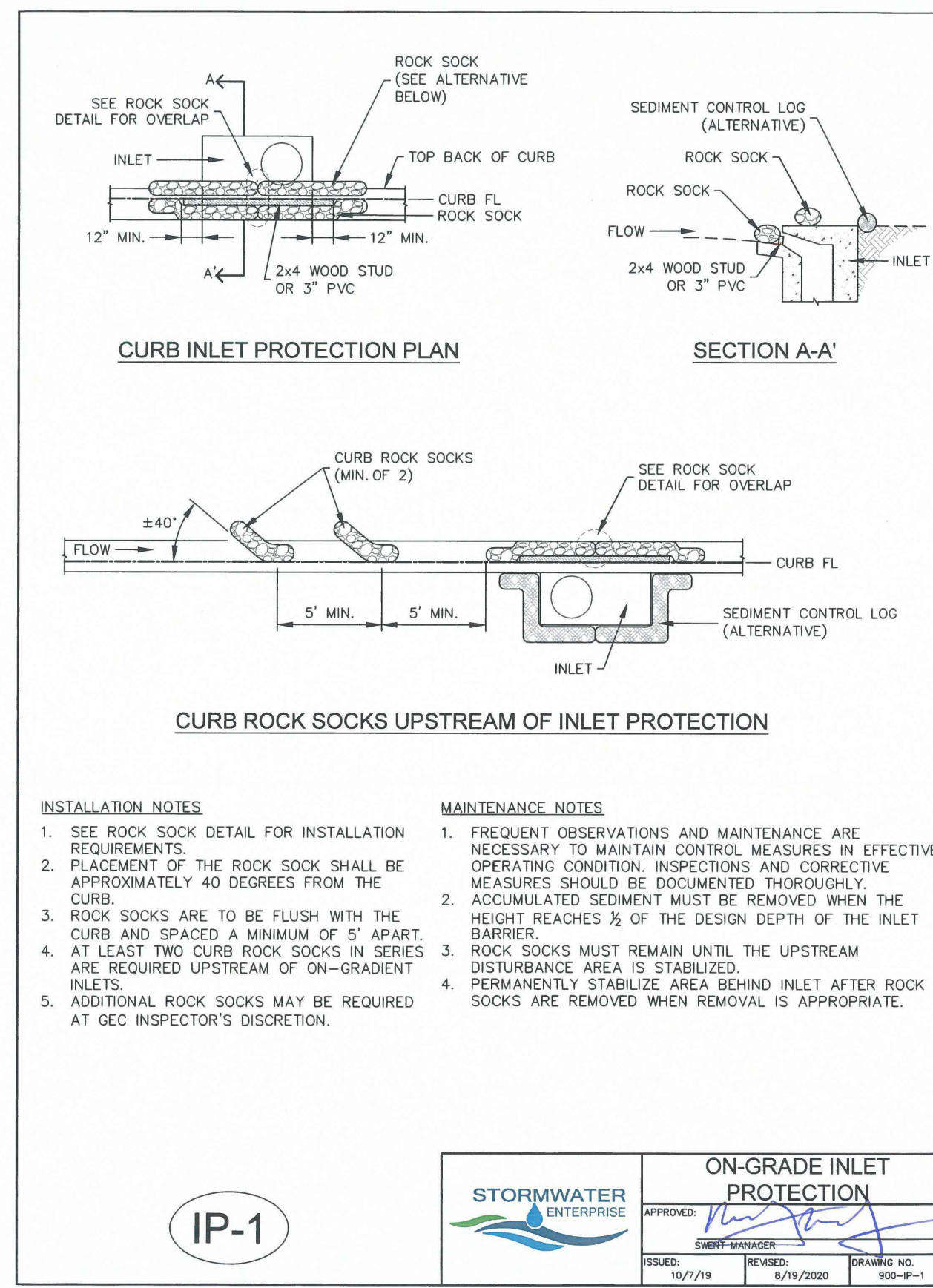
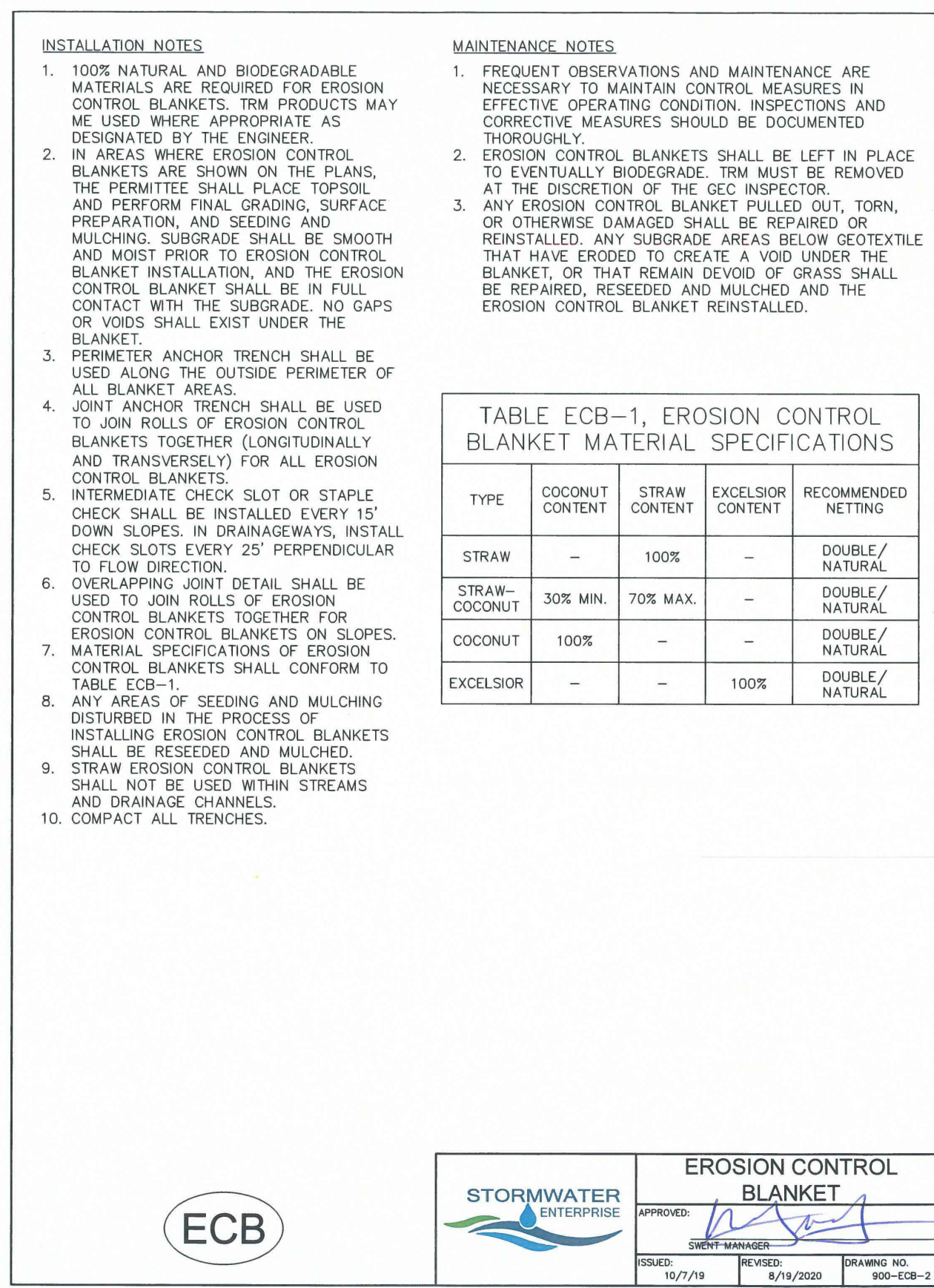
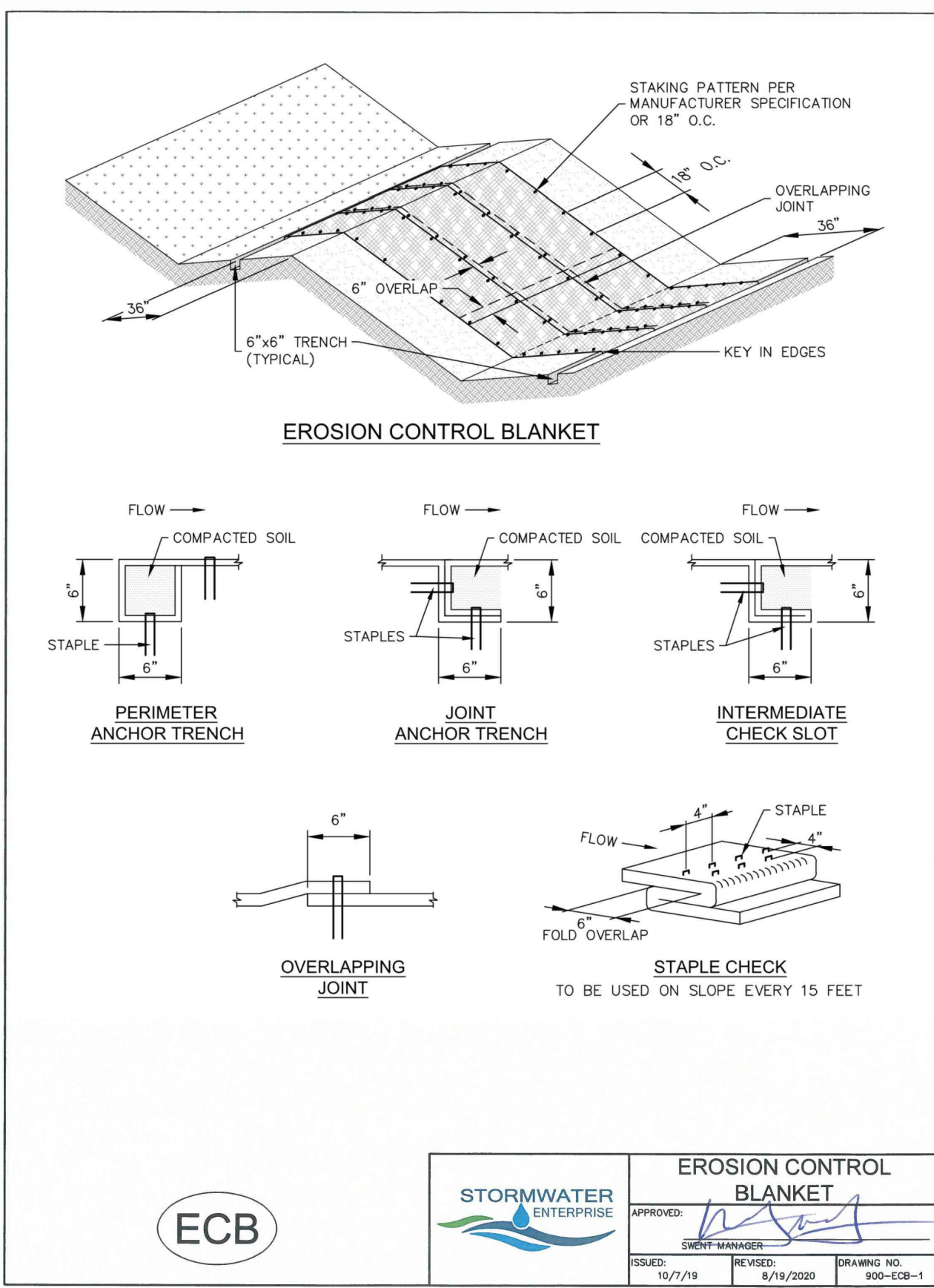
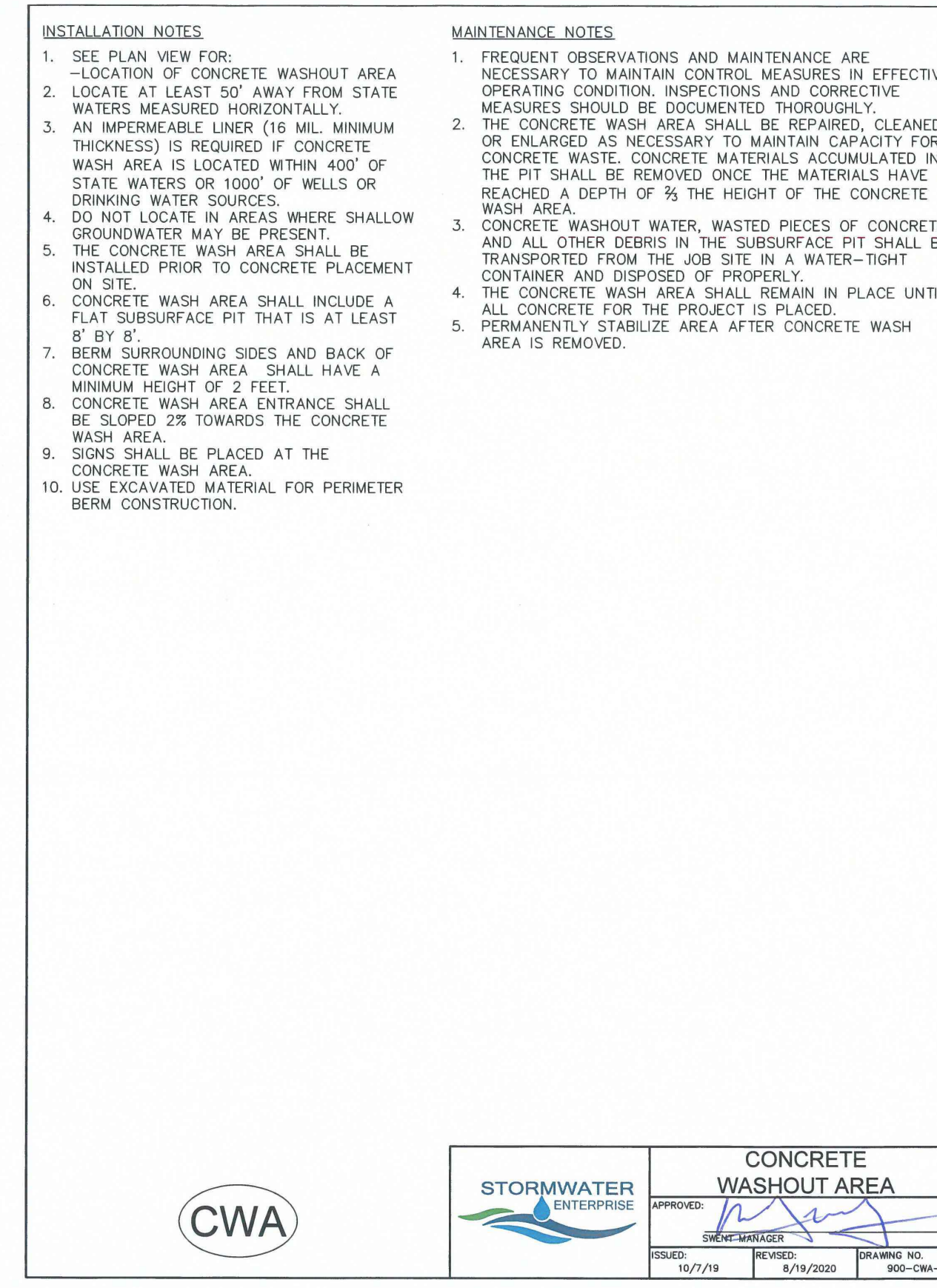
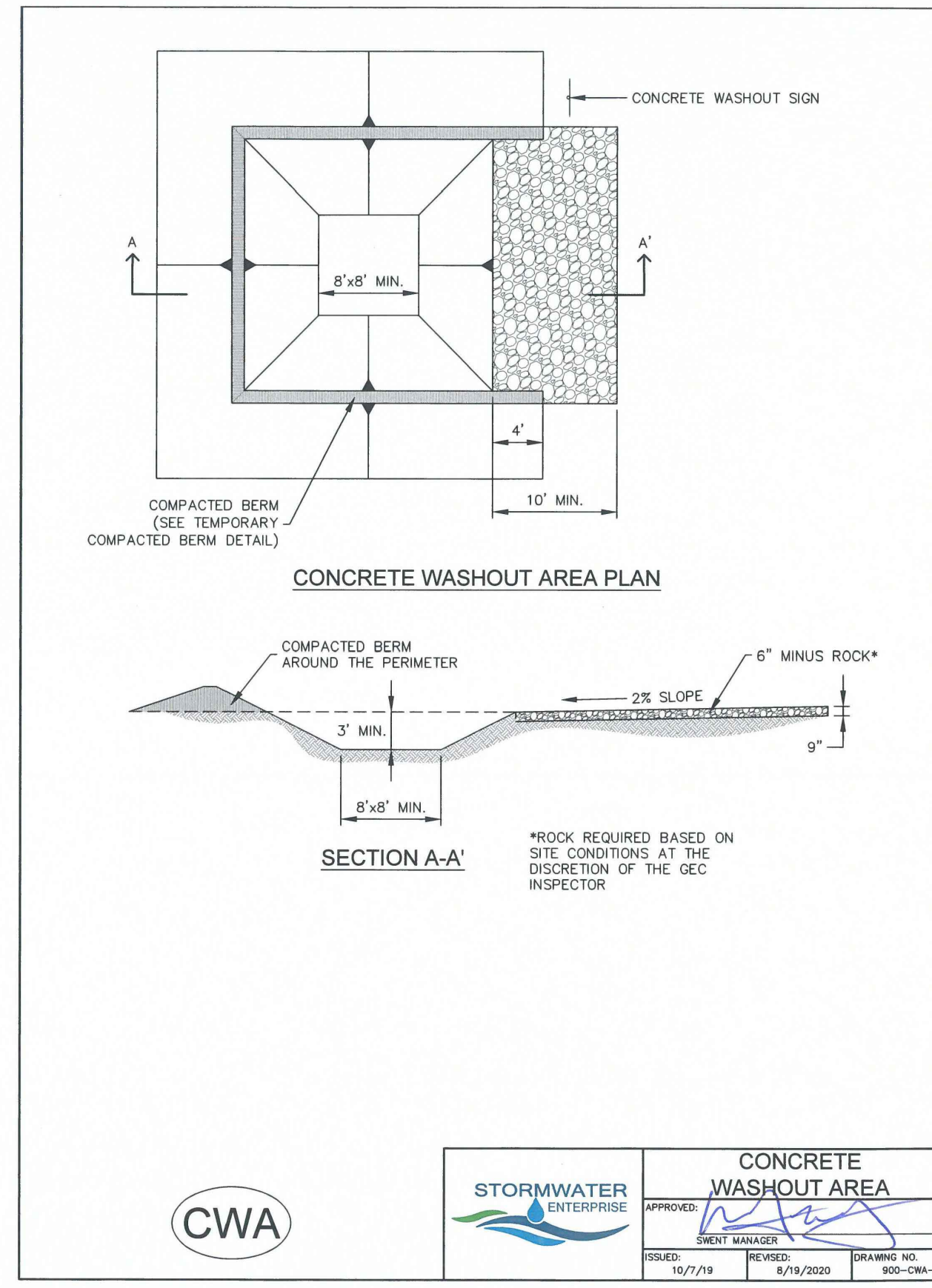
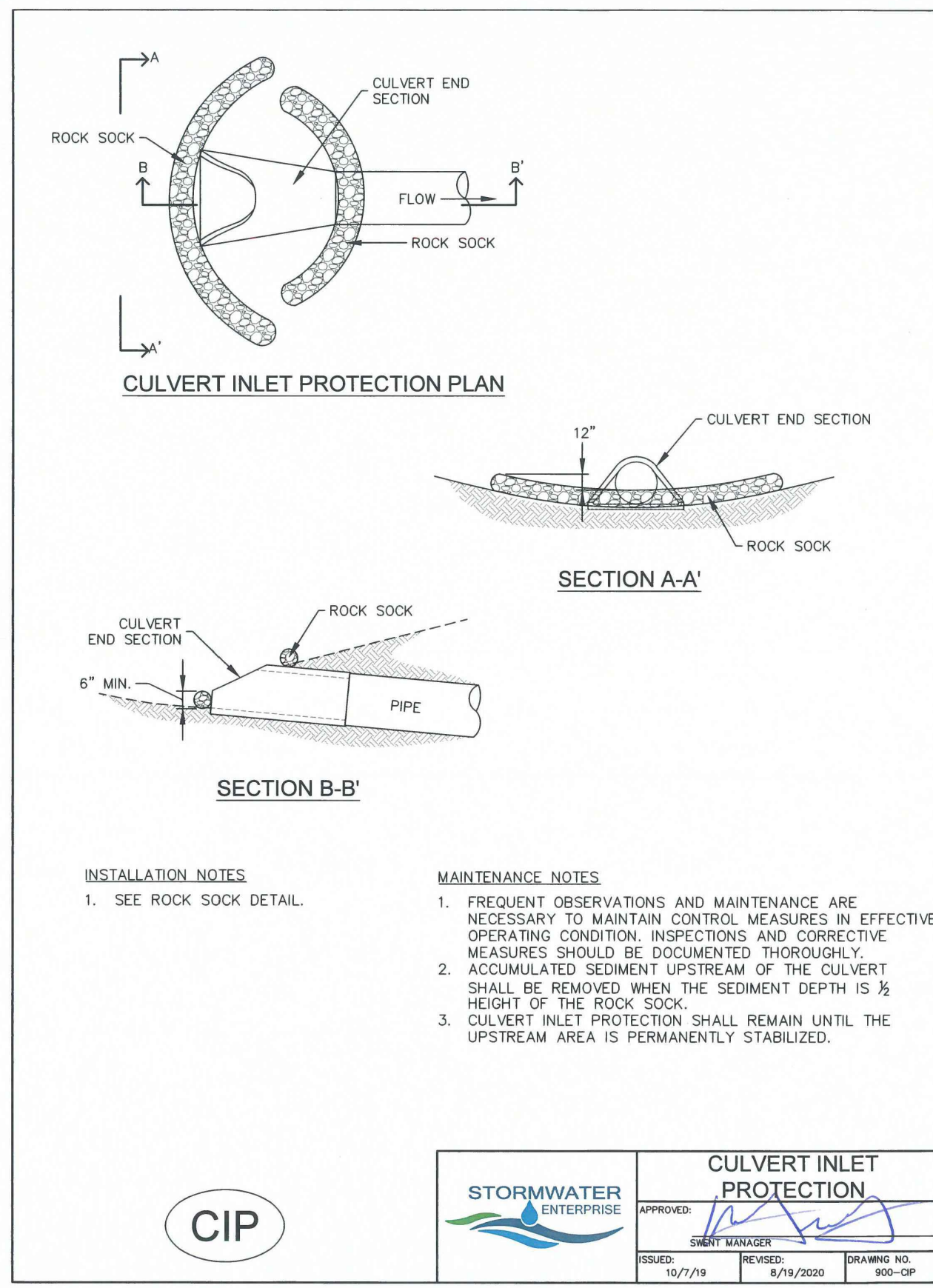
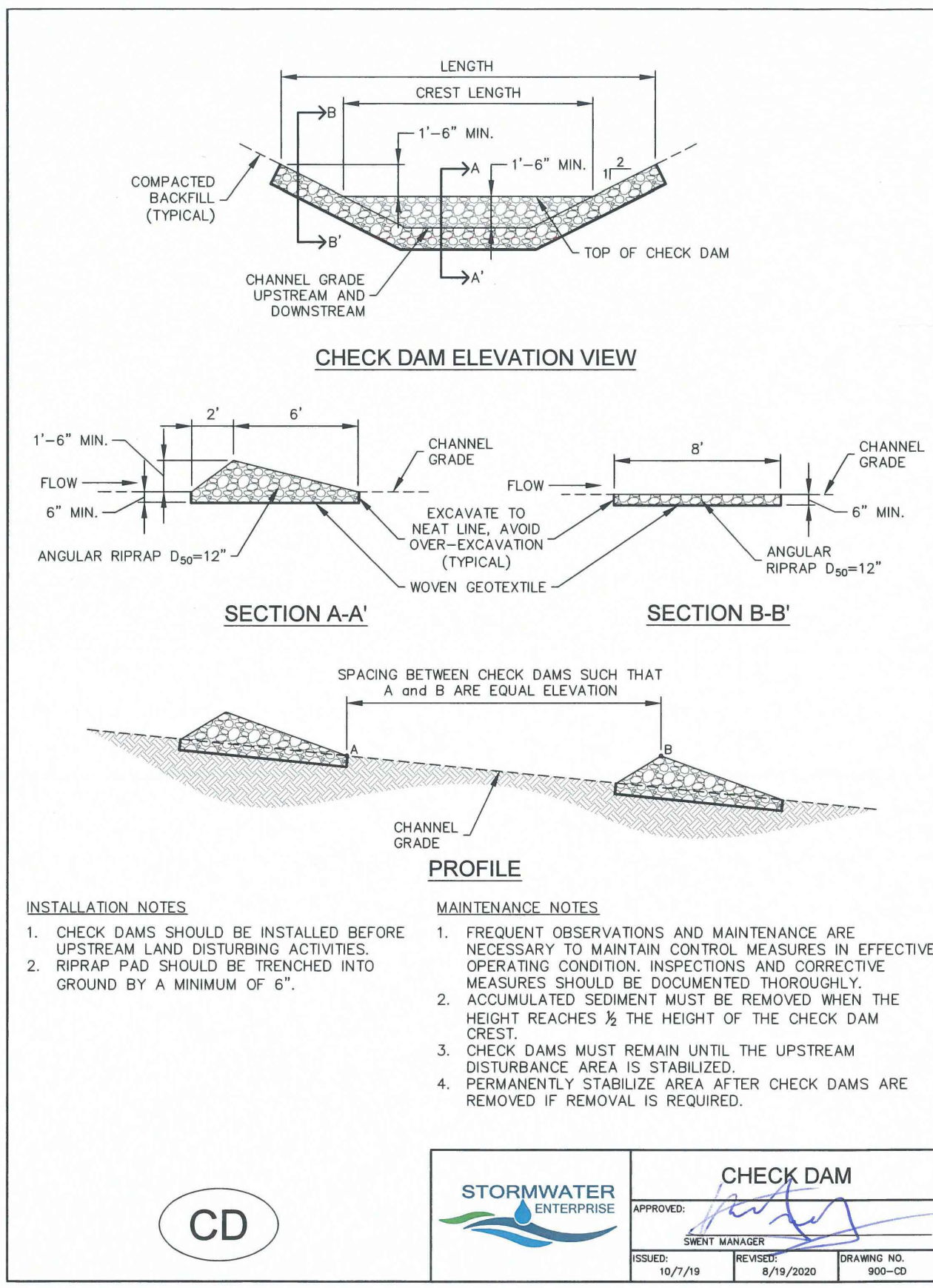
866077

DRAWN: JRD
 CHECKED: MWE
 DATE: 6/9/23

PCD File #
 PPR-22-56 & SF-22-40



© COPYRIGHT AMERCO REAL ESTATE COMPANY



GENERAL NOTES:

REVISIONS:

NO.	DATE	INITIALS	NOTES
1			
2			
3			
4			
5			
6			
7			
8			

PROFESSIONAL SEAL:

Kiowa
Engineering Corporation
5951 Middlefield Road, Suite 200
Lafayette, CA 94503
(925) 692-0369

AMERCO
REAL ESTATE COMPANY

CONSTRUCTION DEPARTMENT
2727 NORTH CENTRAL AVENUE
PHOENIX, ARIZONA 85004
P: (602) 263-6502
F: (602) 277-1026

SITE ADDRESS:
U-HAUL at Falcon
Rolling Thunder Way
Falcon, CO 80831

SHEET CONTENTS:
GRADING AND EC PLAN
- DETAIL ECT

866077

DRAWN: JRD
CHECKED: MWE
DATE: 6/9/23

PCD File #
PPR-22-56 & SF-22-40

© COPYRIGHT AMERCO REAL ESTATE COMPANY

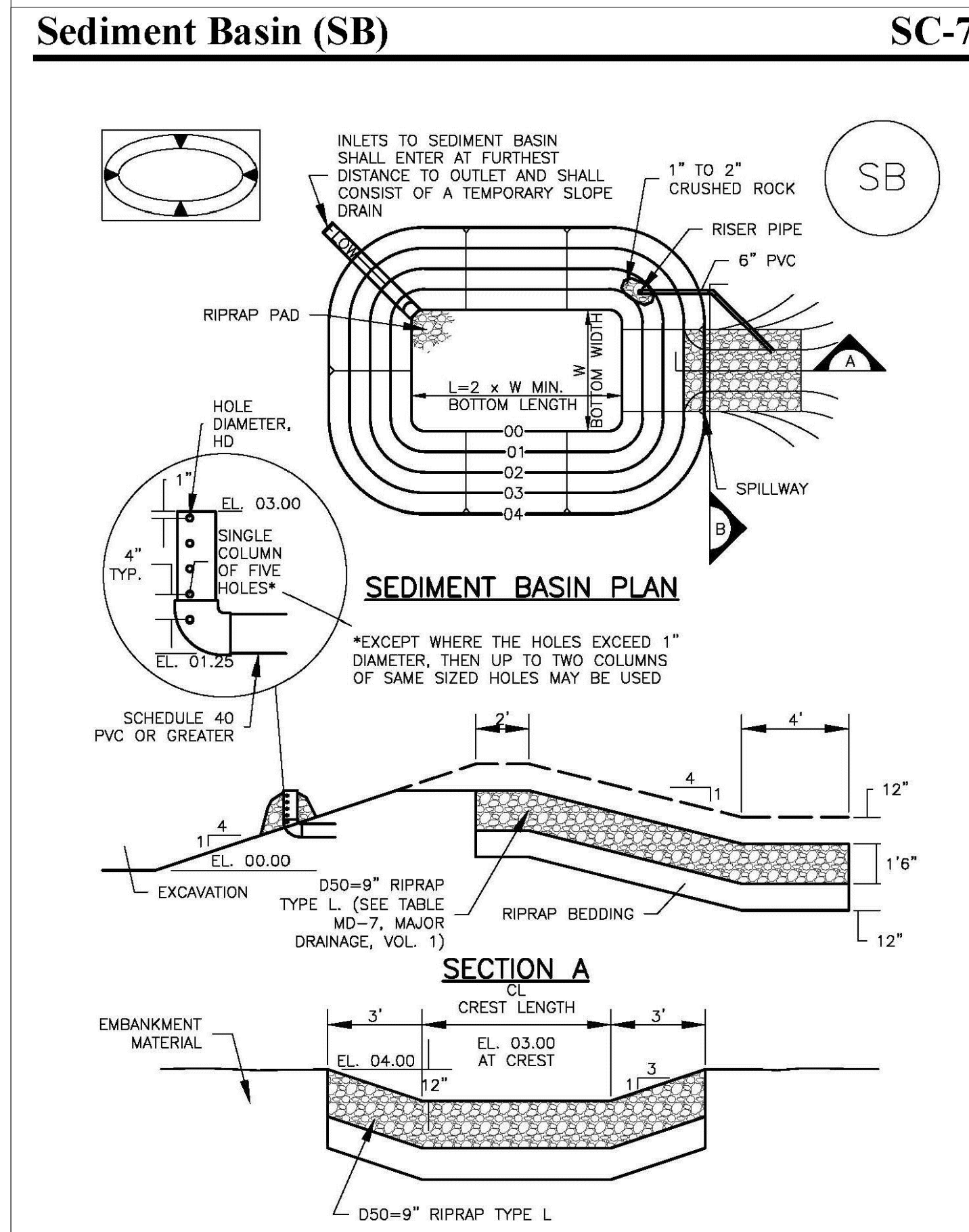
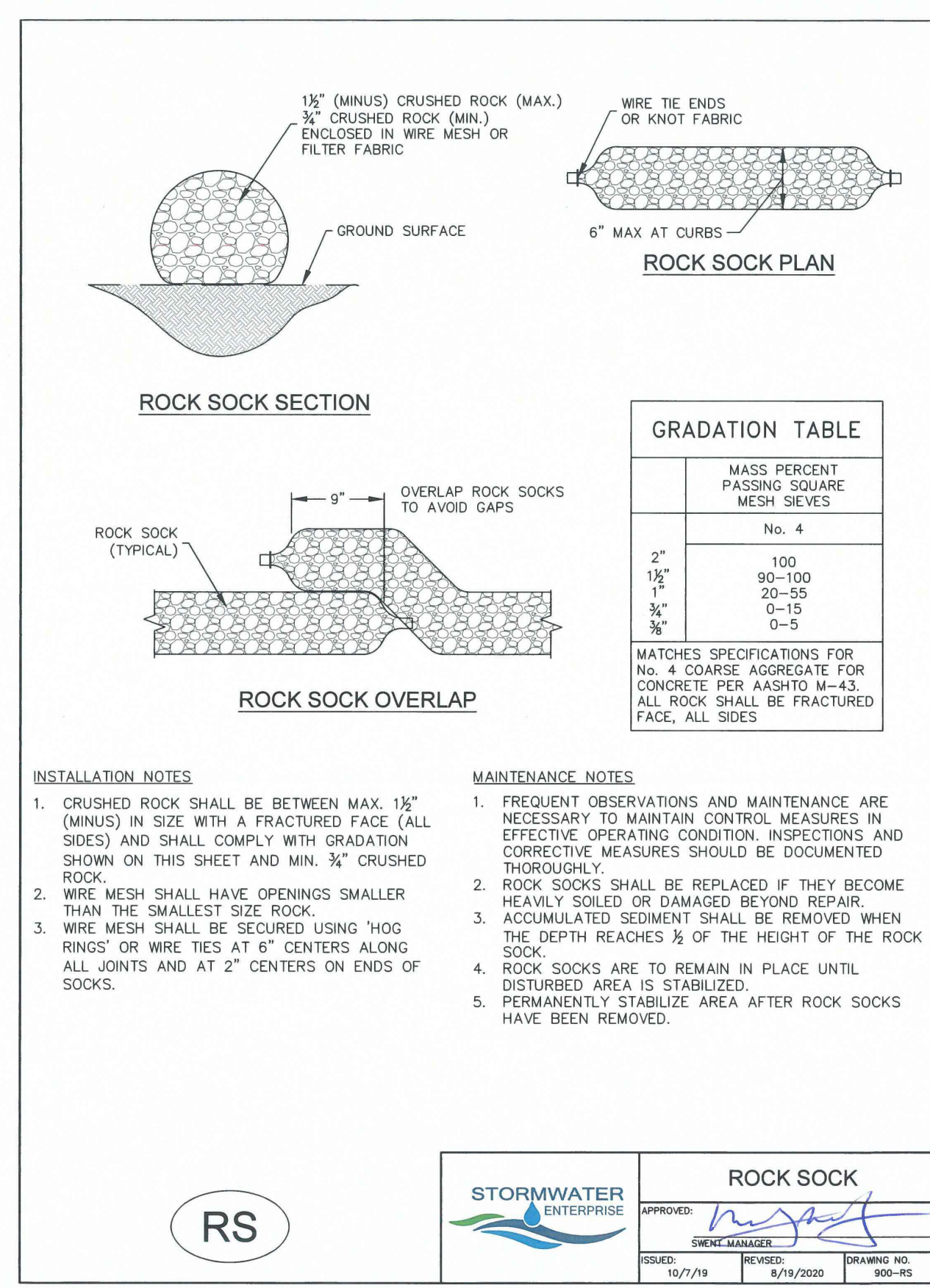
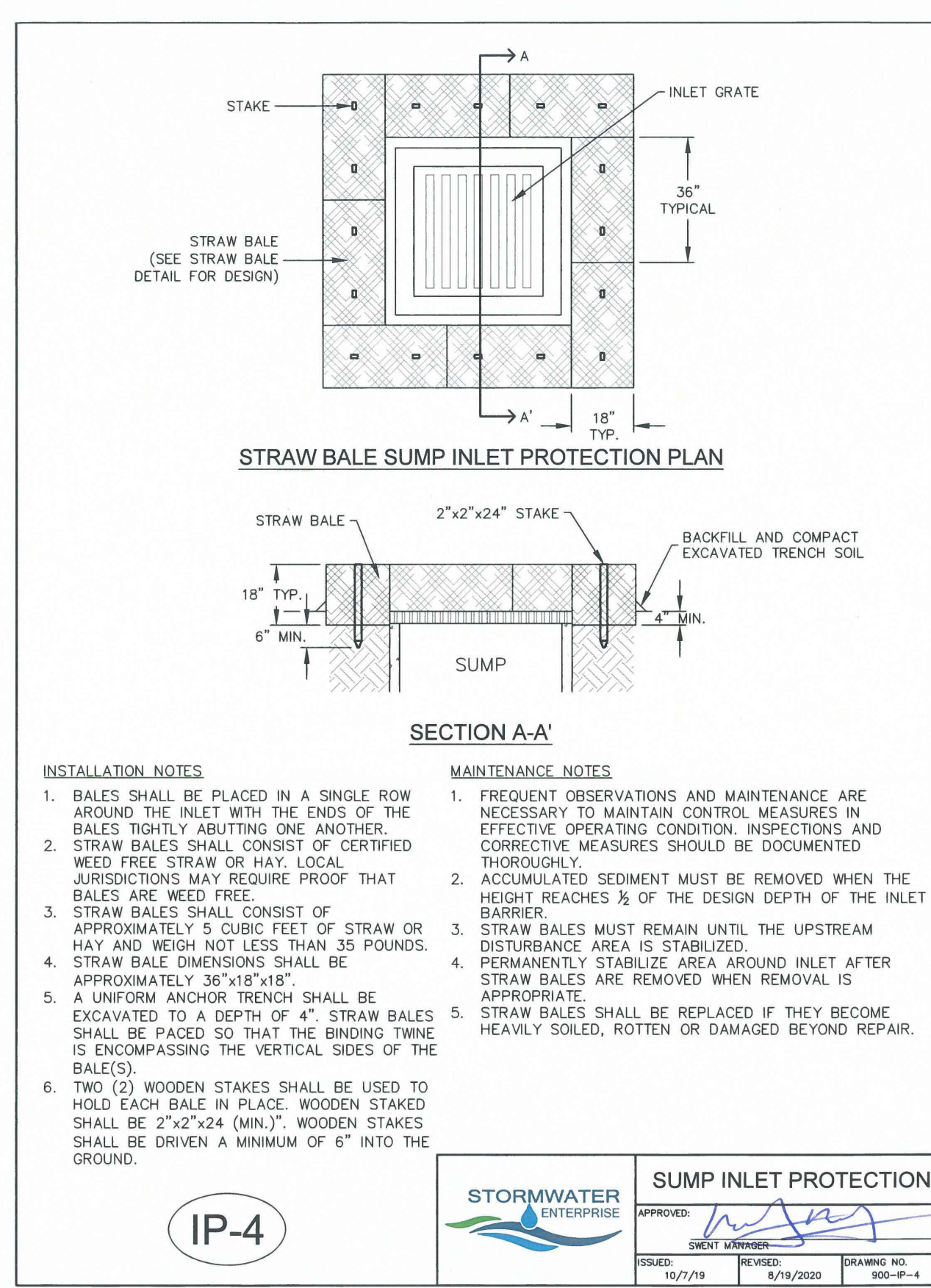
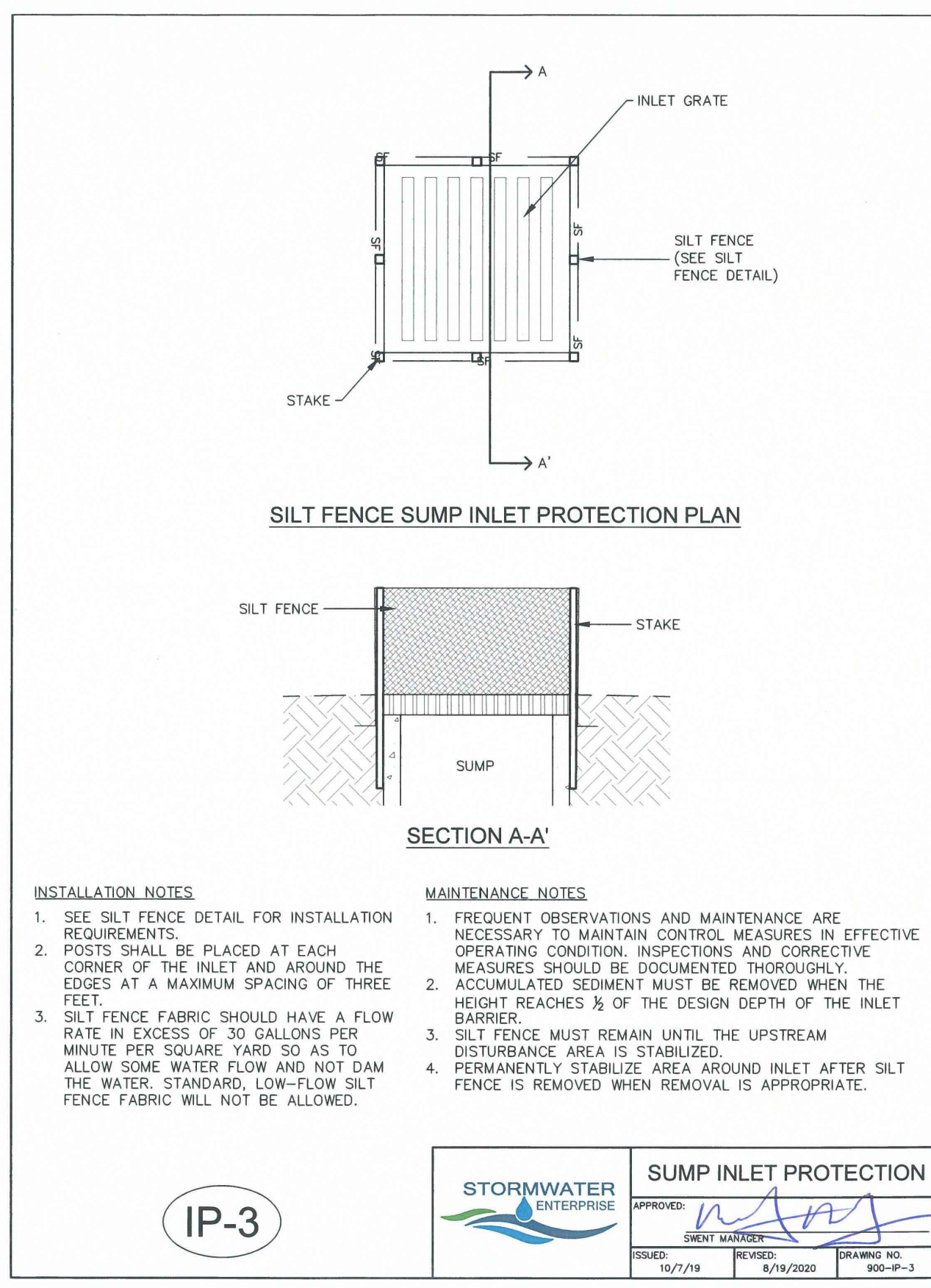


TABLE SB-1. SIZING INFORMATION FOR STANDARD SEDIMENT BASIN

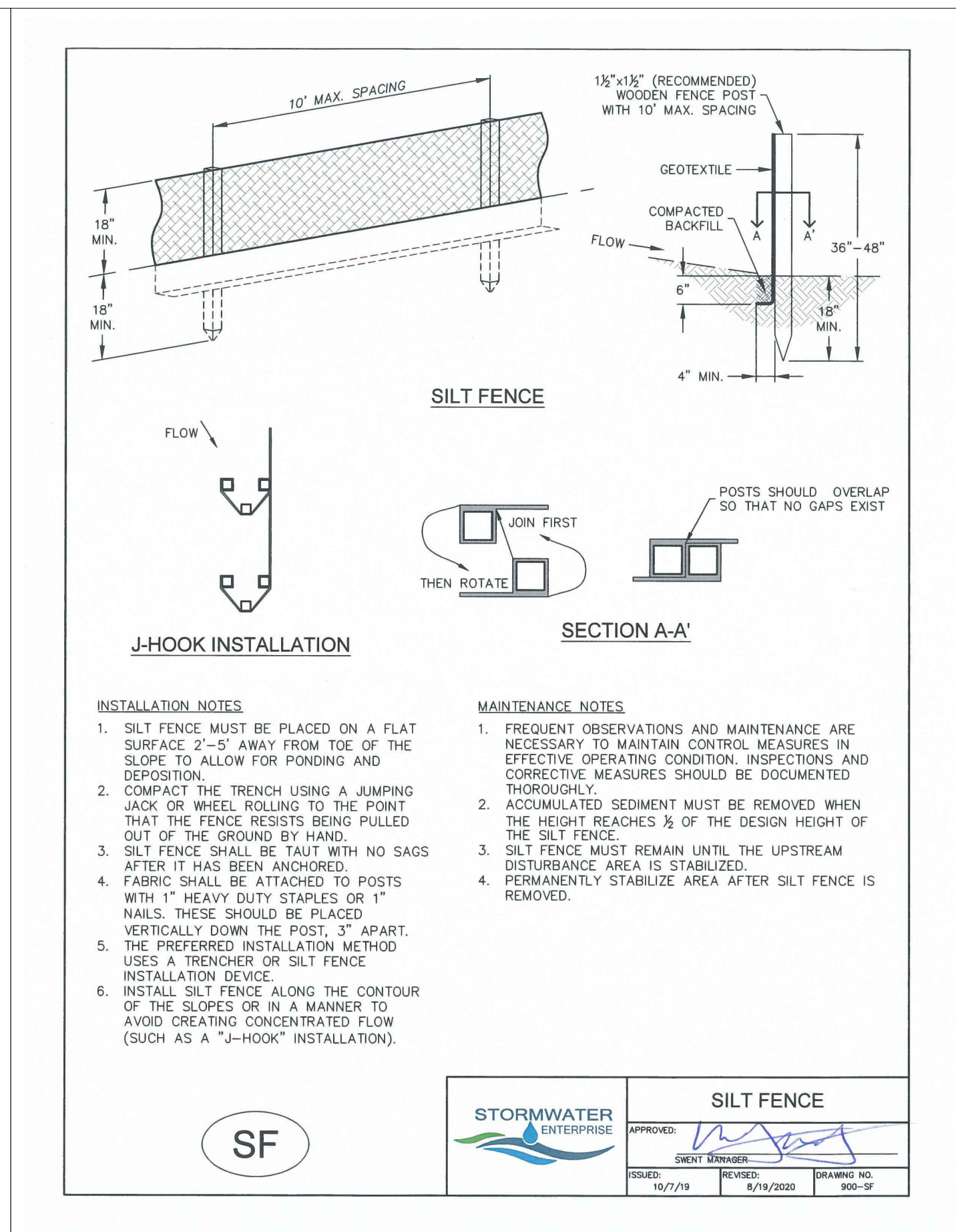
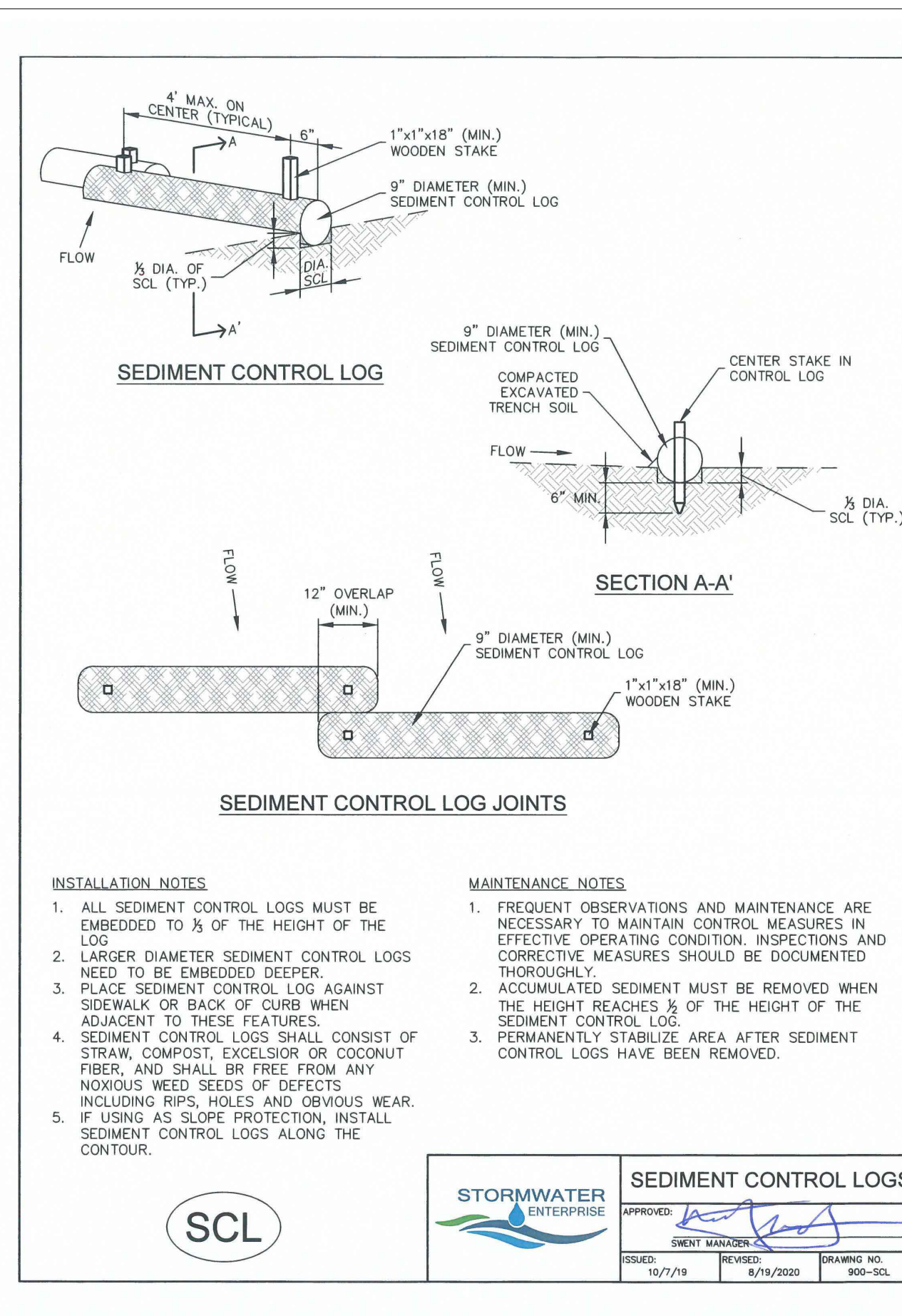
Upstream Drainage Area (rounded to nearest acre), (ac)	Basin Bottom Width (W), (ft)	Spillway Crest Length (CL), (ft)	Hole Diameter (HD), (in)
1	12 1/2	2	9/32
2	21	3	1 1/16
3	28	5	1/2
4	33 1/2	6	5/8
5	38 1/2	8	3/4
6	43	9	7/8
7	47 1/4	11	1
8	51	12	1 1/16
9	55	13	1 1/8
10	58 1/4	15	1 1/4
11	61	16	1 1/2
12	64	18	1 5/8
13	67 1/2	19	1 3/4
14	70 1/2	21	1 7/8
15	73 1/4	22	2

SEDIMENT BASIN INSTALLATION NOTES

- SEE PLAN VIEW FOR:
 - LOCATION OF SEDIMENT BASIN.
 - TYPE OF BASIN (STANDARD BASIN OR NONSTANDARD BASIN).
 - FOR STANDARD BASIN, BOTTOM WIDTH W, CREST LENGTH CL, AND HOLE DIAMETER, HD.
 - FOR NONSTANDARD BASIN, SEE CONSTRUCTION DRAWINGS FOR DESIGN OF BASIN INCLUDING RISER HEIGHT H, NUMBER OF COLUMNS N, HOLE DIAMETER HD AND PIPE DIAMETER D.
- FOR STANDARD BASIN, BOTTOM DIMENSION MAY BE MODIFIED AS LONG AS BOTTOM AREA IS NOT REDUCED.
- SEDIMENT BASINS SHALL BE INSTALLED PRIOR TO ANY OTHER LAND-DISTURBING ACTIVITY THAT RELIES ON BASINS AS A STORMWATER CONTROL.
- EMBANKMENT MATERIAL SHALL CONSIST OF SOIL FREE OF DEBRIS, ORGANIC MATERIAL, AND ROCKS OR CONCRETE GREATER THAN 3 INCHES AND SHALL HAVE A MINIMUM OF 15 PERCENT BY WEIGHT PASSING THE NO. 200 SIEVE.
- EMBANKMENT MATERIAL SHALL BE COMPACTED TO AT LEAST 95 PERCENT OF MAXIMUM DENSITY IN ACCORDANCE WITH ASTM D698.
- PIPE SCH 40 OR GREATER SHALL BE USED.
- THE DETAILS SHOWN ON THESE SHEETS PERTAIN TO STANDARD SEDIMENT BASIN(S) FOR DRAINAGE AREAS LESS THAN 15 ACRES. SEE CONSTRUCTION DRAWINGS FOR EMBANKMENT, STORAGE VOLUME, SPILLWAY, OUTLET, AND OUTLET PROTECTION DETAILS FOR ANY SEDIMENT BASIN(S) THAT HAVE BEEN INDIVIDUALLY DESIGNED FOR DRAINAGE AREAS LARGER THAN 15 ACRES.

SEDIMENT BASIN MAINTENANCE NOTES

- INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
- FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
- WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
- SEDIMENT ACCUMULATED IN BASIN SHALL BE REMOVED AS NEEDED TO MAINTAIN BMP EFFECTIVENESS, TYPICALLY WHEN SEDIMENT DEPTH REACHES ONE FOOT (I.E., TWO FEET BELOW THE SPILLWAY CREST).
- SEDIMENT BASINS ARE TO REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS STABILIZED AND GRASS COVER IS ACCEPTED BY THE LOCAL JURISDICTION.
- WHEN SEDIMENT BASINS ARE REMOVED, ALL DISTURBED AREAS SHALL BE COVERED WITH TOPSOIL, SEEDED AND MULCHED OR OTHERWISE STABILIZED AS APPROVED BY LOCAL JURISDICTION.



GENERAL NOTES:

REVISIONS:

NO.	DATE	INITIALS	NOTES
1			
2			
3			
4			
5			
6			
7			
8			

PROFESSIONAL SEAL:

Kiowa Engineering Corporation
 5951 Middlefield Road, Suite 200
 Lubbock, TX 79424
 (803) 692-0369

AMERCO REAL ESTATE COMPANY

CONSTRUCTION DEPARTMENT
 2727 NORTH CENTRAL AVENUE
 PHOENIX, ARIZONA 85004
 P: (602) 263-6502
 F: (602) 277-1026

SITE ADDRESS:
 U-HAUL at Falcon
 Rolling Thunder Way
 Falcon, CO 80831

SHEET CONTENTS:
 GRADING AND EC PLAN
 - DETAIL SHT

866077

DRAWN: JRD
 CHECKED: MWE
 DATE: 6/9/23

C321

PCD File #
 PPR-22-56 & SF-22-40

© COPYRIGHT - AMERCO REAL ESTATE COMPANY

SEEDING & MULCHING

ALL SOIL TESTING, SOILS AMENDMENT AND FERTILIZER DOCUMENTATION, AND SEED LOAD AND BAG TICKETS MUST BE ADDED TO THE CSWMP.

SOIL PREPARATION

- IN AREAS TO BE SEEDED, THE UPPER 6 INCHES OF THE SOIL MUST NOT BE HEAVILY COMPACTED, AND SHOULD BE IN FRIABLE CONDITION. LESS THAN 85% STANDARD PROCTOR DENSITY IS ACCEPTABLE. AREAS OF COMPACTION OR GENERAL CONSTRUCTION ACTIVITY MUST BE SCARIFIED TO A DEPTH OF 6 TO 12 INCHES PRIOR TO SPREADING TOPSOIL TO BREAK UP COMPACTED LAYERS AND PROVIDE A BLENDING ZONE BETWEEN DIFFERENT SOIL LAYERS.
- AREAS TO BE PLANTED SHALL HAVE AT LEAST 4 INCHES OF TOPSOIL SUITABLE TO SUPPORT PLANT GROWTH.
- THE CITY RECOMMENDS THAT EXISTING AND/OR IMPORTED TOPSOIL BE TESTED TO IDENTIFY SOIL DEFICIENCIES AND ANY SOIL AMENDMENTS NECESSARY TO ADDRESS THESE DEFICIENCIES. SOIL AMENDMENTS AND/OR FERTILIZERS SHOULD BE ADDED TO CORRECT TOPSOIL DEFICIENCIES BASED ON SOIL TESTING RESULTS.
- TOPSOIL SHALL BE PROTECTED DURING THE CONSTRUCTION PERIOD TO RETAIN ITS STRUCTURE, AVOID COMPACTION, AND TO PREVENT EROSION AND CONTAMINATION. STRIPPED TOPSOIL MUST BE STORED IN AN AREA AWAY FROM MACHINERY AND CONSTRUCTION OPERATIONS, AND CARE MUST BE TAKEN TO PROTECT THE TOPSOIL AS A VALUABLE COMMODITY. TOPSOIL MUST NOT BE STRIPPED DURING UNDESIRABLE WORKING CONDITIONS (E.G. DURING WET WEATHER OR WHEN SOILS ARE SATURATED). TOPSOIL SHALL NOT BE STORED IN SWALES OR IN AREAS WITH POOR DRAINAGE.

SEEDING

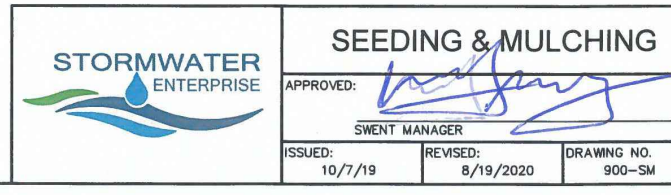
- ALLOWABLE SEED MIXES ARE INCLUDED IN THE CITY OF COLORADO SPRINGS STORMWATER CONSTRUCTION MANUAL. ALTERNATIVE SEED MIXES ARE ACCEPTABLE IF INCLUDED IN AN APPROVED LANDSCAPING PLAN.
- SEED SHOULD BE DRILL-SEED WHENEVER POSSIBLE.
 - SEED DEPTH MUST BE 1/2 TO 3/4 INCHES WHEN DRILL-SEEDING IS USED.
- BROADCAST SEEDING OR HYDRO-SEEDING WITH TACKIFIER MAY BE SUBSTITUTED ON SLOPES STEEPER THAN 3:1 OR ON OTHER AREAS NOT PRACTICAL TO DRILL SEED.
 - SEEDING RATES MUST BE DOUBLED FOR BROADCAST SEEDING OR INCREASED BY 50% IF USING A BRILLIANT DRILL OR HYDRO-SEEDING.
 - BROADCAST SEEDING MUST BE LIGHTLY HAND-RAKED INTO THE SOIL.

MULCHING

- MULCHING SHOULD BE COMPLETED AS SOON AS PRACTICABLE AFTER SEEDING, HOWEVER PLANTED AREAS MUST BE MULCHED NO LATER THAN 14 DAYS AFTER PLANTING.
- MULCHING REQUIREMENTS INCLUDE:
 - HAY OR STRAW MULCH
 - ONLY CERTIFIED WEED-FREE AND CERTIFIED SEED-FREE MULCH MAY BE USED. MULCH MUST BE APPLIED AT 2 TONS/ACRE AND ADEQUATELY SECURED BY CRIMPING AND/OR TACKIFIER.
 - CRIMPING MUST NOT BE USED ON SLOPES GREATER THAN 3:1 AND MULCH FIBERS MUST BE TUCKED INTO THE SOIL TO A DEPTH OF 3 TO 4 INCHES.
 - TACKIFIER MUST BE USED IN PLACE OF CRIMPING ON SLOPES STEEPER THAN 3:1.
 - HYDRAULIC MULCHING
 - HYDRAULIC MULCHING IS AN OPTION ON STEEP SLOPES OR WHERE ACCESS IS LIMITED.
 - IF HYDRO-SEEDING IS USED, MULCHING MUST BE APPLIED AS A SEPARATE, SECOND OPERATION.
 - WOOD CELLULOSE FIBERS MIXED WITH WATER MUST BE APPLIED AT A RATE OF 2,000 TO 2,500 POUNDS/ACRE, AND TACKIFIER MUST BE APPLIED AT A RATE OF 100 POUNDS/ACRE.

EROSION CONTROL BLANKET

- EROSION CONTROL BLANKET MAY BE USED IN PLACE OF TRADITIONAL MULCHING METHODS.



SM

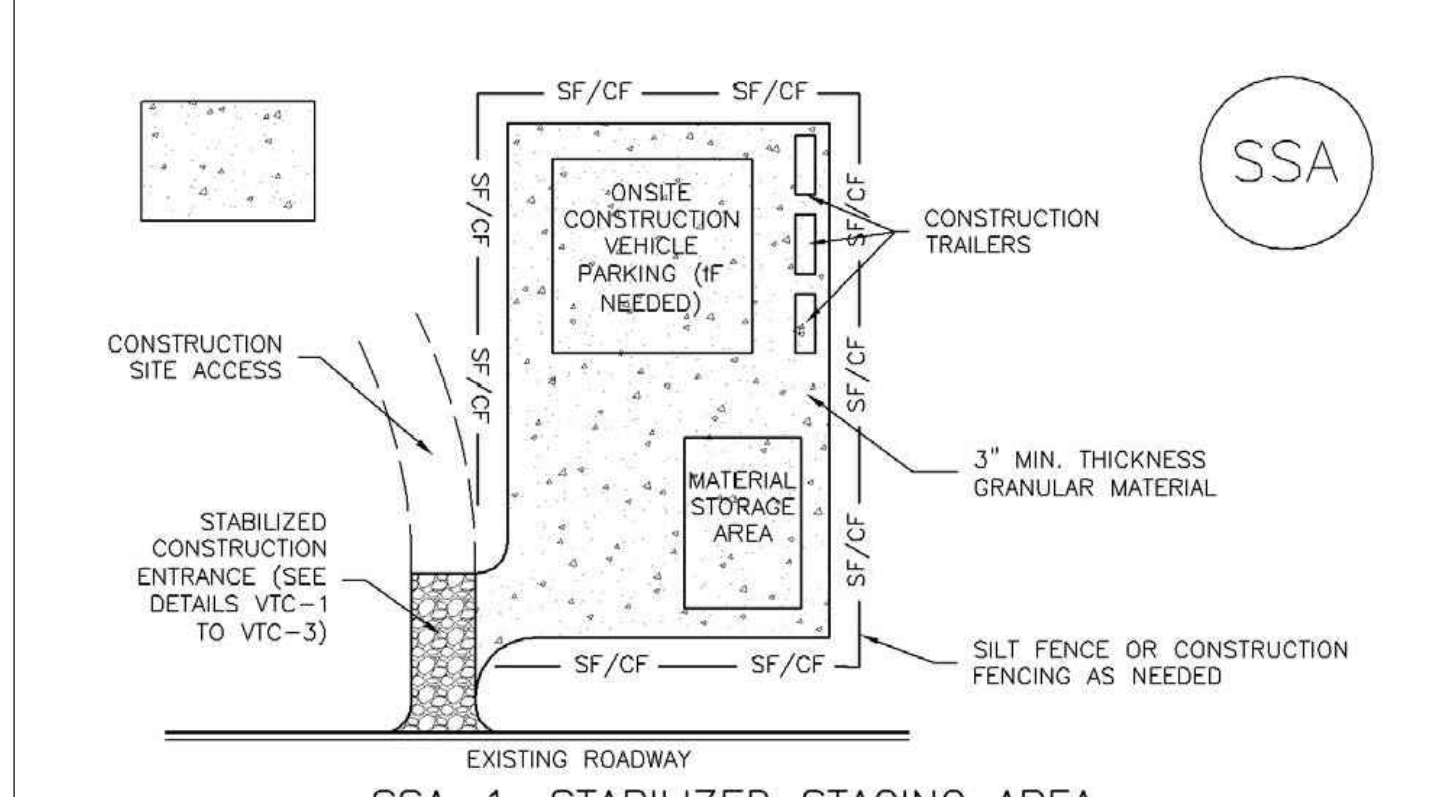
Table 5-1. El Paso County Conservation District All-Purpose Mix for Upland, Transition and Permanent Control Measure Areas

Common Name	Scientific Name	Growth Season / Form	% of Mix	Pounds PLS		
				Irrigated broadcast Irrigated hydroseeded	Non-irrigated broadcast Non-irrigated hydroseeded Irrigated drilled	Non-irrigated drilled
Bluestem, big	<i>Andropogon gerardii</i>	Warm, sod	20	4.4	2.2	1.1
Grama, blue	<i>Bouteloua gracilis</i>	Warm, bunch	10	0.5	0.25	0.13
Green needlegrass ²	<i>Nassella viridula</i>	Cool, bunch	10	2	1	0.5
Wheatgrass, western ²	<i>Pascopyrum smithii</i>	Cool, sod	20	6.4	3.2	1.6
Grama, sideoats	<i>Bouteloua curtipendula</i>	Warm, bunch	10	2	1	0.5
Switchgrass ²	<i>Panicum virgatum</i>	Warm, bunch/sod	10	0.8	0.4	0.2
Prairie sandreed	<i>Calamovilfa longifolia</i>	Warm, sod	10	1.2	0.6	0.3
Yellow indiagrass ²	<i>Sorghastrum nutans</i>	Warm, sod	10	2	1	0.5
Seed rate (lbs PLS/acre)				19.3	9.7	4.8

¹For portions of facilities located near or on the bottom or where wet soil conditions occur. Planting of potted nursery stock wetland plants 2-foot on-center is recommended for sites with wetland hydrology.

²Species that will do well in the bottom of pond areas.

Stabilized Staging Area (SSA) SM-6



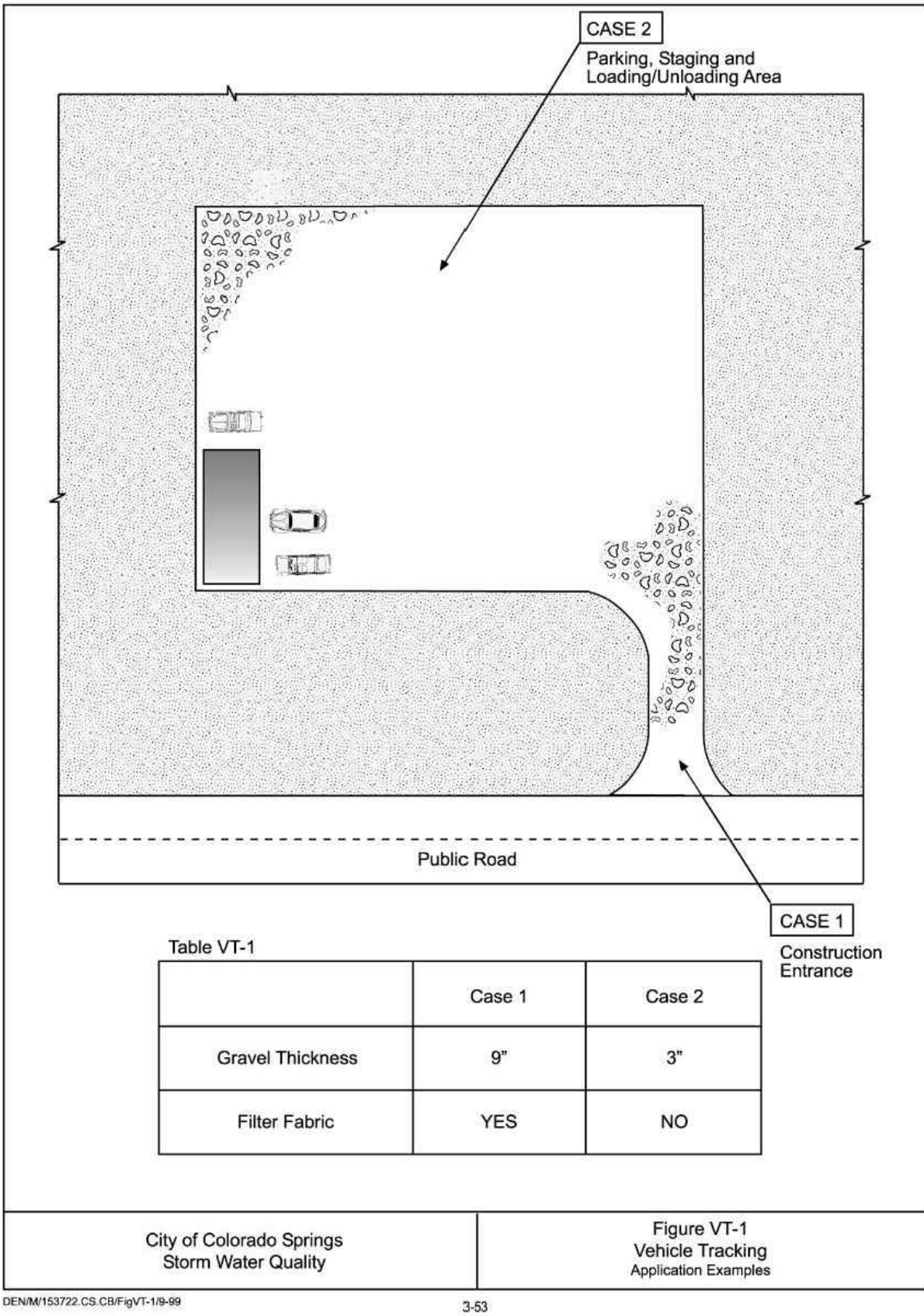
SSA-1. STABILIZED STAGING AREA

STABILIZED STAGING AREA INSTALLATION NOTES

- SEE PLAN VIEW FOR:
 - LOCATION OF STAGING AREA(S).
 - CONTRACTOR MAY ADJUST LOCATION AND SIZE OF STAGING AREA WITH APPROVAL FROM THE LOCAL JURISDICTION.
- STABILIZED STAGING AREA SHOULD BE APPROPRIATE FOR THE NEEDS OF THE SITE. OVERSIZING RESULTS IN A LARGER AREA TO STABILIZE FOLLOWING CONSTRUCTION.
- STAGING AREA SHALL BE STABILIZED PRIOR TO OTHER OPERATIONS ON THE SITE.
- THE STABILIZED STAGING AREA SHALL CONSIST OF A MINIMUM 3" THICK GRANULAR MATERIAL.
- UNLESS OTHERWISE SPECIFIED BY LOCAL JURISDICTION, ROCK SHALL CONSIST OF DOT SECT. #703, AASHTO #3 COARSE AGGREGATE OR 6" (MINUS) ROCK.
- ADDITIONAL PERIMETER BMPs MAY BE REQUIRED INCLUDING BUT NOT LIMITED TO SILT FENCE AND CONSTRUCTION FENCING.

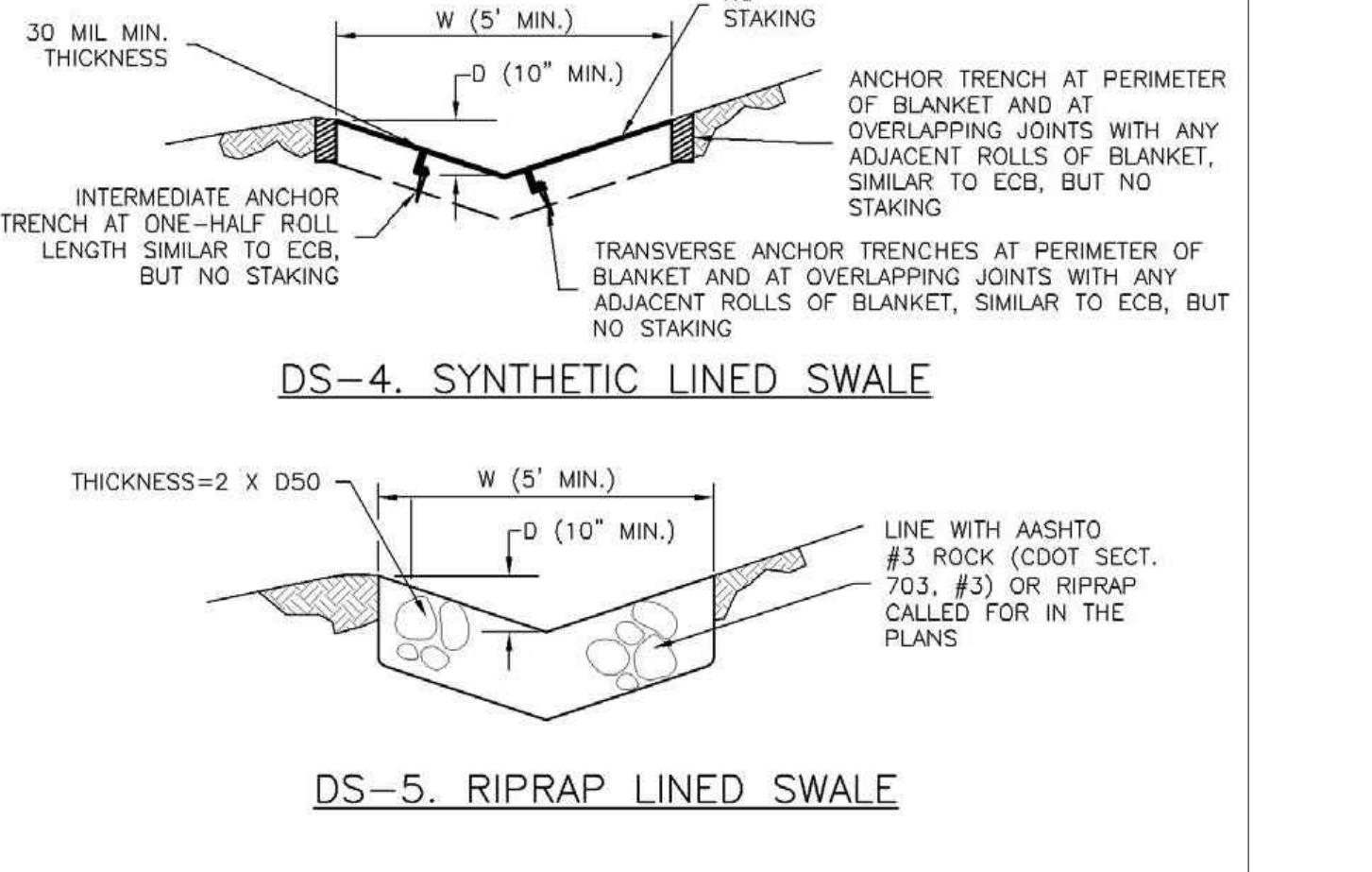
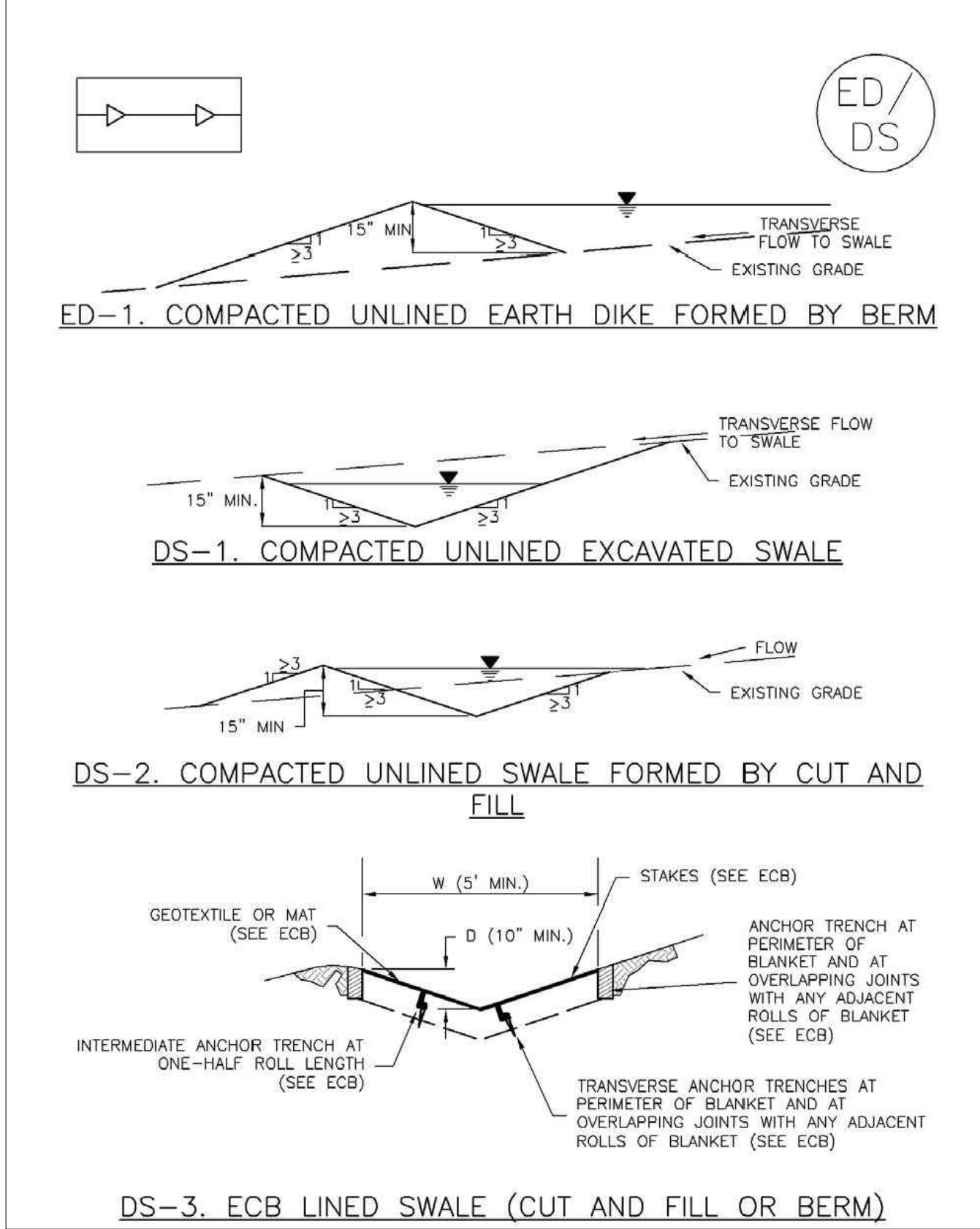
STABILIZED STAGING AREA MAINTENANCE NOTES

- INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
- FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
- WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
- ROCK SHALL BE REAPPLIED OR REGRADED AS NECESSARY IF RUTTING OCCURS OR UNDERLYING SUBGRADE BECOMES EXPOSED.
- STABILIZED STAGING AREA SHALL BE ENLARGED IF NECESSARY TO CONTAIN PARKING, STORAGE, AND UNLOADING/LOADING OPERATIONS.
- THE STABILIZED STAGING AREA SHALL BE REMOVED AT THE END OF CONSTRUCTION. THE GRANULAR MATERIAL SHALL BE REMOVED OR, IF APPROVED BY THE LOCAL JURISDICTION, USED ON SITE, AND THE AREA COVERED WITH TOPSOIL, SEEDED AND MULCHED OR OTHERWISE STABILIZED IN A MANNER APPROVED BY LOCAL JURISDICTION.



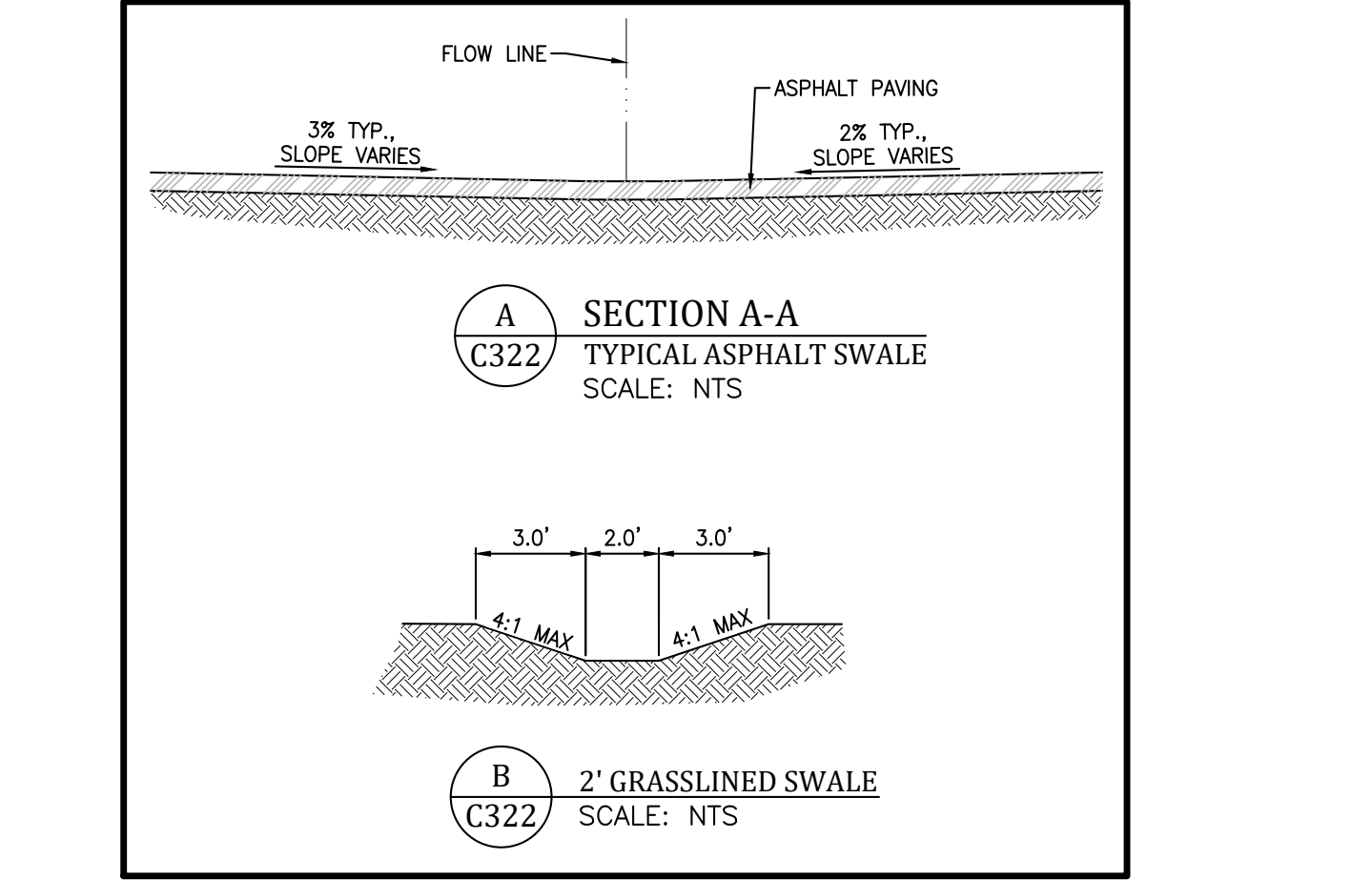
City of Colorado Springs Stormwater Quality Figure VT-1 Vehicle Tracking Application Examples

Earth Dikes and Drainage Swales (ED/DS) EC-10



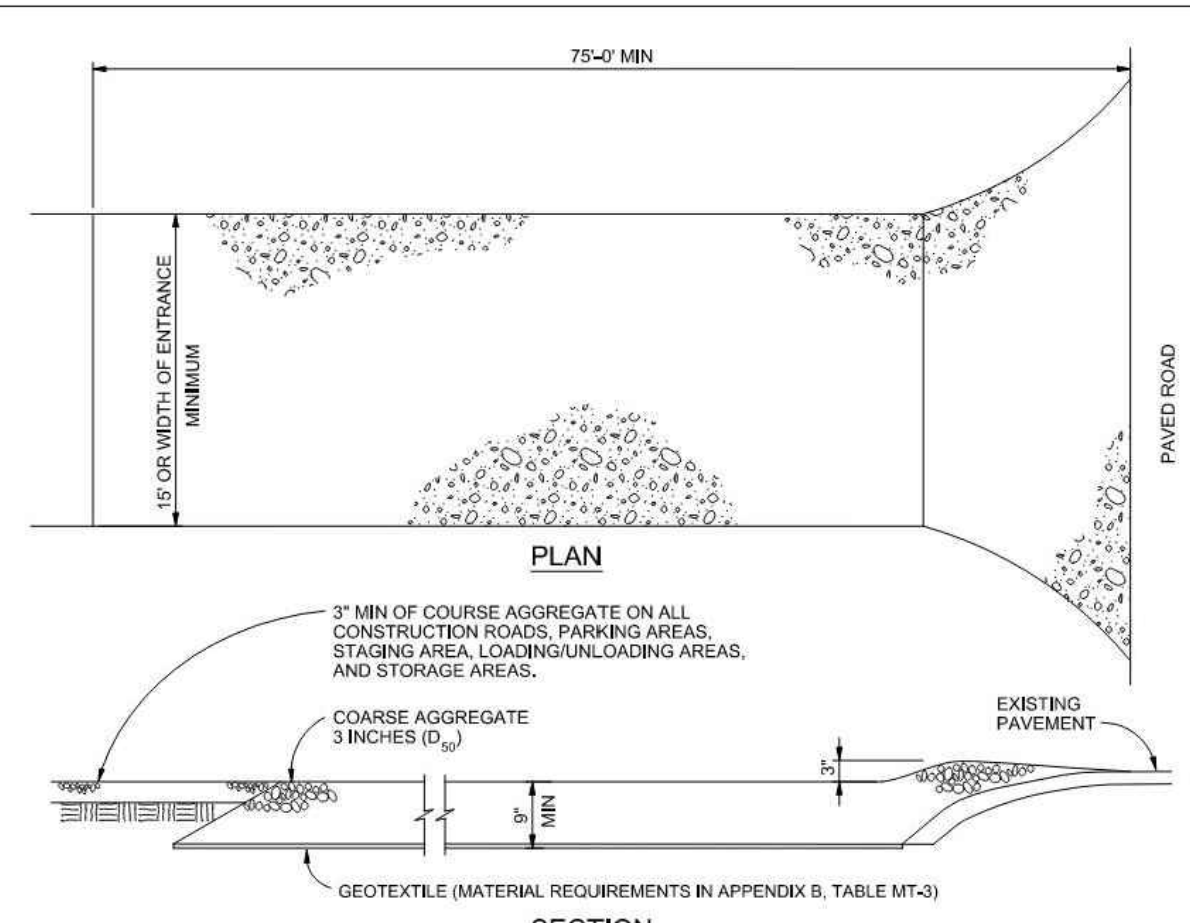
EARTH DIKE AND DRAINAGE SWALE INSTALLATION NOTES

- SEE SITE PLAN FOR:
 - LOCATION OF DIVERSION SWALE
 - TYPE OF SWALE (UNLINED, COMPACTED AND/OR LINED)
 - LENGTH OF EACH SWALE
 - DEPTH, D, AND WIDTH, W DIMENSIONS.
 - FOR ECB/TRM LINED DITCH, SEE ECB DETAIL
 - FOR RIPRAP LINED DITCH, SIZE OF RIPRAP, D50.
- SEE DRAINAGE PLANS FOR DETAILS OF PERMANENT CONVEYANCE FACILITIES AND/OR DIVERSION SWALES EXCEEDING 2-YEAR FLOW RATE OR 10 CFS.
- EARTH DIKES AND SWALES INDICATED ON SWMP PLAN SHALL BE INSTALLED PRIOR TO LAND-DISTURBING ACTIVITIES IN PROXIMITY.
- EMBANKMENT IS TO BE COMPACTED TO 90% OF MAXIMUM DENSITY AND WITHIN 2% OF OPTIMUM MOISTURE CONTENT ACCORDING TO ASTM D698.
- SWALES ARE TO DRAIN TO A SEDIMENT CONTROL BMP.
- FOR LINED DITCHES, INSTALLATION OF ECB/TRM SHALL CONFORM TO THE REQUIREMENTS OF THE ECB DETAIL.
- WHEN CONSTRUCTION TRAFFIC MUST CROSS A DIVERSION SWALE, INSTALL A TEMPORARY CULVERT WITH A MINIMUM DIAMETER OF 12 INCHES.



EARTH DIKE AND DRAINAGE SWALE MAINTENANCE NOTES

- INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
- FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
- WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
- SWALES SHALL REMAIN IN PLACE UNTIL THE END OF CONSTRUCTION; IF APPROVED BY LOCAL JURISDICTION, SWALES MAY BE LEFT IN PLACE.
- WHEN A SWALE IS REMOVED, THE DISTURBED AREA SHALL BE COVERED WITH TOPSOIL, SEEDED AND MULCHED OR OTHERWISE STABILIZED IN A MANNER APPROVED BY LOCAL JURISDICTION.



VEHICLE TRACKING NOTES

INSTALLATION REQUIREMENTS

- ALL ENTRANCES TO THE CONSTRUCTION SITE ARE TO BE STABILIZED PRIOR TO CONSTRUCTION BEGINNING.
- CONSTRUCTION ENTRANCES ARE TO BE BUILT WITH AN APRON TO ALLOW FOR TURNING TRAFFIC, BUT SHOULD NOT BE BUILT OVER EXISTING PAVEMENT EXCEPT FOR A SLIGHT OVERLAP.
- AREAS TO BE STABILIZED ARE TO BE PROPERLY GRADED AND COMPACTED PRIOR TO LAYING DOWN GEOTEXTILE AND STONE.
- CONSTRUCTION ROADS, PARKING AREAS, LOADING/UNLOADING ZONES, STORAGE AREAS, AND STAGING AREAS ARE TO BE STABILIZED.
- CONSTRUCTION ROADS ARE TO BE BUILT TO CONFORM TO SITE GRADES, BUT SHOULD NOT HAVE SIDE SLOPES OR ROAD GRADES THAT ARE EXCESSIVELY STEEP.

MAINTENANCE REQUIREMENTS

- REGULAR INSPECTIONS ARE TO BE MADE OF ALL STABILIZED AREAS, ESPECIALLY AFTER STORM EVENTS.
- STONES ARE TO BE REAPPLIED PERIODICALLY AND WHEN REPAIR IS NECESSARY.
- SEDIMENT TRACKED ONTO PAVED ROADS IS TO BE REMOVED DAILY BY SHOVELING OR SWEEPING. SEDIMENT IS NOT TO BE WASHED DOWN STORM SEWER DRAINS.
- STORM SEWER INLET PROTECTION IS TO BE IN PLACE, INSPECTED, AND CLEANED IF NECESSARY.
- OTHER ASSOCIATED SEDIMENT CONTROL MEASURES ARE TO BE INSTALLED TO ENSURE GOOD WORKING CONDITION.

City of Colorado Springs Stormwater Quality Figure VT-2 Vehicle Tracking Application Examples

GENERAL NOTES:

REVISIONS:

NO.	DATE	INITIALS	NOTES
1			
2			
3			
4			
5			
6			
7			
8			

PROFESSIONAL SEAL:

Kiowa Engineering Corporation
 5951 Middlefield Road, Suite 200
 Livermore, CA 94551
 (925) 892-0369

AMERCO REAL ESTATE COMPANY

CONSTRUCTION DEPARTMENT
 2727 NORTH CENTRAL AVENUE
 PHOENIX, ARIZONA 85004
 P: (602) 263-6502
 F: (602) 277-1026

SITE ADDRESS:
 U-HAUL at Falcon
 Rolling Thunder Way
 Falcon, CO 80831

SHEET CONTENTS:
 GRADING AND EC PLAN
 - DETAIL SH7

866077

DRAWN: JRD
 CHECKED: MWE
 DATE: 6/9/23

PCD File #
 PPR-22-56 & SF-22-40

BUILDING FIRE FLOW INFORMATION

BUILDING A:
 BLDG CONSTRUCTION TYPE: II-B
 NFPA FIRE SPRINKLER SYSTEM: Yes
 BUILDING FIRE AREA: 111,930sf (3 Floors) (Footprint: 37,728sf)
 FIRE FLOW REQUIRED: 3,500gpm @ 20psi Residual
 (Assumes 50% Reduction for Fire Sprinkler)
 MIN # OF HYDRANTS: 4
 MAXIMUM HOSE LAY LENGTH: 210ft

BUILDING B:
 BLDG CONSTRUCTION TYPE: II-B
 NFPA FIRE SPRINKLER SYSTEM: Yes
 BUILDING FIRE AREA: 17,012sf (1 Floor)
 FIRE FLOW REQUIRED: 1,500gpm @ 20psi Residual
 (Assumes 50% Reduction for Fire Sprinkler)
 MIN # OF HYDRANTS: 1
 MAXIMUM HOSE LAY LENGTH: 250ft



LEGEND

[Symbol]	PROPOSED BUILDING
[Symbol]	PROPERTY OR ROW LINE
[Symbol]	EXISTING EASEMENT
[Symbol]	PROPOSED EASEMENT
[Symbol]	CURB & GUTTER
[Symbol]	EXISTING WATER LINE
[Symbol]	EXISTING SANITARY SEWER
[Symbol]	EXISTING STORM SEWER
[Symbol]	EXISTING UNDERGROUND ELECTRIC LINE
[Symbol]	EXISTING UNDERGROUND TELEPHONE LINE
[Symbol]	EXISTING GAS LINE
[Symbol]	EXISTING 100 YEAR FLOODPLAIN
[Symbol]	EXISTING STREET LIGHT
[Symbol]	APPROXIMATE LIMIT OF DISTURBANCE
[Symbol]	PROPOSED SANITARY SERVICE AND CLEAN OUT
[Symbol]	PROPOSED WATER LINE OR SERVICE AND VALVE
[Symbol]	PROPOSED WATER LINE, THRUST BLOCK & MJ RSTNTS
[Symbol]	PROPOSED FIRE HYDRANT
[Symbol]	PROPOSED WATER METER
[Symbol]	PROPOSED STORM SEWER PIPE AND MANHOLE
[Symbol]	PROPOSED STORM SEWER PIPE AND MANHOLE
[Symbol]	PROPOSED SINGLE STORM GRATED INLET
[Symbol]	PROPOSED TYPE C GRATED INLET
[Symbol]	PROPOSED STORM CURB INLET
[Symbol]	PROPOSED STORM SEWER FLARED END SECTION

GENERAL NOTES:

REVISIONS:

NO.	DATE	INITIALS	NOTES
1			
2			
3			
4			
5			
6			
7			
8			

PROFESSIONAL SEAL:

Kiowa Engineering Corporation
 5951 Middlefield Road, Suite 200
 Livermore, CA 94551
 (925) 938-0369
 (925) 938-0368

AMERCO REAL ESTATE COMPANY
 CONSTRUCTION DEPARTMENT
 2727 NORTH CENTRAL AVENUE
 PHOENIX, ARIZONA 85004
 P: (602) 263-6502
 F: (602) 277-1026

SITE ADDRESS:
 U-HAUL at Falcon
 Rolling Thunder Way
 Falcon, CO 80831

SHEET CONTENTS:
 UTILITY PLAN

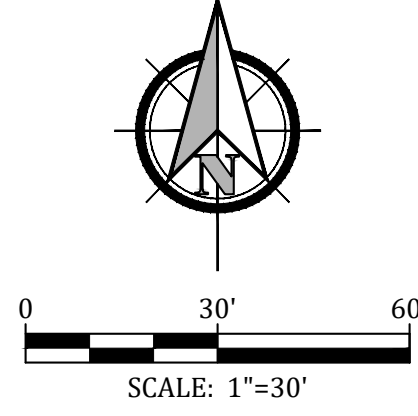
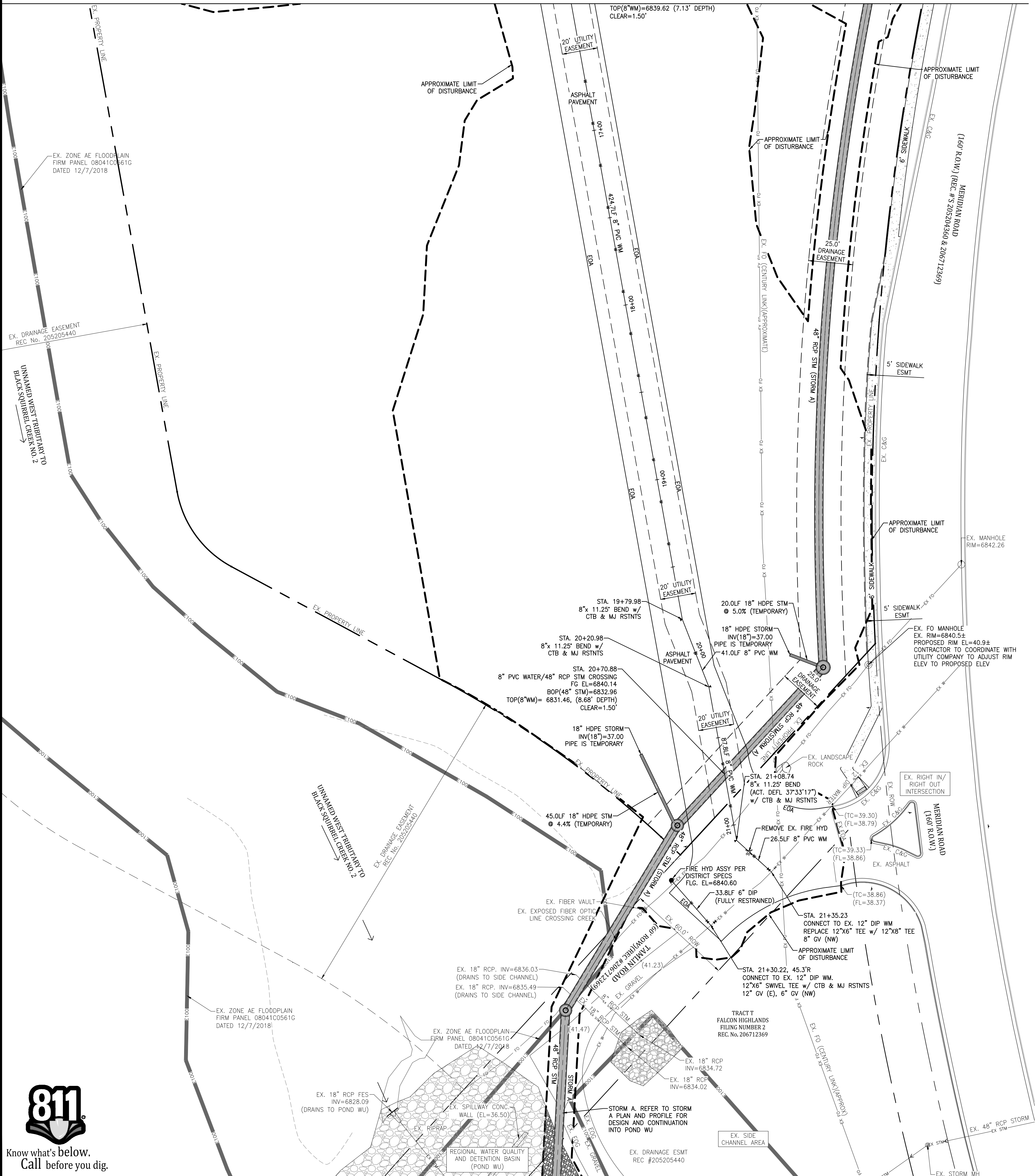
866077

DRAWN: JRD
CHECKED: MWE
DATE: 6/9/23

PCD File #
 PPR-22-56 & SF-22-40

MATCHLINE - SEE SHT C401

MATCHLINE - SEE SHT C401



GENERAL NOTES:

REVISIONS:

NO.	DATE	INITIALS	NOTES
1			
2			
3			
4			
5			
6			
7			
8			

PROFESSIONAL SEAL:

Kiowa
Engineering Corporation
5951 Middlefield Road, Suite 200
Liberal, CO 80642
(303) 692-0369

AMERCO
REAL ESTATE COMPANY

CONSTRUCTION DEPARTMENT
2727 NORTH CENTRAL AVENUE
PHOENIX, ARIZONA 85004
P: (602) 263-6502
F: (602) 277-1026

SITE ADDRESS:
U-HAUL at Falcon
Rolling Thunder Way
Falcon, CO 80831

SHEET CONTENTS:
UTILITY PLAN

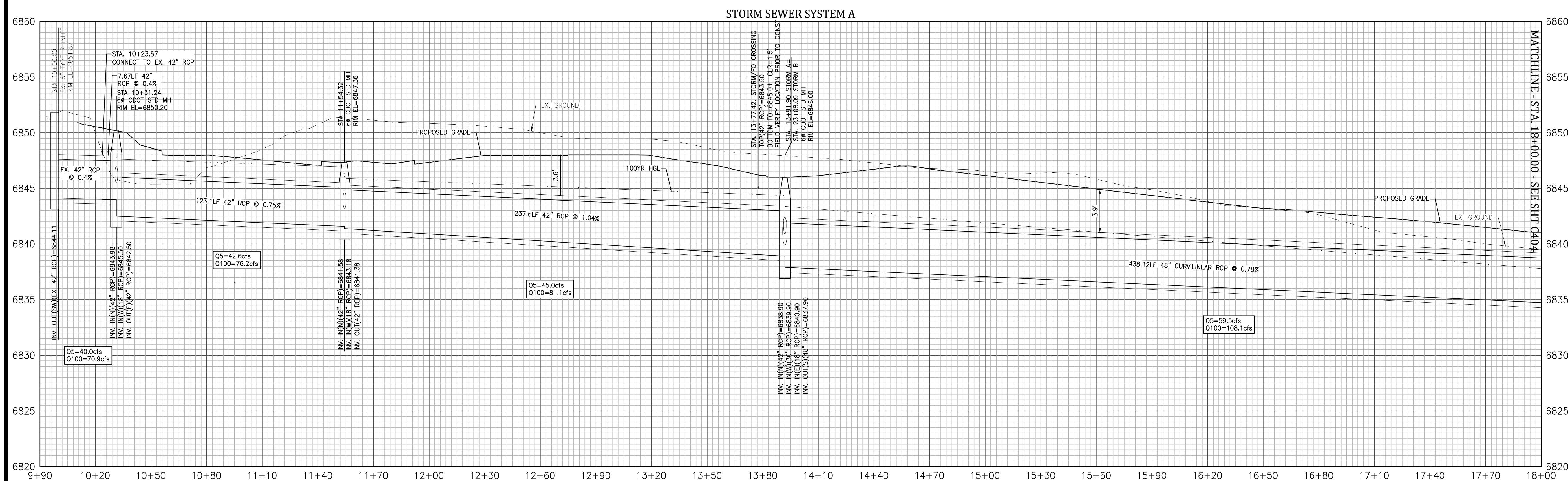
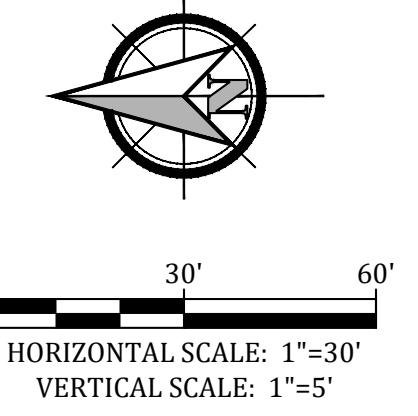
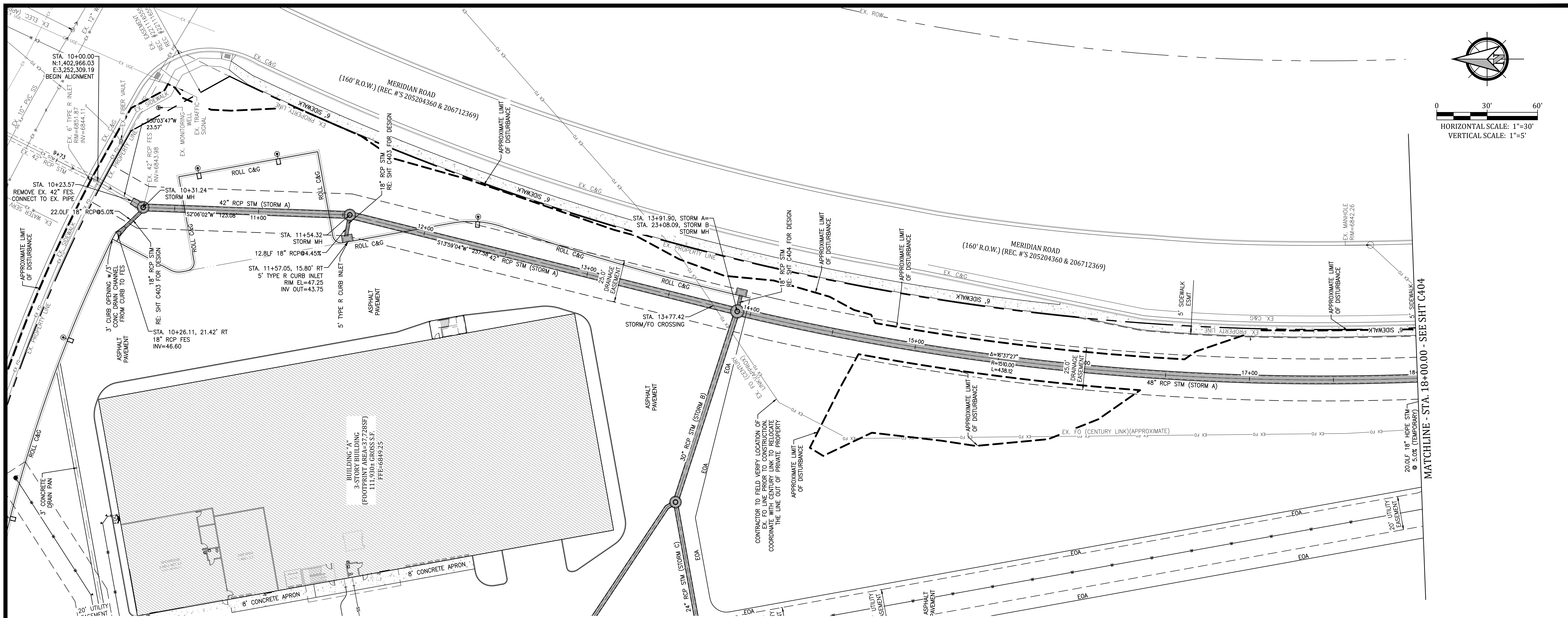
866077

DRAWN: JRD
CHECKED: MWE
DATE: 6/9/23

PCD File #
PPR-22-56 & SF-22-40



© COPYRIGHT AMERCO REAL ESTATE COMPANY



GENERAL NOTES:

REVISIONS:

NO.	DATE	INITIALS	NOTES
1			
2			
3			
4			
5			
6			
7			
8			

PROFESSIONAL SEAL:



CONSTRUCTION DEPARTMENT
2727 NORTH CENTRAL AVENUE
PHOENIX, ARIZONA 85004
P: (602) 263-6502
F: (602) 277-1026

SITE ADDRESS:
U-HAUL at Falcon
Rolling Thunder Way
Falcon, CO 80831

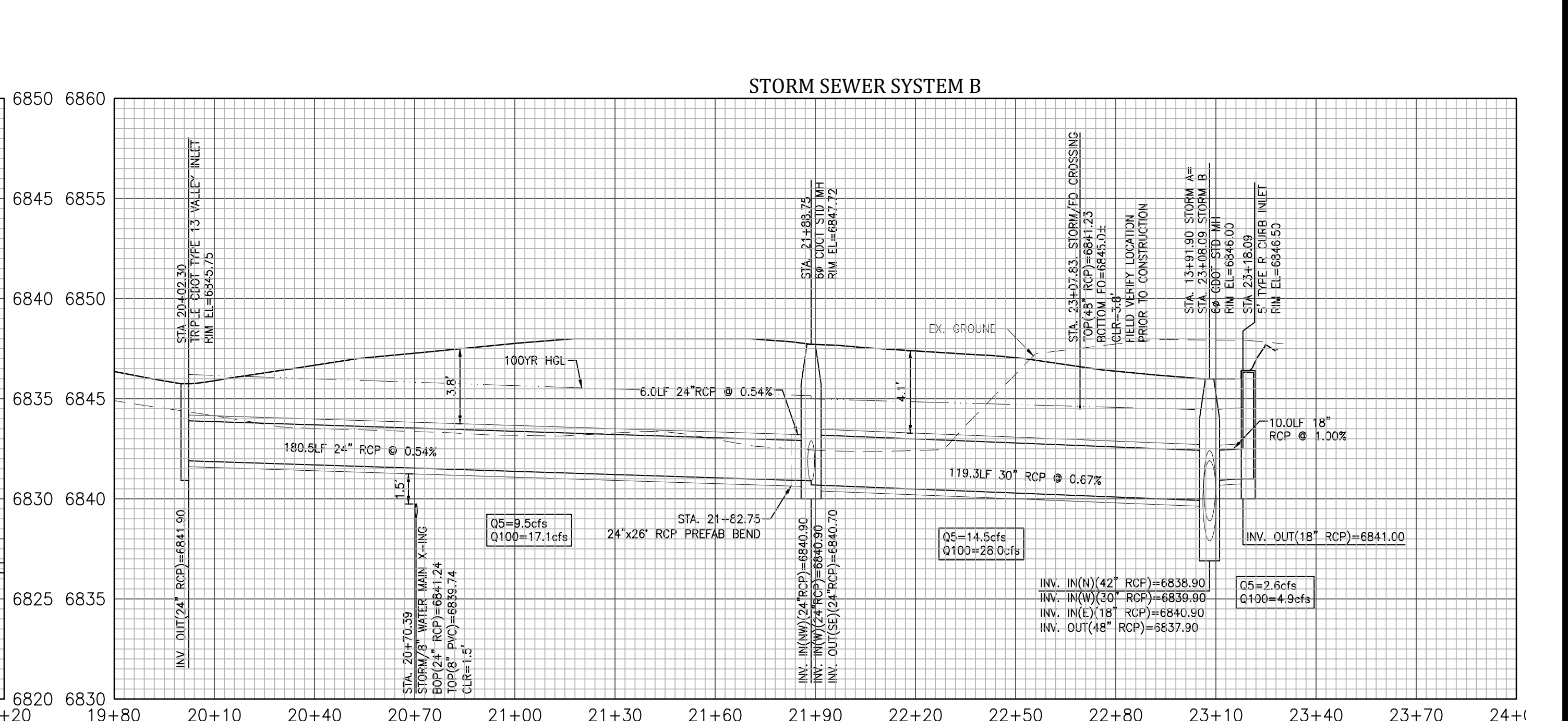
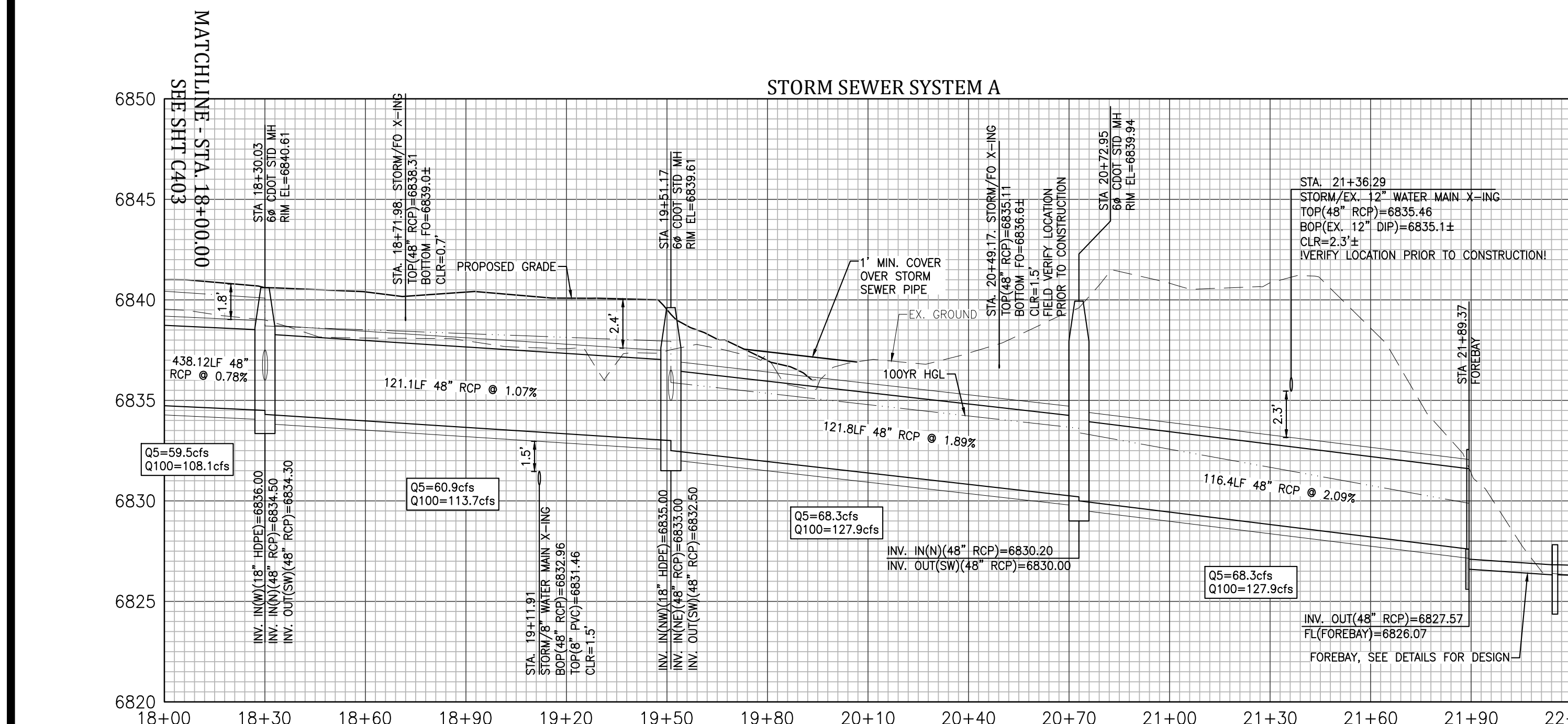
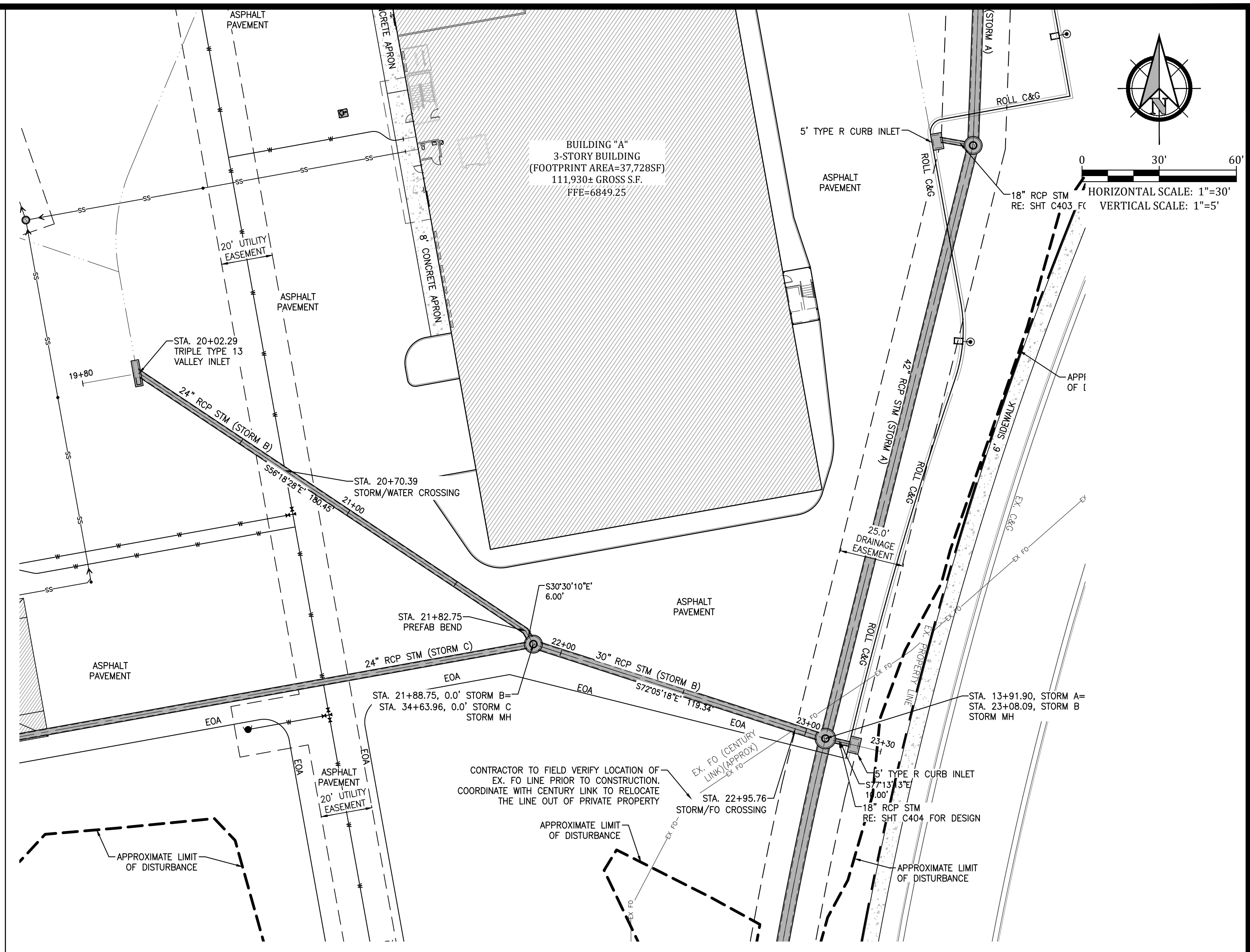
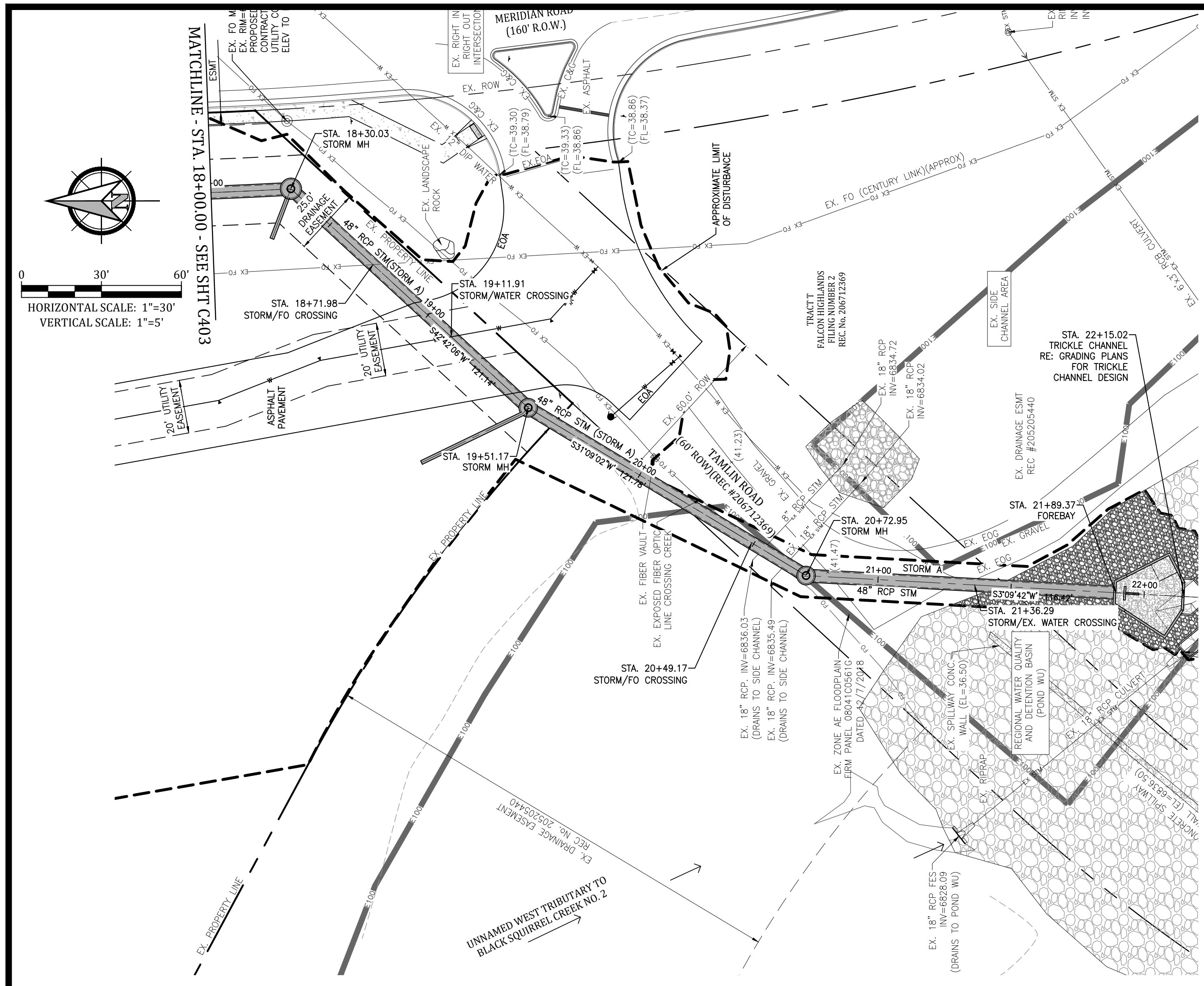
SHEET CONTENTS:
STORM SEWER PLAN
AND PROFILE

866077

DRAWN: JRD
CHECKED: MWE
DATE: 6/9/23

PCD File #
PPR-22-56 & SF-22-40

© COPYRIGHT AMERCO REAL ESTATE COMPANY



GENERAL NOTES:

REVISIONS:

NO.	DATE	INITIALS	NOTES
1			
2			
3			
4			
5			
6			
7			
8			

PROFESSIONAL SEAL:



AMERCO
REAL ESTATE COMPANY

CONSTRUCTION DEPARTMENT
2727 NORTH CENTRAL AVENUE
PHOENIX, ARIZONA 85004
P: (602) 263-6502
F: (602) 277-1026

SITE ADDRESS:
U-HAUL at Falcon
Rolling Thunder Way
Falcon, CO 80831

SHEET CONTENTS:
STORM SEWER PLAN
AND PROFILE

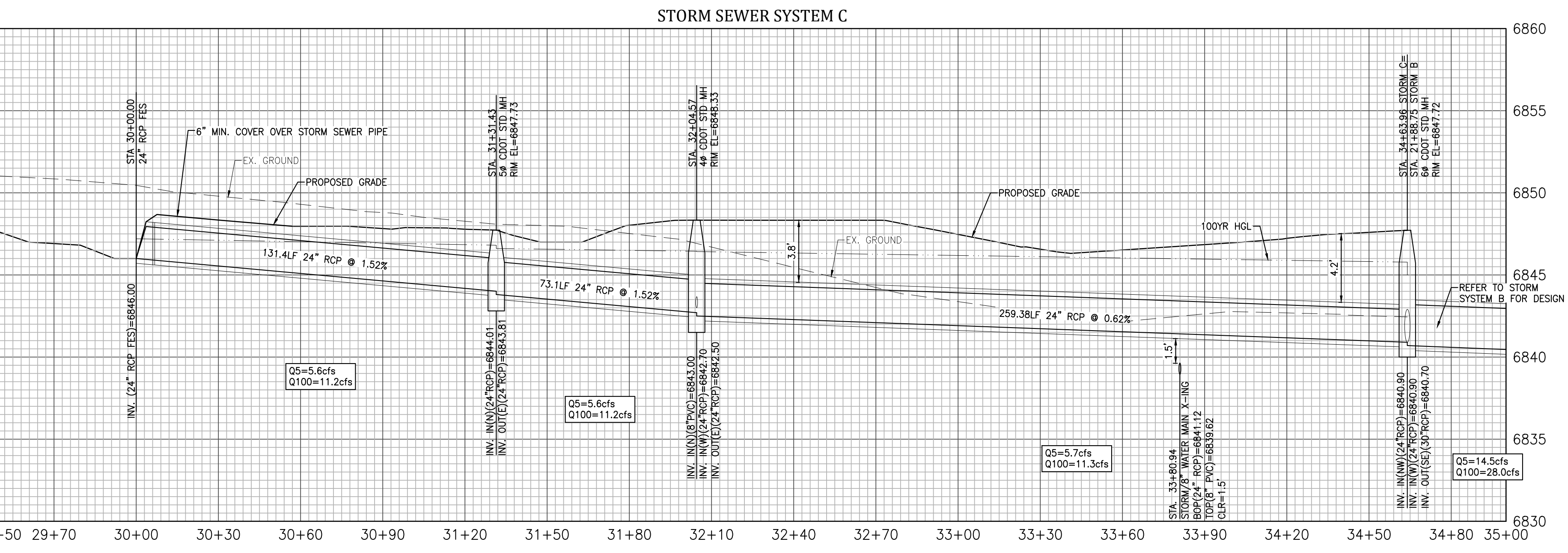
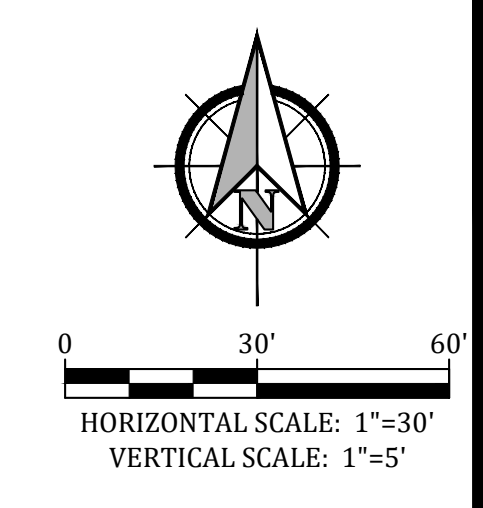
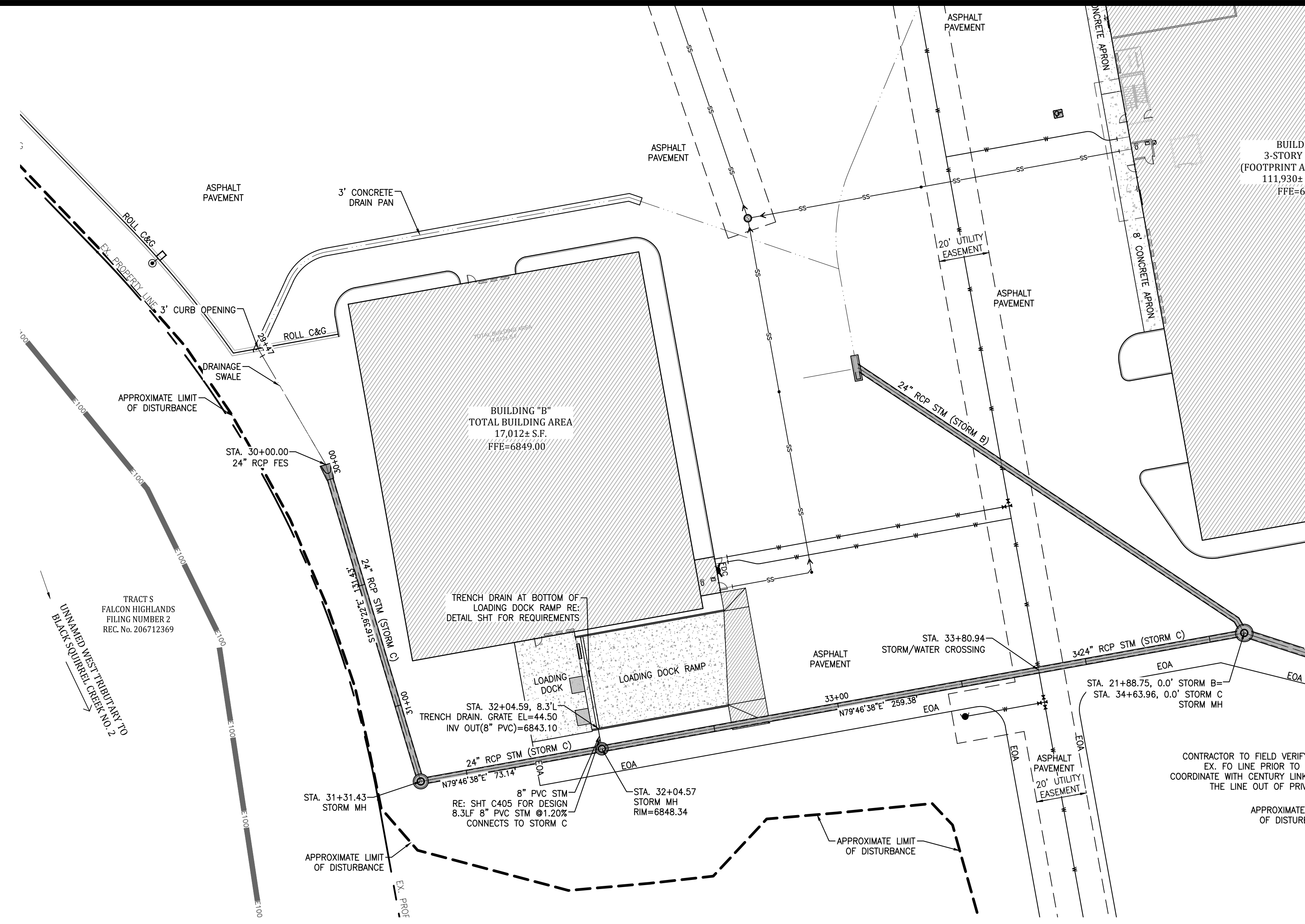
866077

DRAWN:	JRD	C404
CHECKED:	MWE	
DATE:	6/9/23	

PCD File #
PPR-22-56 & SF-22-40



© COPYRIGHT AMERCO REAL ESTATE COMPANY



GENERAL NOTES:

REVISIONS:

NO.	DATE	INITIALS	NOTES
1			
2			
3			
4			
5			
6			
7			
8			

PROFESSIONAL SEAL:



AMERCO
REAL ESTATE COMPANY

CONSTRUCTION DEPARTMENT
2727 NORTH CENTRAL AVENUE
PHOENIX, ARIZONA 85004

P: (602) 263-6502
F: (602) 277-1026

SITE ADDRESS:
U-HAUL at Falcon
Rolling Thunder Way
Falcon, CO 80831

SHEET CONTENTS:
STORM SEWER PLAN
AND PROFILE

866077

DRAWN: JRD
CHECKED: MWE
DATE: 6/9/23

PCD File #
PPR-22-56 & SF-22-40



© COPYRIGHT AMERCO REAL ESTATE COMPANY